

15 -17 Earlham Street

London

WC2H 9LL

Design, Access and Planning Statement

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# 01.01 Introduction



*View of property from Earham Street.*

- 01.01 This document has been prepared by Cairn Architecture Ltd (the Agent), on behalf of Carhartt WIP UK Wholesale Ltd (the Applicant) in support of a submission for Planning Permission for proposed works at 15-17 Earham Street.
- 01.02 The proposal is for the replacement of shopfront glazing and the installation of a new glazed door, together with repairs and repainting in same colour as existing.
- 01.03 The physical alterations proposed are listed below:
- Replacement of section of existing glazing which is currently split into two sections with one single glass pane.
  - Replacement of existing frameless swing door with new automated frameless sliding door.
- 01.04 This document should be read in conjunction with the accompanying drawings.

## 02.01 Site Location and Information



*Aerial Photograph with site boundary*

### Site Summary

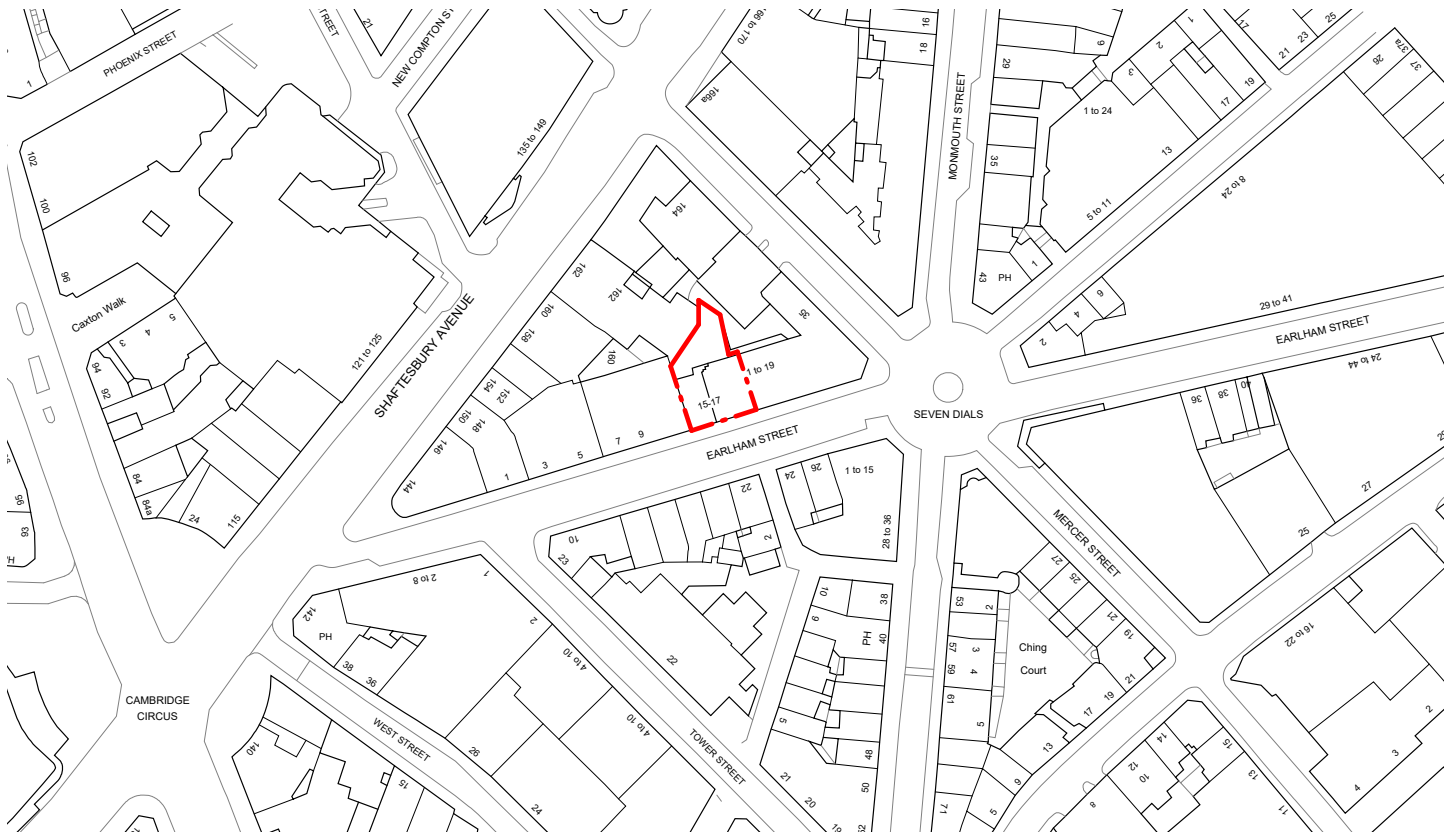
Address: 15-17 Earlham Street, London, WC2H 9LL

