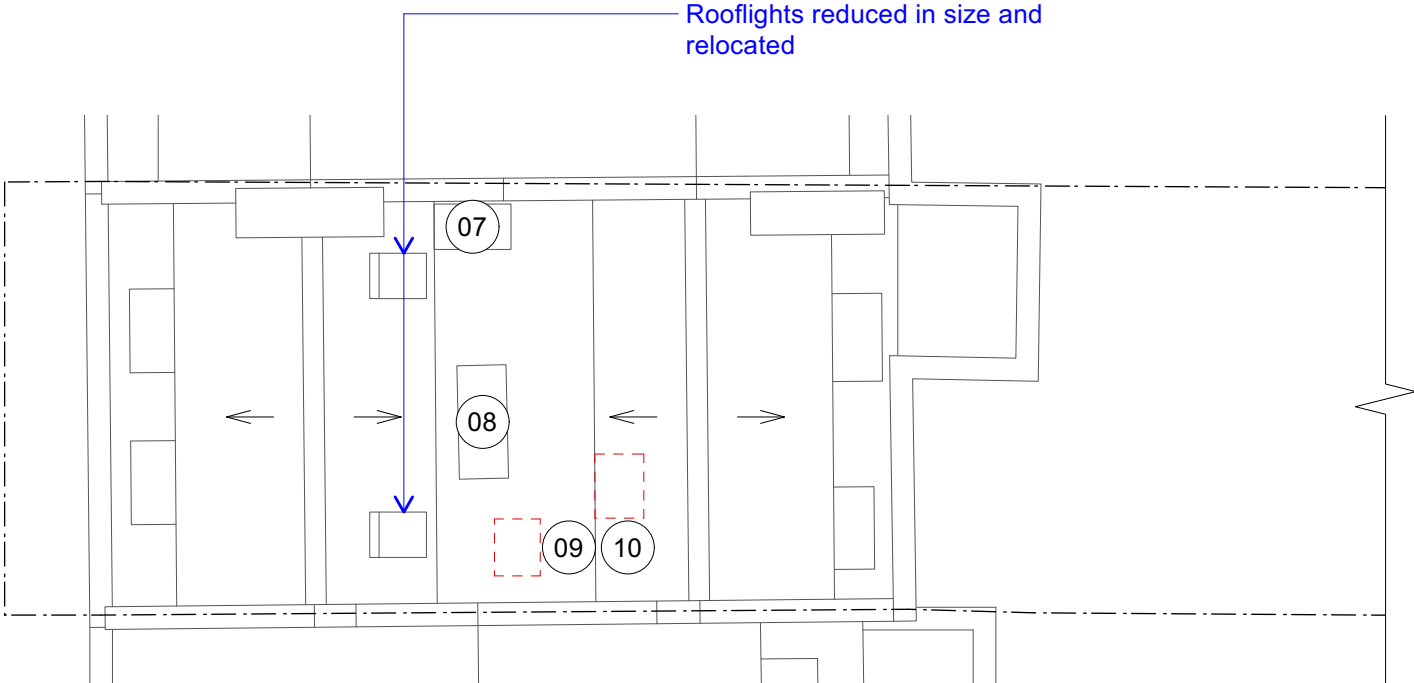


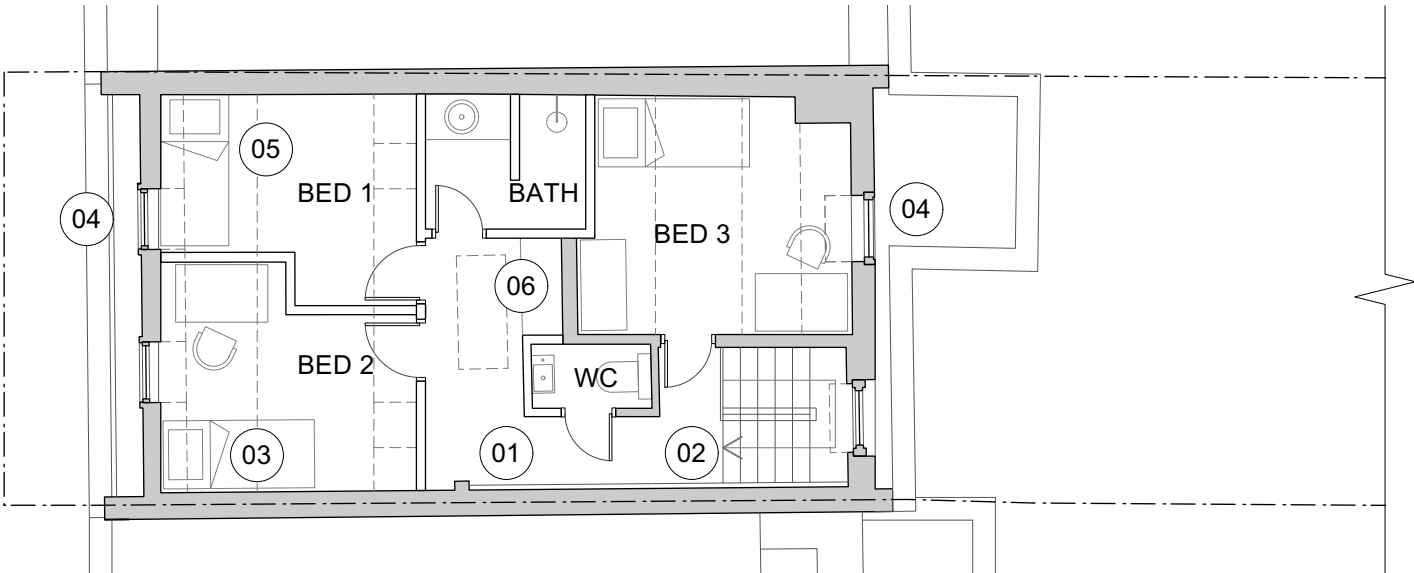
PROPOSED NMA

NOTES

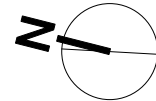
- 01 Remove, carefully restore and reuse existing timber floorboards where possible
- 02 Repair damage to existing stair
- 03 Repair water damage to walls
- 04 Overhaul existing timber window frames and repair damaged panes
- 05 Reconfigure front room to create two bedrooms
- 06 Update bathroom and WC spaces
- 07 New skylight above bathroom
- 08 Existing 1960's skylight adapted to roof access hatch
- 09 Existing rotten roof access hatch filled, surrounding roof and ceiling made good
- 10 Existing rooflight to WC



R Proposed Roof Plan
Scale: 1:100



3 Proposed Third Floor Plan
Scale: 1:100



No.	Date	By	Revision Notes
01	10.04.24	ZM	Submitted with Pre App
02	05.06.24	ZM	Updated in response to conservation officer comments
03	06.06.24	ZM	Updated in response to pre application feedback
04	17.06.24	ZM	Submitted for Planning Permission
05	11.02.25	ZM	Submitted for NMA application

Note

Although O.S. Coordinates may be shown on this plan the grid is to be treated as arbitrary. No scale factor has been applied to the survey therefore the any coordinates shown are not true O.S. Coordinates.
All dimensions to be checked on site



Roberts & Treguer

© Roberts and Treguer Ltd

Client

Victor & Apolline Lugger

Project Title

Church Row

Sheet Title

Proposed Floor Plans
- Third Floor & Roof

Drawn By

ZM

Project ID

2309

Reviewed By

GR

Scale

1:100

Date

January 2024

Sheet No.

P 03

