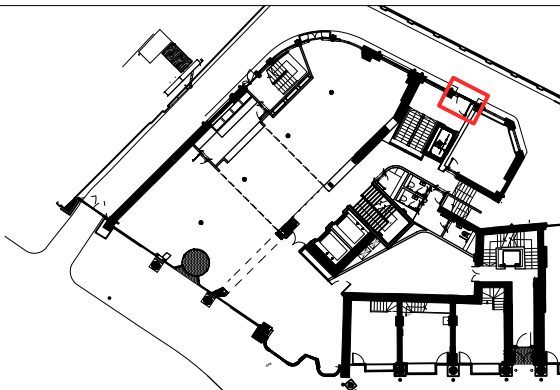


PLANNING

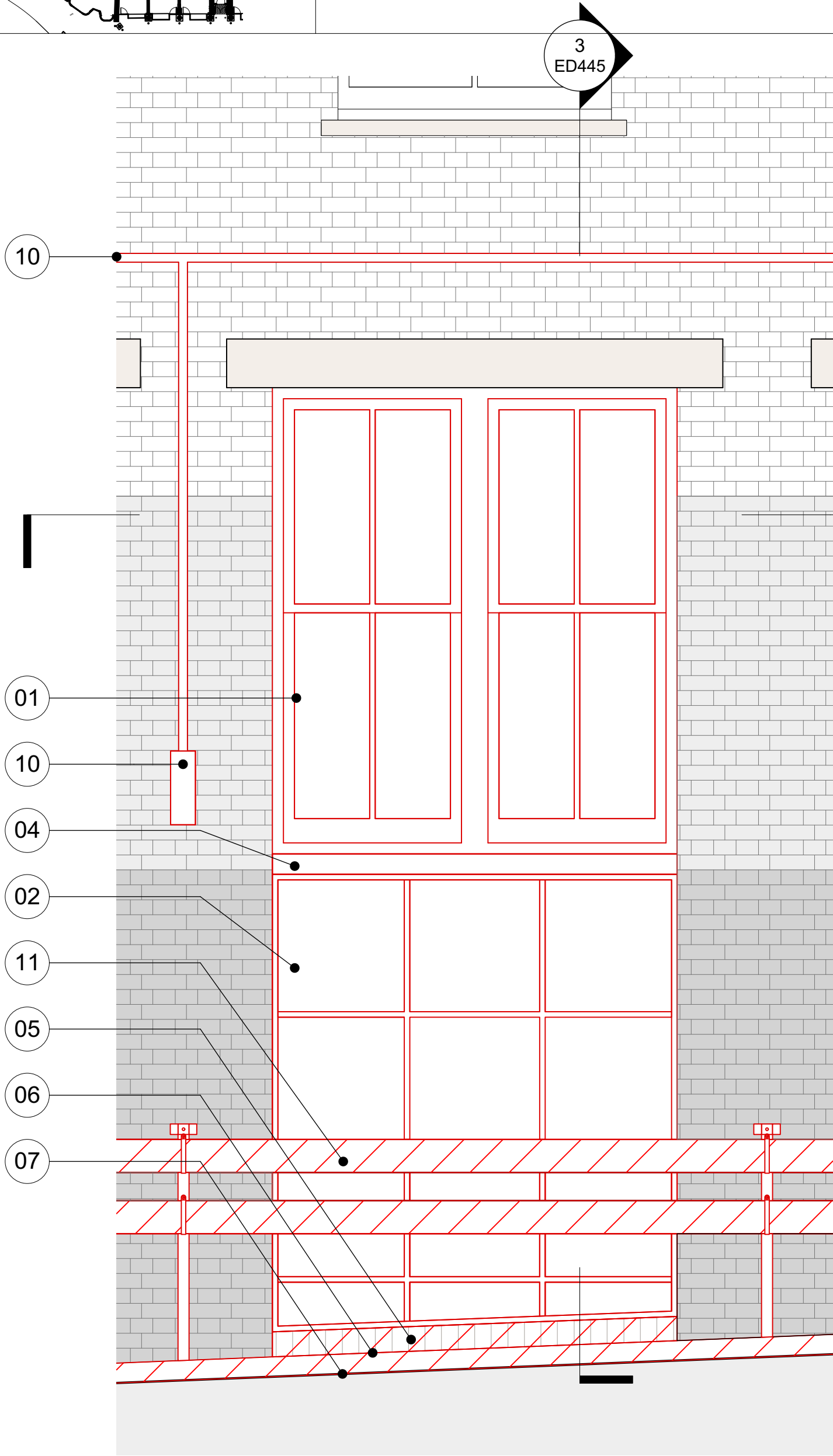


KEY			
	Indicates Existing structure, walls & other building fabric to be retained, made good and redecorated, unless otherwise noted		Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
	Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas		Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
	Indicates non structural elements that need to be removed / demolished		Indicates new walls and any other new construction elements