Local Authority: London Borough of Camden

Conservation Area: Seven Dials

Building Listing: Not Listed

Current Use: Retail on ground floor, residential above



Site Plan with site boundary

- 02.01 The site is located on Earlham Street, between Cambridge Circus and Seven Dials.
- 02.02 The retail unit is on the ground floor of Earlham House, a red brick building built in the 1970's to designs of Richard Seifert & Partners.
- 02.03 The existing building comprises retail at ground floor and basement level and residential accommodation split over 4 upper floors.
- 02.04 The building is within the Seven Dials Conservation Area. The building is not Listed.



*Birdseye photograph*



Site photographs

## 03.01 Design Proposal



*Existing building aerial photo*

03.01 The design approach has been based on a desire to maintain the character of the building and of Earlham Street, and to ensure no negative effect on the amenity of neighbouring properties.

03.02 The design intent relevant to this planning application has been tailored to the following brief:

- Replacement of section of existing glazing which is currently split into two sections with one single glass pane.
- Replacement of existing frameless swing door with new automated frameless sliding door.
- Necessary repairs and repainting to shopfront

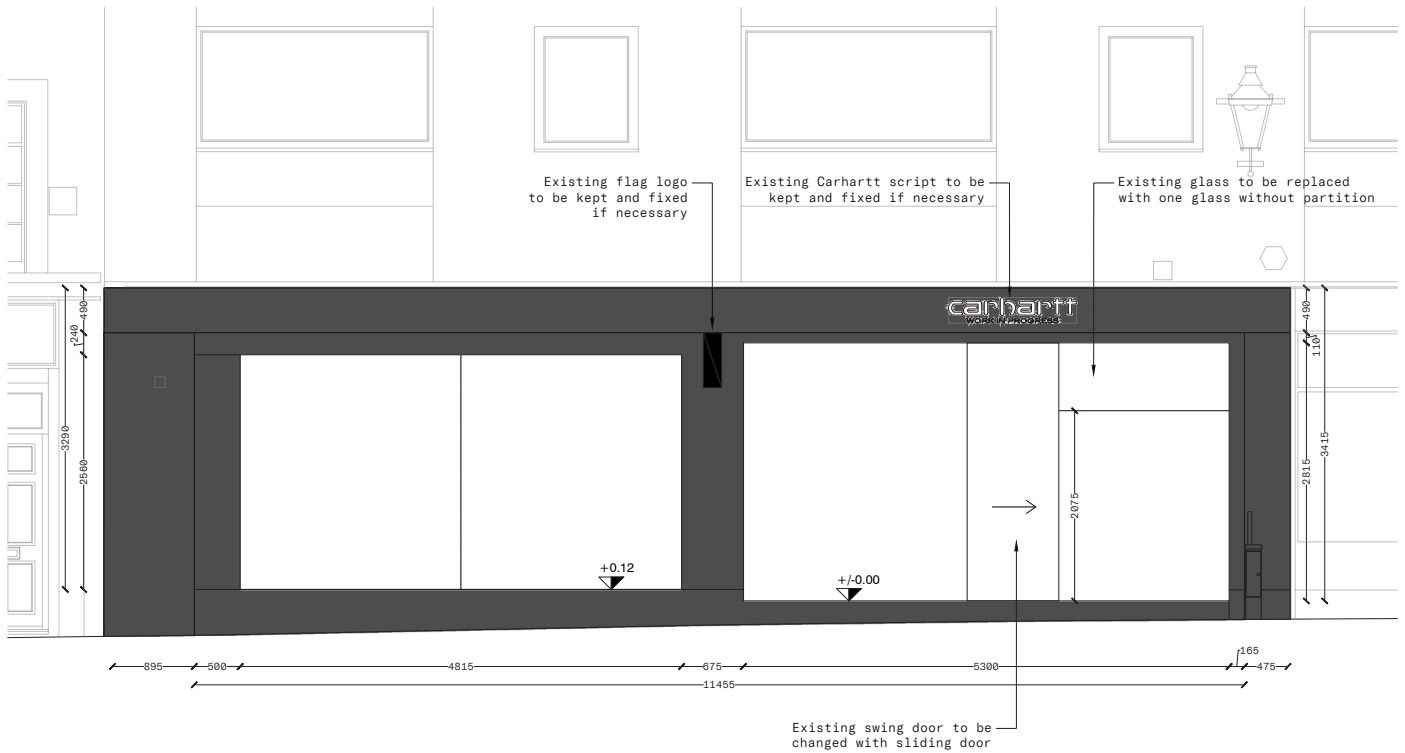
These proposals are described in more detail below, in relation to the proposed Use, Amount, Layout, Scale, Landscaping, Appearance and Access.

