

## **Design and Access Statement**

### **Garden Flat 76a Belsize Park Gardens, NW3 4NG**

#### **INTRODUCTION**

This statement has been prepared in support of a planning application at the property at **76a Belsize Park Gardens NW3 4NG**, located in the Belsize Park Conservation Area in the London Borough of Camden.

Planning permission is sought for a single storey rear extension, minor external alterations, replacing existing windows and internal refurbishment of the above property.

Details of the above proposals will be expanded upon within the following report.

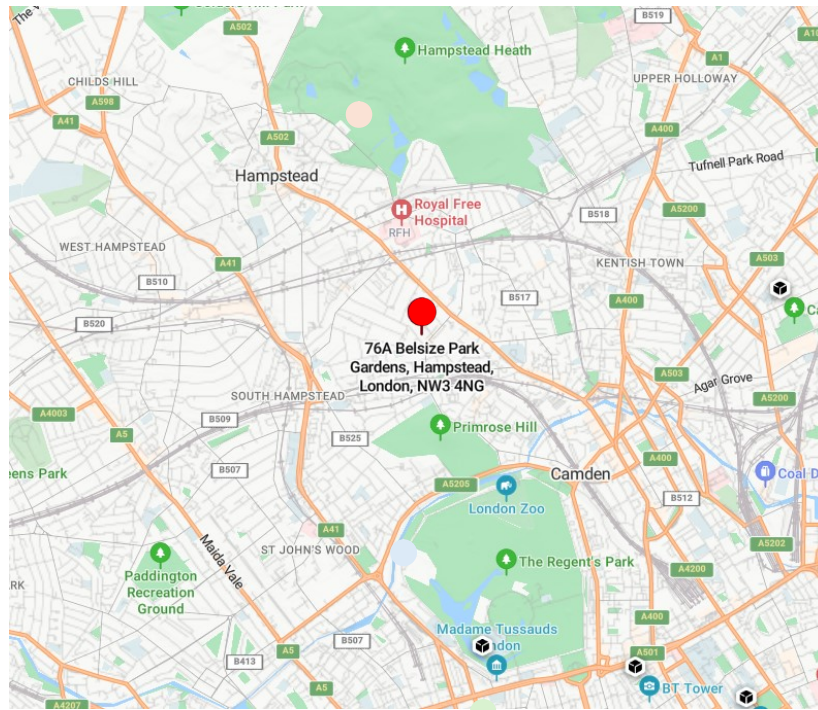
#### **REFERENCE DOCUMENTS**

This statement should be read in conjunction with the attached reference documents as follows:

- EX-00: Existing Site Plan
- EX-01: Existing Lower Ground Floor Plan
- EX-02: Existing Front Elevation
- EX-03: Existing Side Elevation
- EX-04: Existing Rear Elevation
- EX-05: Existing Sections
  
- PA-00: Proposed Site Plan
- PA-01: Proposed Lower Ground Floor Plan
- PA-02: Proposed Front Elevation
- PA-03: Proposed Side Elevation
- PA-04: Proposed Rear Elevation
- PA-05: Proposed Sections

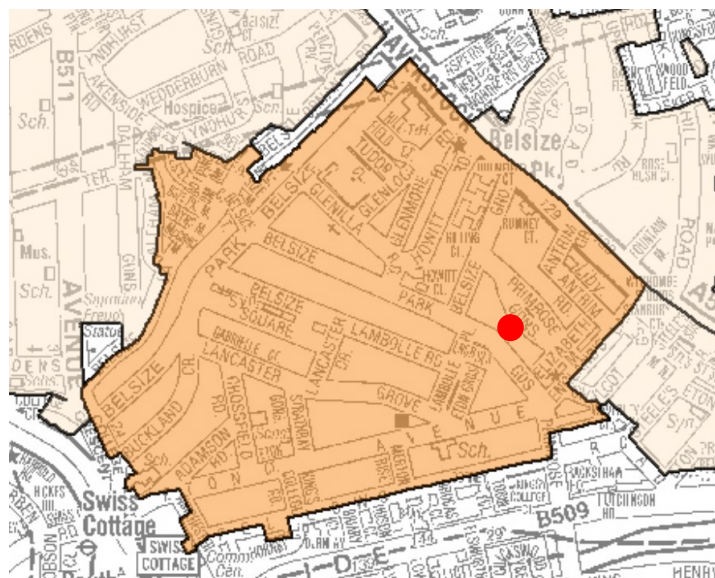
## SITE LOCATION & CONTEXT

The site is located in the Belsize Park Conservation Area.