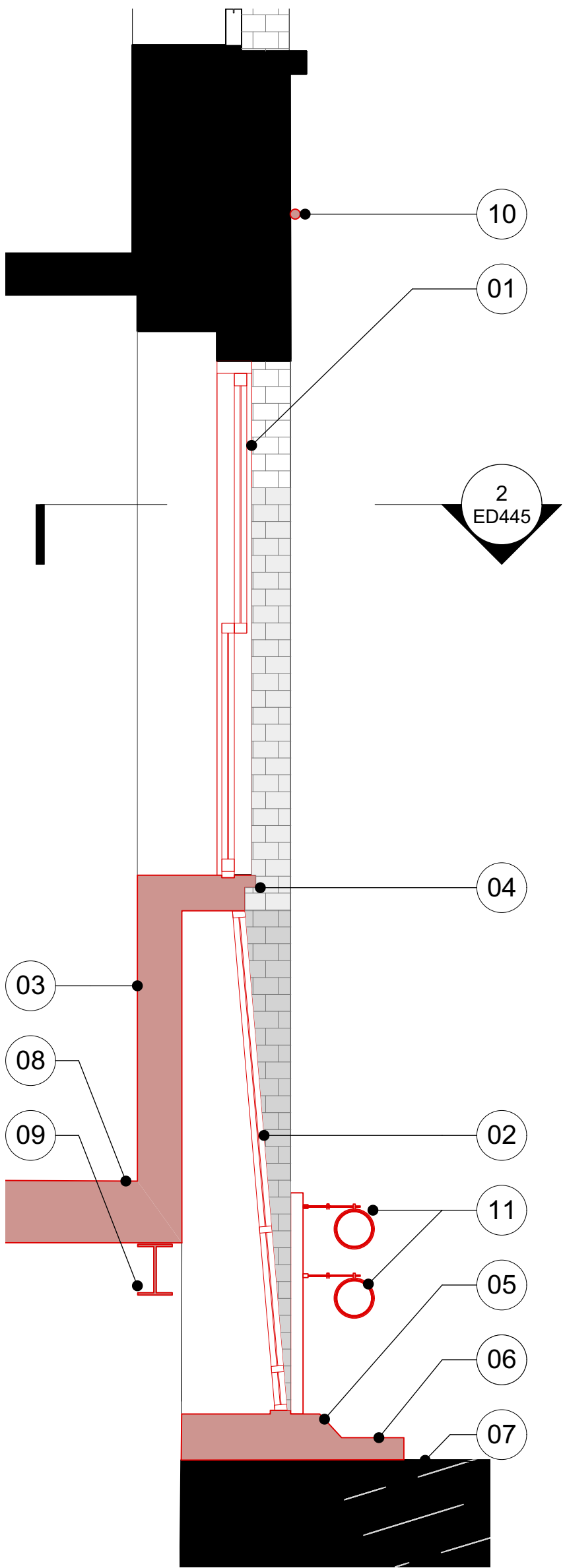
Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 03, sheet 445	
01	03.445.01 - Existing ground floor single glazed timber sash window to be removed
02	03.445.02 - Existing high level single glazed timber basement window to be removed
03	03.445.03 - Existing solid masonry wall to be removed carefully below window and bricks retained for future use
04	03.445.04 - Existing concrete lintel to be removed at head of basement window
05	03.445.05 - Existing chamfered brick cill to be removed