Planning policy has been extensively consulted and used as a guide throughout the design process.

03.03 Use

The use of the building is to remain as existing, with retail space to the basement and ground floor levels and residential on the floors above.





*Proposed principal elevation drawing*

**03.04 Amount**

No change is proposed to the floor space of the existing building. This will remain as it currently stands with approximately 2,206 sqft (205 sqm) net internal area (NIA) of retail space on ground floor and 947 sqft (88 sqm) storage at basement level.

**03.05 Layout**

No changes to the internal layout are proposed. The application relates only to the exterior of the building.

**03.06 Scale**

No change is proposed to the building's scale or dimensions.

**03.07 Landscaping**

No change is proposed to the building's landscaping or external areas.

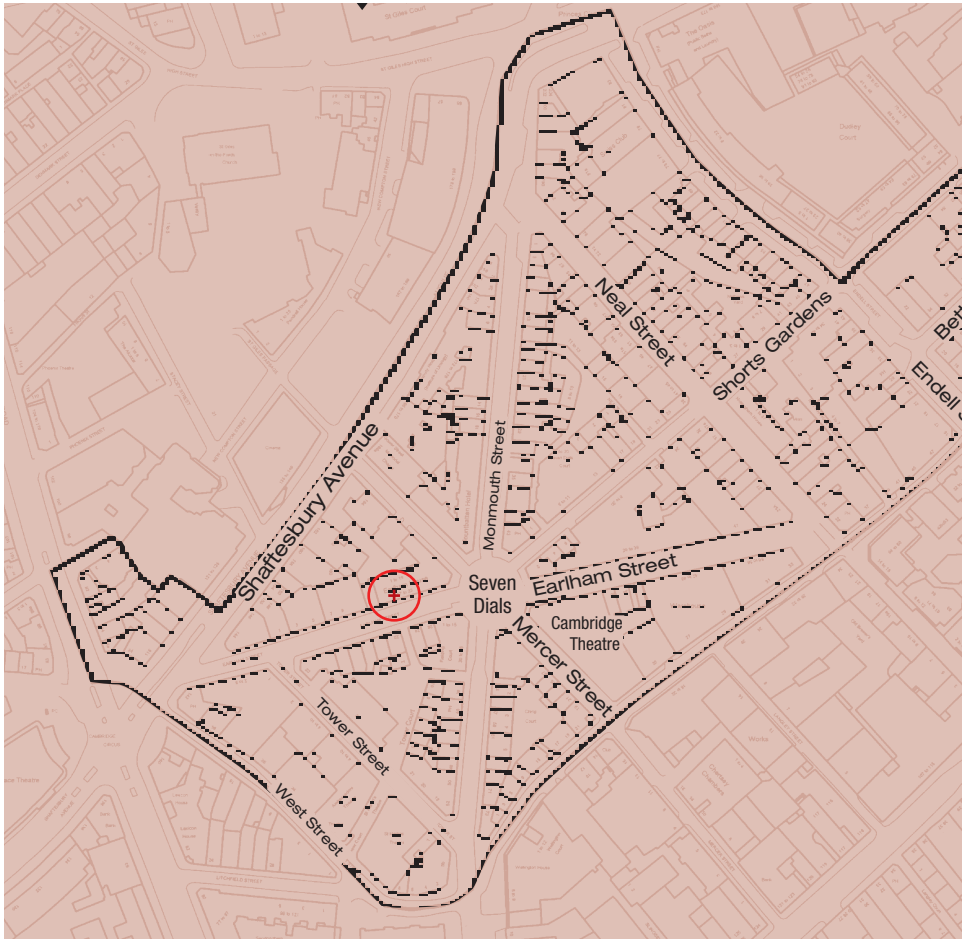
**03.08 Appearance**

The appearance of the building will remain almost identical to the present condition, with slight changes to the glazing and entrance door.

**03.09 Access**

No changes are proposed to the building's access.