The site is closely located to the below areas of greenspace and parkland areas.

- Proposed site
- Hampstead Heath
- Primrose Hill
- Regents Park



## PLANNING HISTORY

The following applications have been submitted for the property at 76a Belsize Park Gardens.

1.

Application Reference No:

**G8/9/9/18817**

Application Type:

**Historic Planning Application**

Date of Decision Notice:

**12-06-1974**

Description of Proposals:

**The retention for a further limited period of a single storey garden chalet at the rear of 76A Belsize Park Gardens NW3**

Status:

**Limited Period**

2.

Application Reference No:

**G8/9/9/24884**

Application Type:

**Historic Planning Application**

Date of Decision Notice:

**23-09-1977**

Description of Proposals:

**The retention of a single storey garden chalet at the rear.**

Status:

**Conditional**

## EXISTING BUILDING

No. 76 Belsize Park Gardens lies within the historic development dating from the 1850s that forms the heart of Belsize Park Conservation Area. The row of buildings at nos. 62-82 Belsize Park Gardens is identified as making a positive contribution to the Conservation Area.

The substantial, five storey, stucco-fronted, semi-detached villas in this row have fine rear elevations with large, semi-circular bays at lower and upper ground floor levels.

The bays are rendered and painted while the rest of the rear elevation is in brick.



Above; Existing Street Elevation - Viewed from Belsize Park Gardens looking North West.



Above; Existing Street Elevation - Viewed from Belsize Park Gardens looking South East

## **PROPOSALS**

### **Front (Street) Elevation**

The existing access gate serving the side path will be replaced. The proposed gate will be timber and in keeping with the existing style. A proposed security entry system is also proposed.

### **Side Elevation**

The access door serving the existing storage area under the communal steps will be removed. The existing opening will be blocked up and finished externally with render to match existing.

The existing flat entrance door and fanlight will be replaced with new.

The existing, low level window serving the existing WC is to be removed. The opening will be infilled with toothed brickwork from the areas of demolition.

The window currently serving the existing bathroom is to be removed. The cill level is to be lowered to match the existing windows on the side elevation. A proposed, double glazed window will be installed to match the profile of the existing windows.

The width of the proposed site access path will be retained where the rear extension is proposed.

The existing stone paving to the side access path will be carefully removed. New, natural stone paving will replace the existing and extend partially into the garden.

### **Rear Elevation**

The proposed rear extension is centred on the existing windows to the upper floors. The extension will be formed in brickwork to match the existing building. To the rear of the extension, proposed timber French doors and full sidelights will maximise light within the extension area. A simple glazed rooflight is proposed where the extension meets the existing building. The location of the rooflight will reduce overlooking issues from the property above.

3no. side windows will be located on the North West elevation. The scale and proportion of the proposed windows are in keeping with the existing windows above. The windows and the external doors to the extension will have brick arched lintols. The extension will have a brick parapet upstand over the proposed flat roof, in brickwork to match the existing.

The existing door in the bay is to be removed. The low level wall is to be rebuilt to match the existing cill level, on the opposite side of the bay. A proposed, double glazed window will be installed to match the profile of the existing windows.

### **Proposed Windows**

Please refer to the attached drawings for the location of the existing windows which are to be replaced under the proposals. Appendix A of this document shows typical window fabrication drawings with window frame and glazing bar profiles.

The appended drawings show a sample sash window with true glazing bars and concealed trickle vent and a sample casement window. These drawings include elevations and sections. The existing decorative window style and small pane glazing division on front and side elevation windows will be retained.

Alternatively applied glazing bars would be used in order to maintain existing slim glazing bar profiles at 22mm, closely resembling the existing bars in proportion. Moreover, this specification complies with Document L Building Regulations, ensuring regulatory adherence.

### **Flat Roof**

A flat roof has been proposed over the new extension. The location of the rooflight has been considered to minimize any overlooking issues from the neighbours in the flats above.

The colour of the flat roof is to match the colour of the proposed paving stones at terrace level. This aims to minimize the visual impact of the flat roof to the neighbours above and blend the proposed extension into its surrounding context.