06	03.445.06 - Existing kerbstone and concrete floor finishes to be removed
07	03.445.07 - Existing tarmac surface to be removed
08	03.445.08 - Existing ground floor slab to be cut back to create new level threshold
09	03.445.09 - Existing trimming steel to be removed
10	03.445.10 - Existing electrical conduit + lighting to be removed
11	03.445.11 - Existing low level redundant external pipework and fixings to be removed, holes in brickwork to be filled
31	03.445.31 - New full height PPC aluminium curtain walling in existing structural opening, colour: dark grey

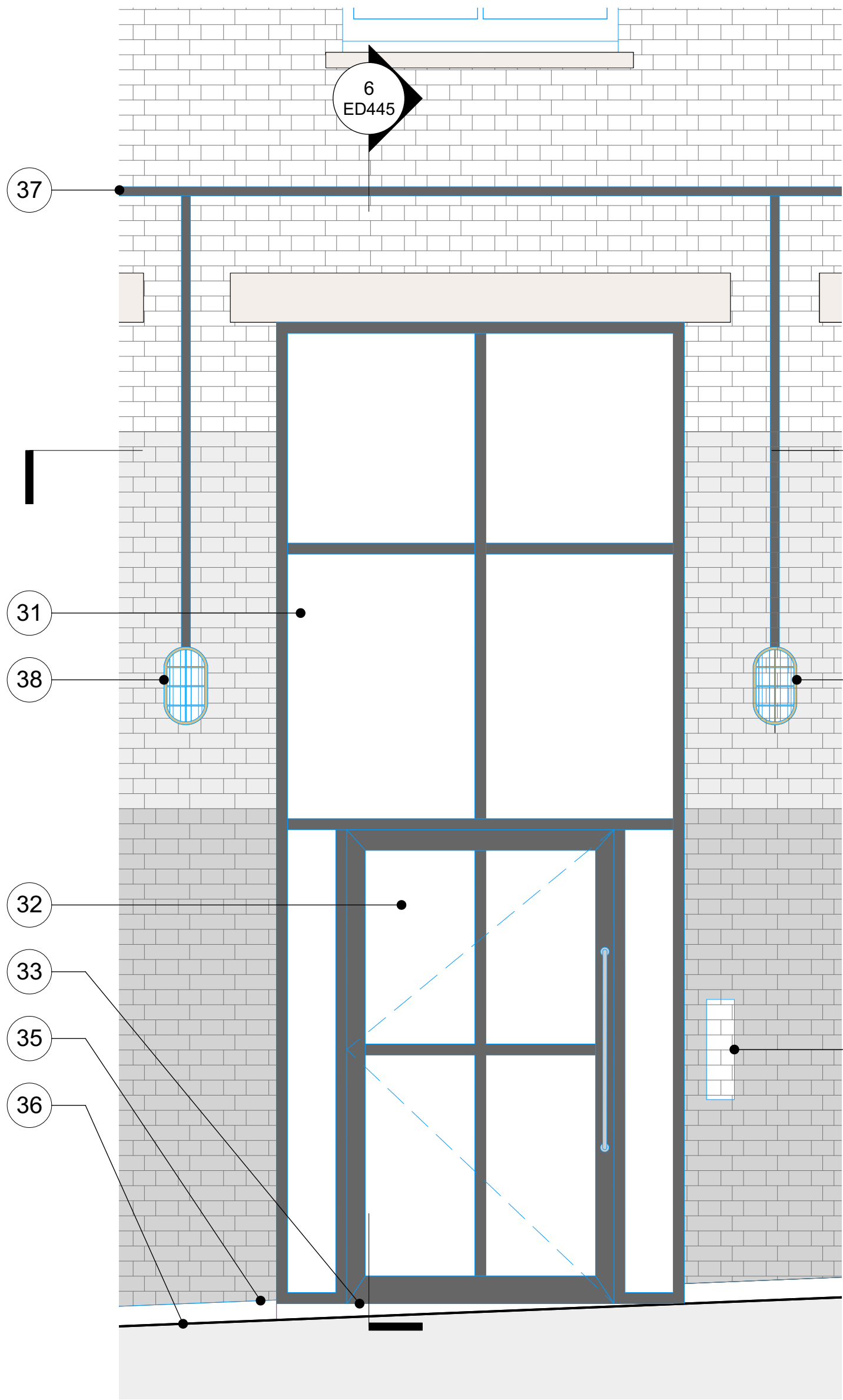
32	03.445.32 - New double glazed PPC aluminium power assisted cycle store access door
33	03.445.33 - New stainless steel threshold drain to entrance door
34	03.445.34 - New PPC aluminium access control panel with fob reader, video/voice intercom, plus call buttons, to be finished in PPC aluminium colour dark grey
35	03.445.35 - New kerbstone with new tarmac finish to be installed
36	03.445.36 - New coloured tarmac surface to be installed for cyclists access route
37	03.445.37 - New galvanised electrical conduit to be installed
38	03.445.38 - New external wall lights to be installed
39	03.445.39 - New concrete slab to structural engineer specification, with new screed topping and new rubber flooring