# 04.01 Planning Policy Map

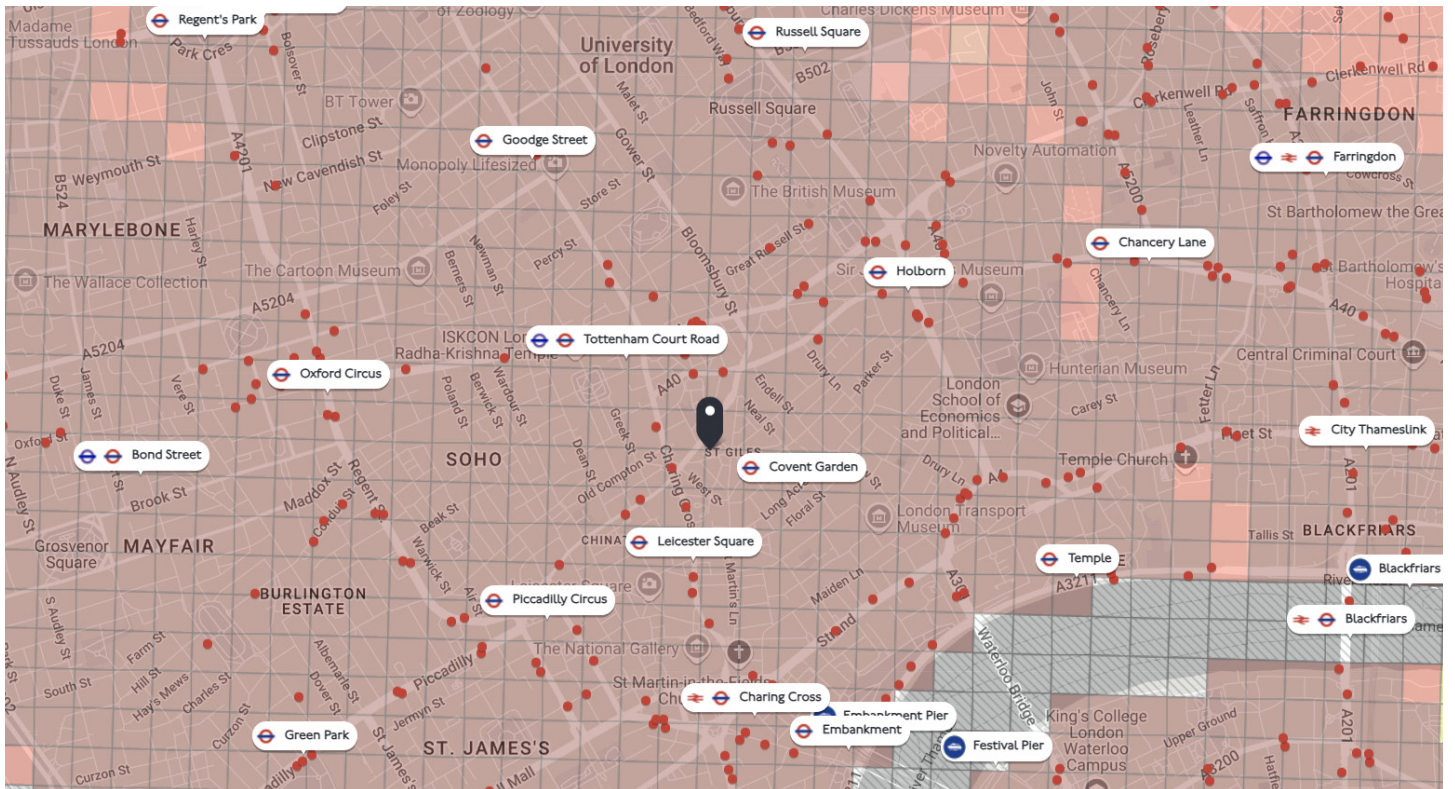


Conservation Area Map

## Policy Site Summary

Conservation Area: Seven Dials  
Building Listing: None  
Tree Preservation Orders: None  
Flood Zone: Not in Flood Risk Zone

# 05.01 Transport Impact



Transport for London PTAL Map of local area showing site as Level 6b (light brown)