### **Right of Light**

The extension is entirely at lower ground floor level and does not introduce any new obstructions that would reduce the natural light received by the upper flats. The existing windows and light sources serving these properties will remain unaffected by the development.

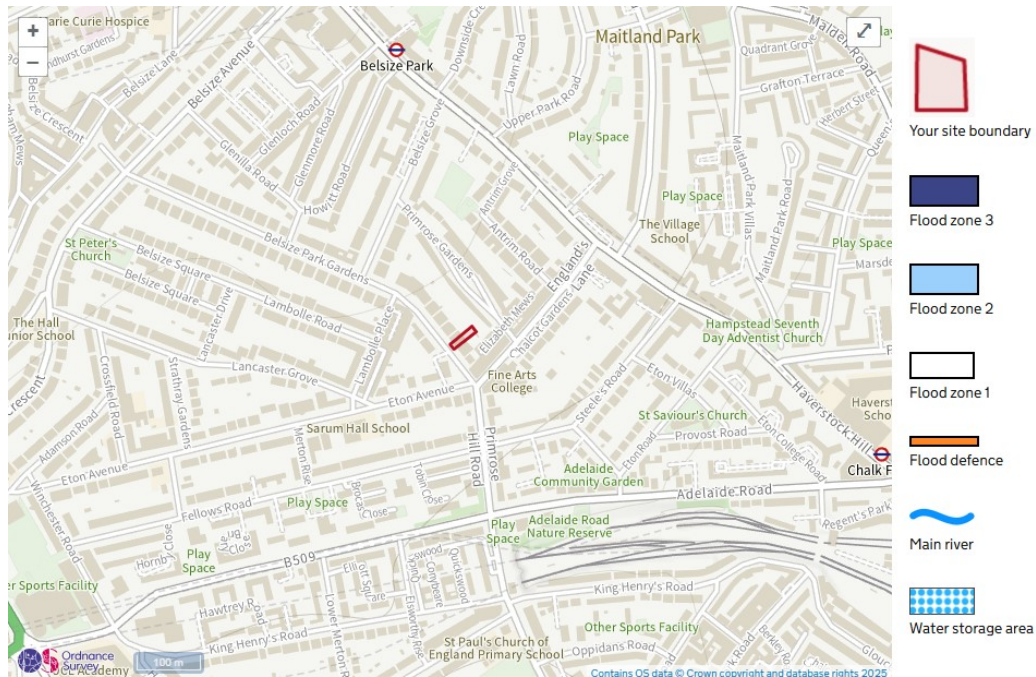


## ACCESS

This application will not affect the existing access arrangements. The existing door access is maintained, and the existing side access paths to the rear garden area will not be affected.

## FLOOD RISK

The application site is located within Flood Risk Zone 1, so a Flood Risk Assessment is not required.



Flood risk map from the Environment Agency.