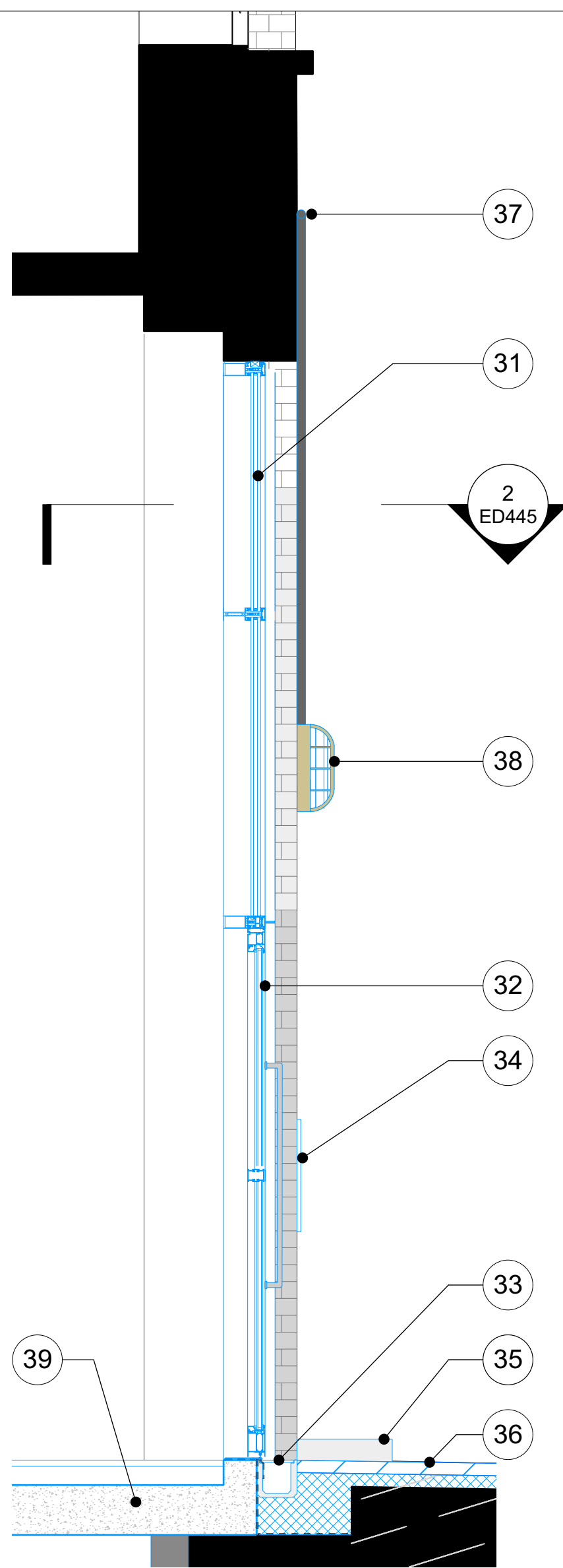
1 21SR-Cycle Store Core Entrance Door-Demolition Elevation  
Scale: 1:20