## 05.01 PTAL Rating

The site has a Public Transport Accessibility Level (PTAL) of 6b using Transport for London's methodology.

## 05.02 Car Parking

No changes to car parking provision are proposed.

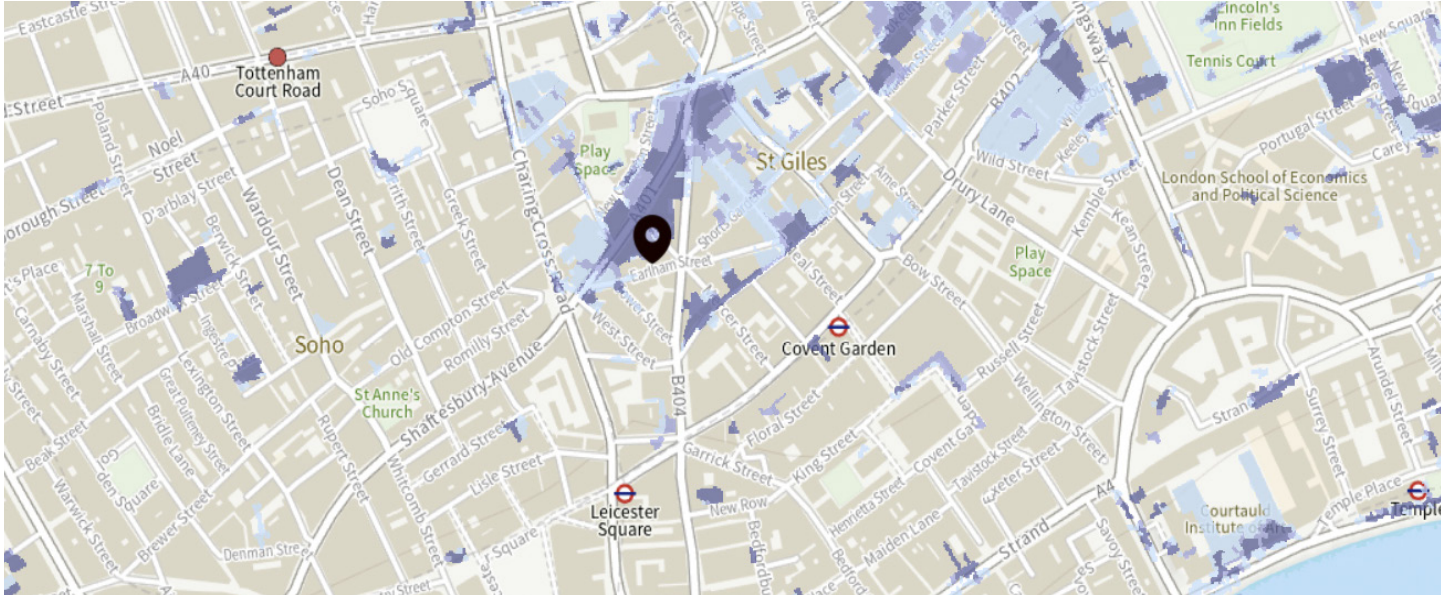
## 05.03 Cycle Parking

No changes to cycle parking provision are proposed.