## CONCLUSION

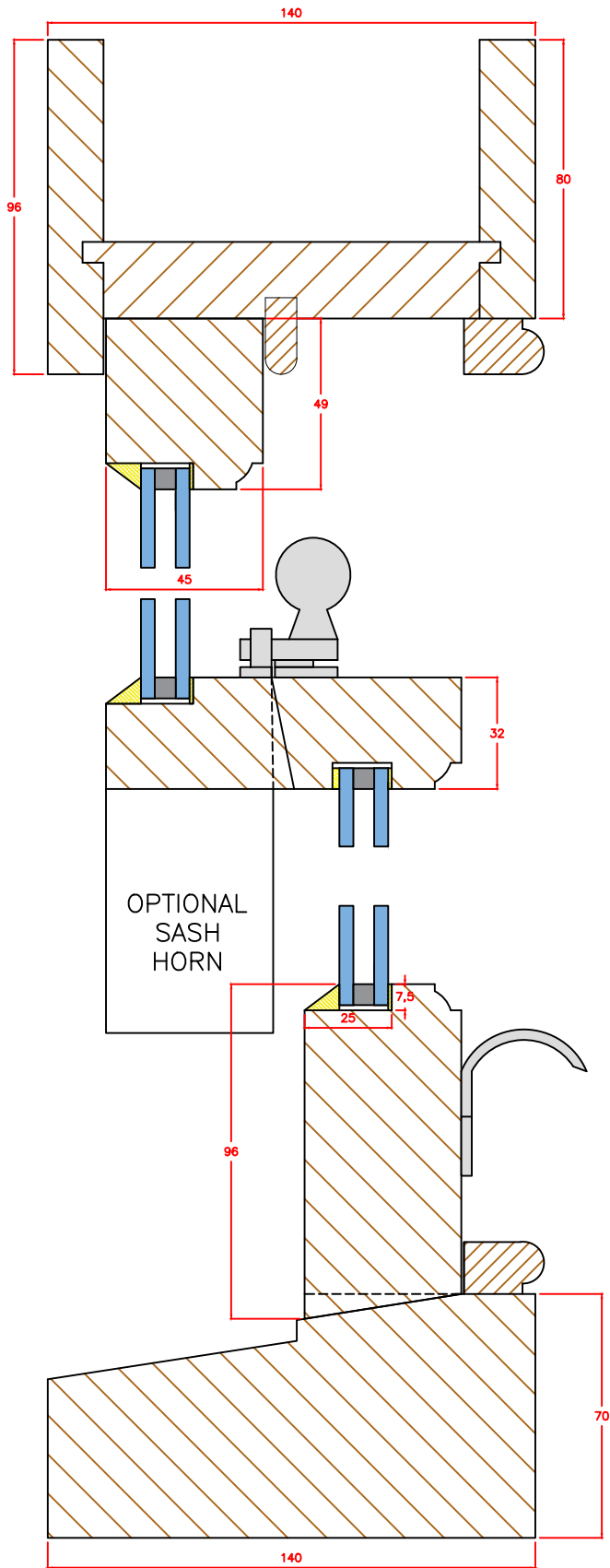
Overall, we trust that the proposals here submitted are respectful of the original dwelling and the surrounding area. The proposed changes will not affect the Street Elevation. The changes proposed are sympathetic to the conservation area aesthetic and ideologies and will thus improve the overall appearance of 76a Belsize Park Gardens.