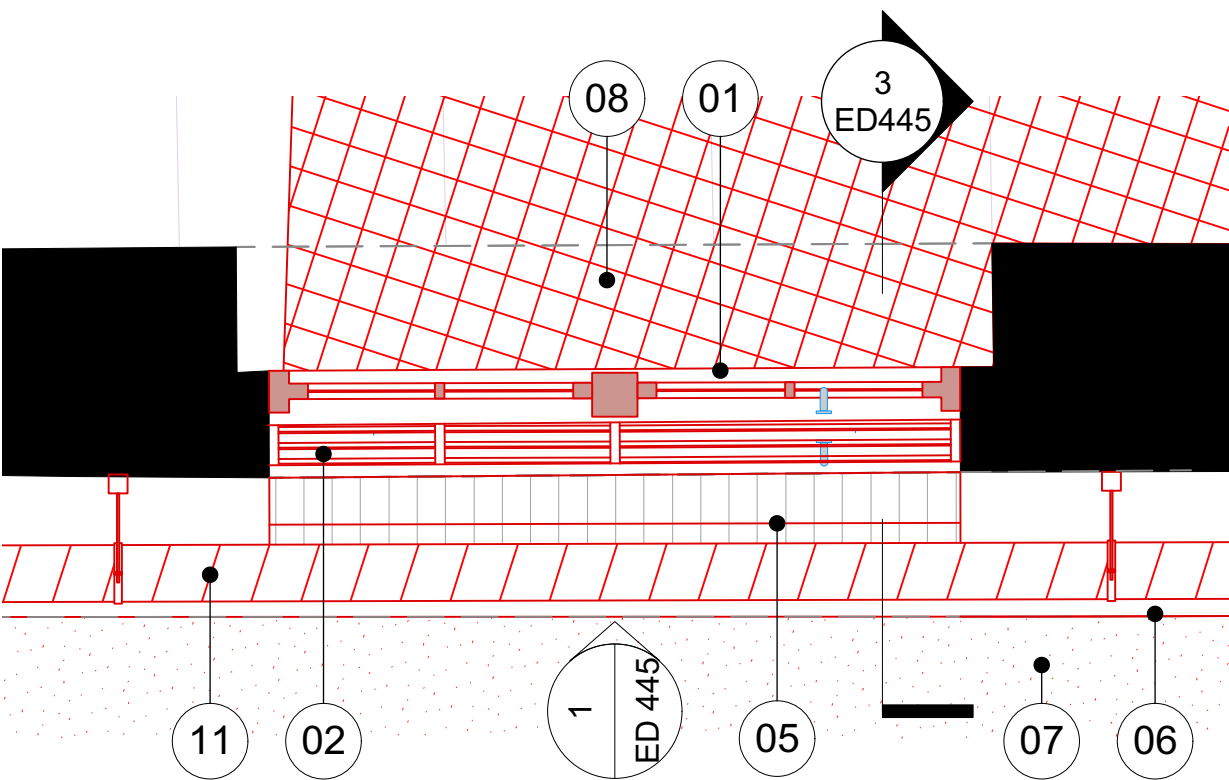
3 21SR-Cycle Store Core Entrance Door-Demolition Section  
Scale: 1:20