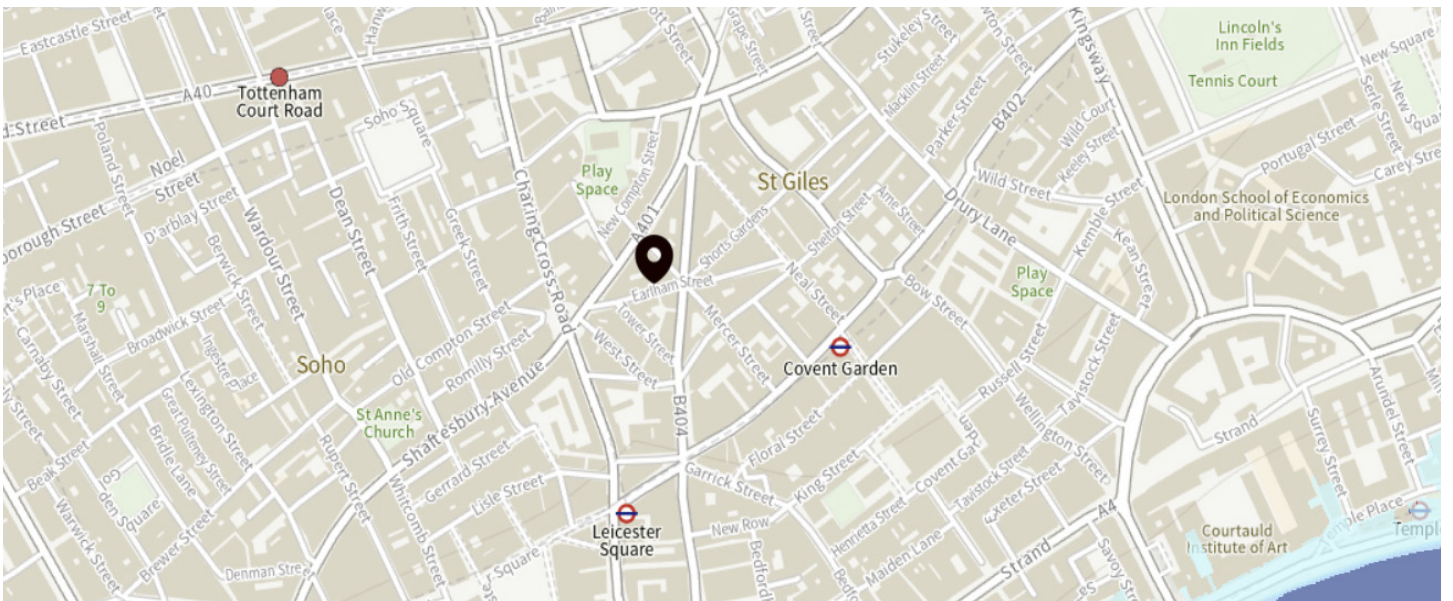
## 05.04 Refuse Storage

No changes to refuse storage are proposed.

# 06.01 Contamination and Flood Risk



Surface Water Flood Map



Rivers and Sea Flood Map

## 06.01 Contamination Risk

All required building condition surveys, contamination surveys and asbestos surveys will be carried out prior to the commencement of all necessary internal alterations and building work to ensure that the internal environment is suitable for residential use.

## 06.02 Flood Risk

The site is not in a Flood Risk Zone as defined by the Environment Agency. As such, no flood risk assessment is required.

Surface Water Yearly Chance of Flooding: Very Low

Rivers and Sea Water Yearly Chance of Flooding: Very Low