# APPENDIX A

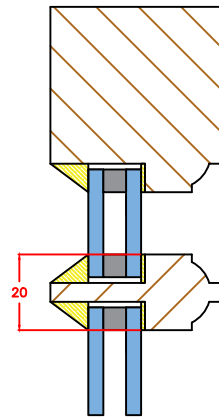
## TYPICAL WINDOW DETAIL DRAWINGS



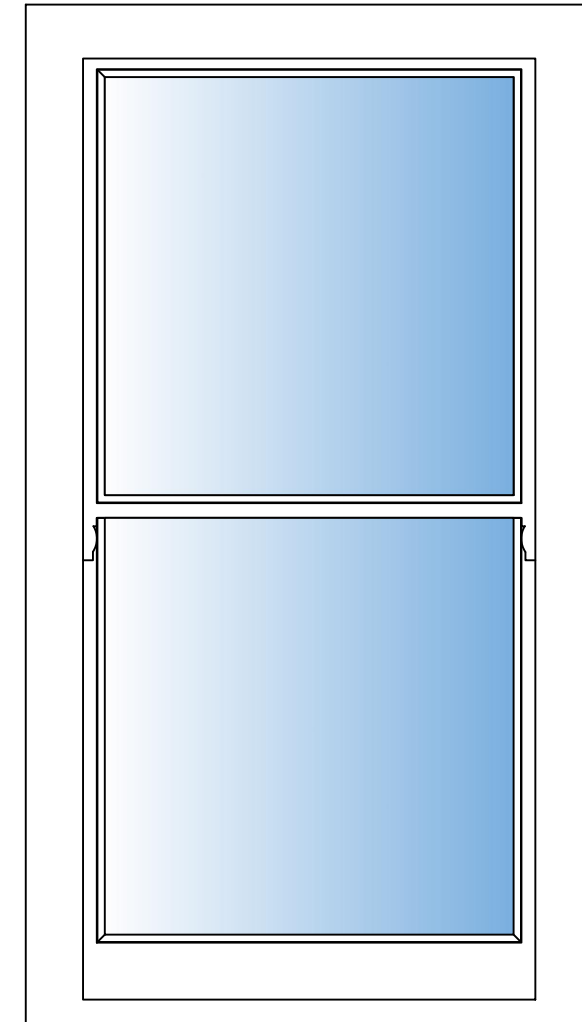
Sections – Head & cill  
1:2 @ A3



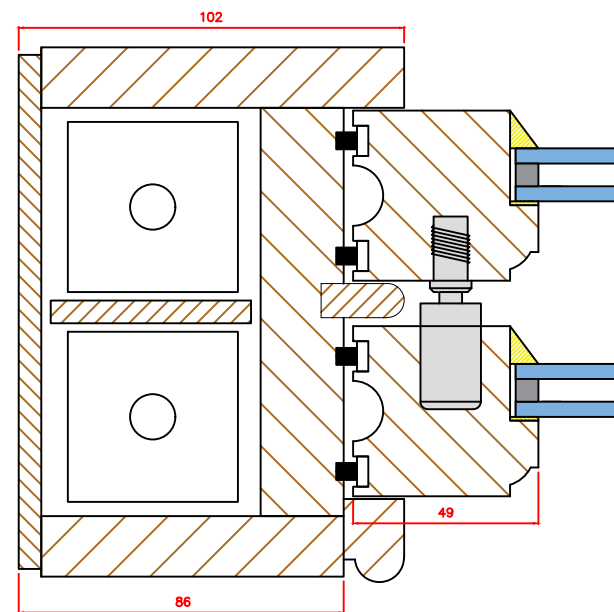
Sections – Glazing bar  
1:2 @ A3



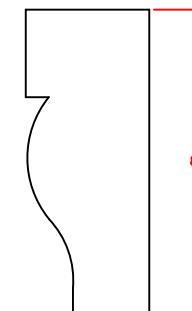
Elevation – External view



Sections – Jambs  
1:2 @ A3



Standard Horn  
1:2 @ A3



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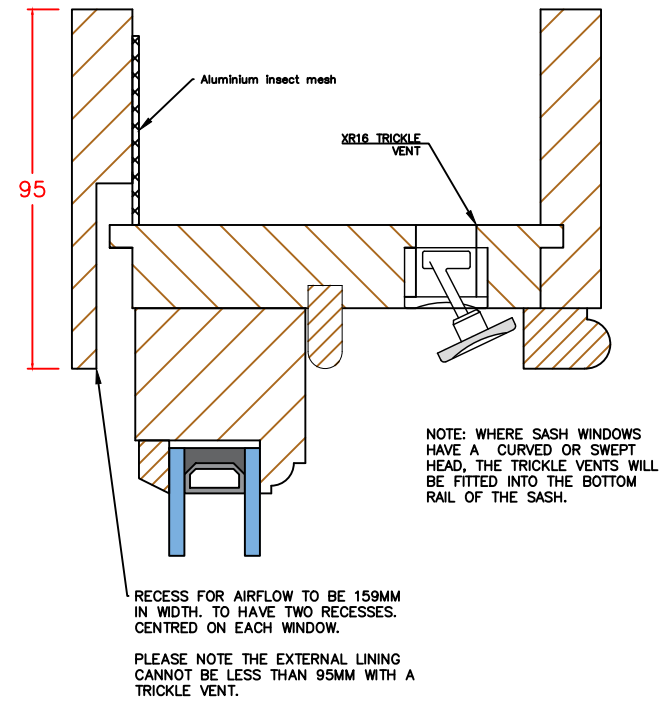
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Drawing Name: Heritage Box Sash Window  
Drawing Date: 16.02.2024  
Drawn by: NATHAN SMITH