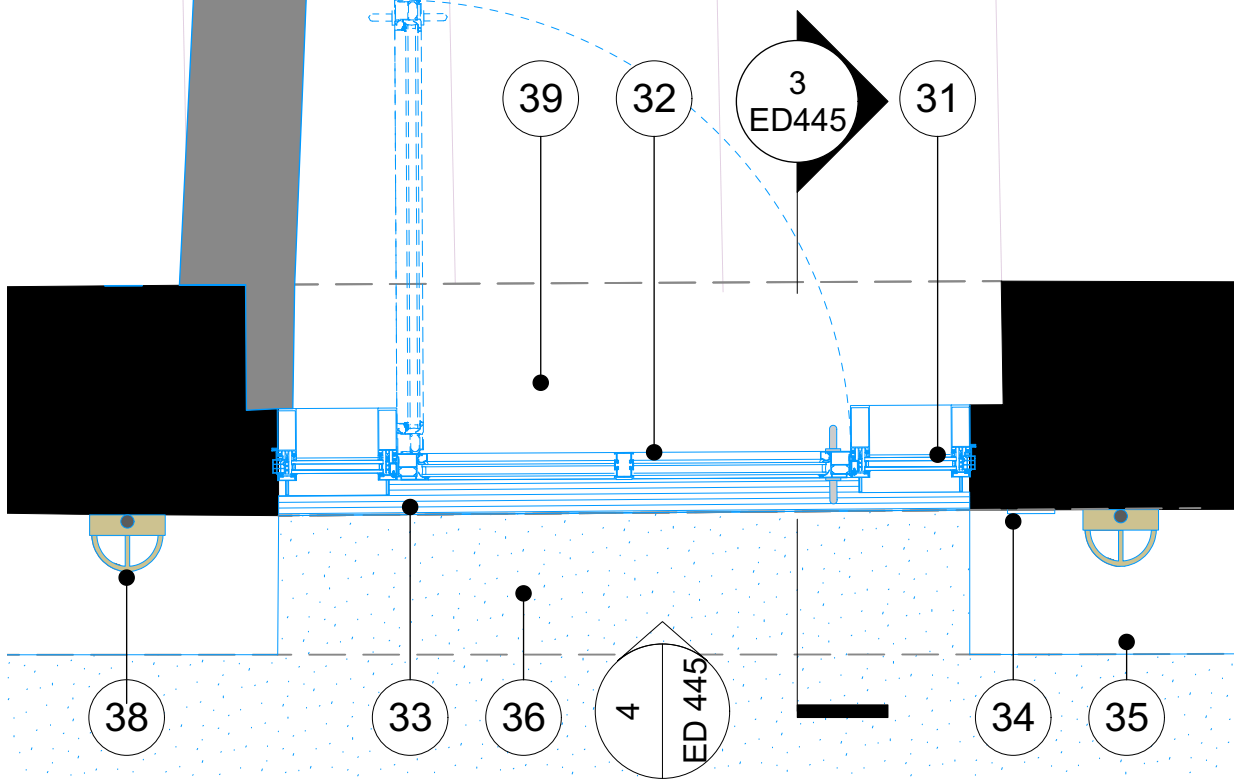
4 21SR-Cycle Store Core Entrance Door-Proposed Elevation  
Scale: 1:20



6 21SR-Cycle Store Core Entrance Door-Proposed Section  
Scale: 1:20



2 21SR-Cycle Store Core Entrance Door-Demolition Plan  
Scale: 1:20



5 21SR-Cycle Store Core Entrance Door-Proposed Plan  
Scale: 1:20



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.  
Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.  
This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.  
All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.  
Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	07/02/2025	Revised as per agreements

Date 08/06/2022	Project Vernon, Sicilian Hse/21 Southampton Row	Job Ref. 383
Scale 1:20@A1	Drawn HT	Check AY
Status PLANNING	Client Ref EDR	Drwg. no. 383 (ED) 445
Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP T: 020 3735 7442	E: <a href="mailto:mail@halebrown.com">mail@halebrown.com</a>	Rev. PL-2 W: <a href="http://www.halebrown.com">www.halebrown.com</a>

halebrown  
architects