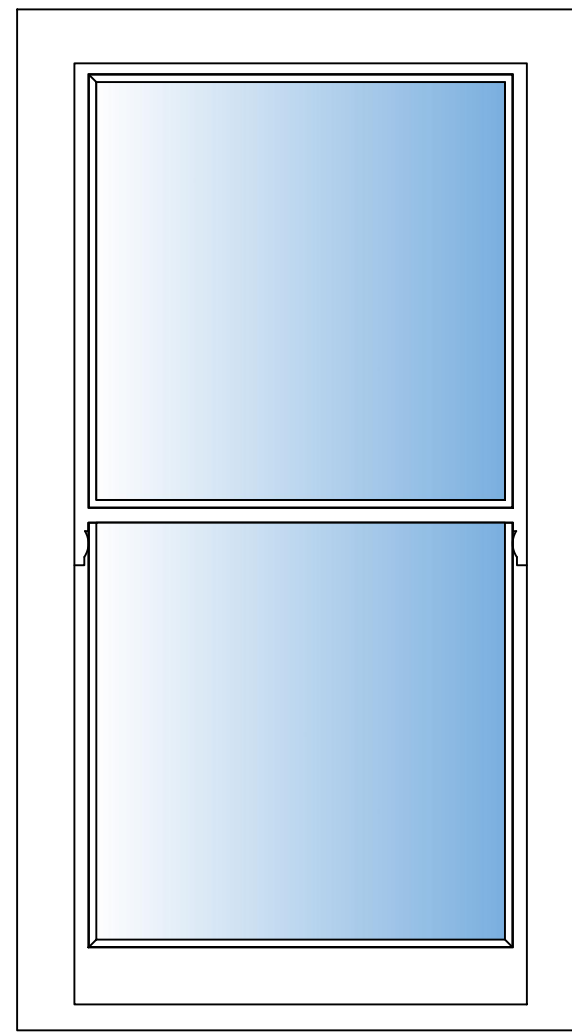
Unit 2, Kangley Bridge Road  
Kangley Business Centre  
Lower Sydenham, London  
SE26 5AQ  
T: 020 3576 7500  
E: sales@wandsworthsashwindows.com

SCALE:  
N/A  
REV:  
C

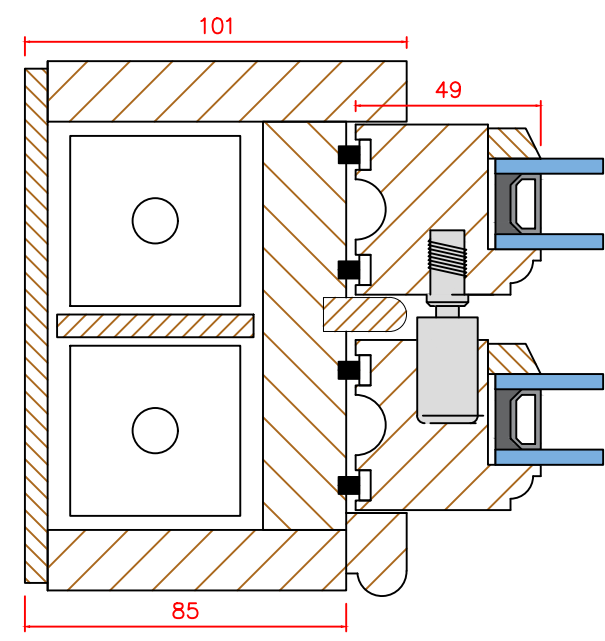
Sections – Head & cill  
with trickle vent  
1:2 @ A3



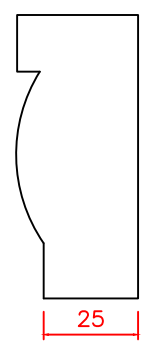
Elevation – External view



Sections – Jambs  
1:2 @ A3




Victorian Horn  
1:2 @ A3



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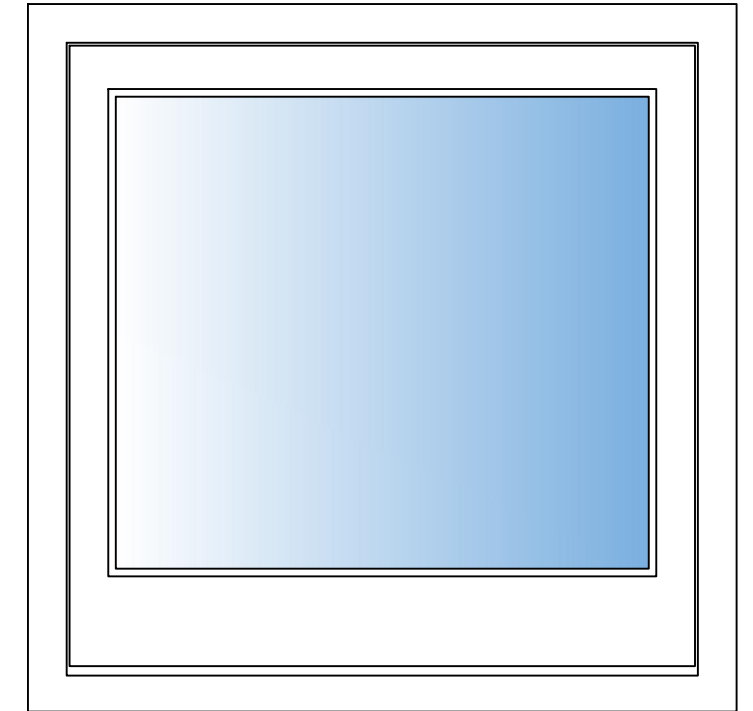
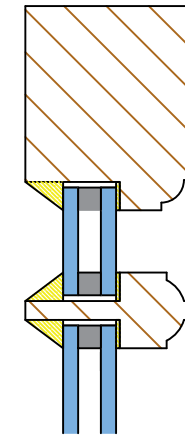
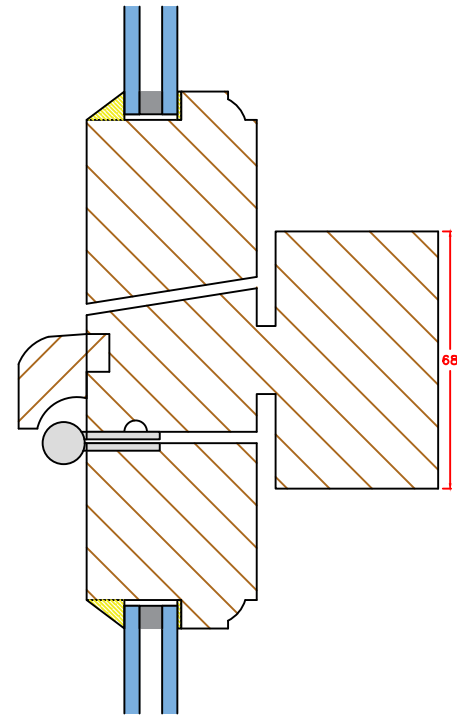
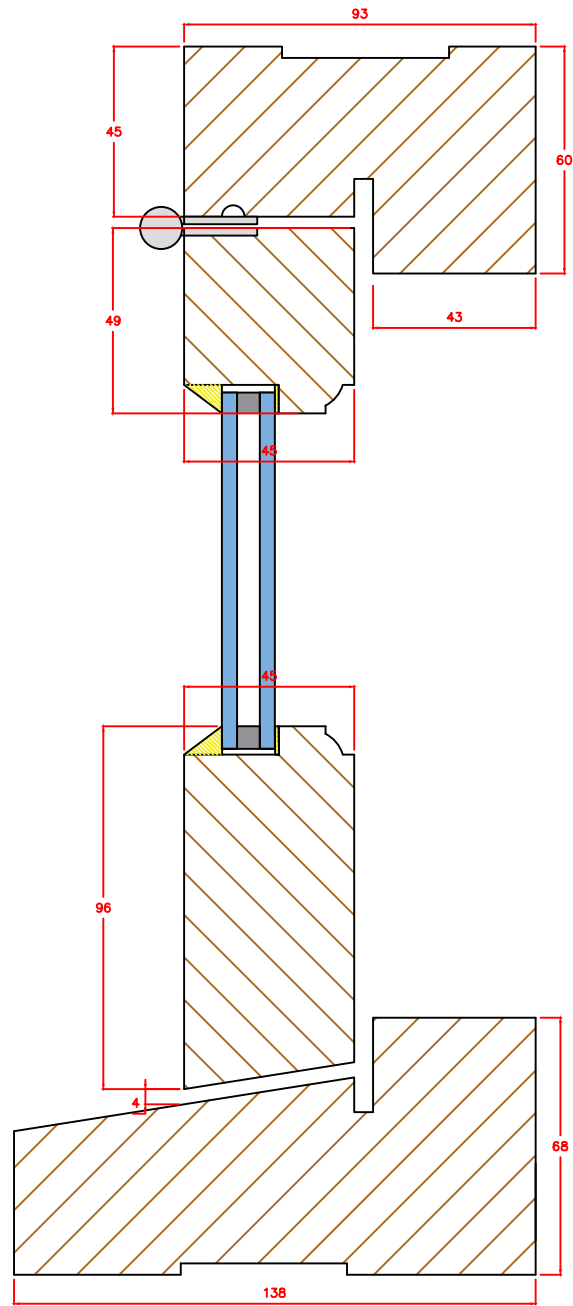
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Drawing Name: Traditional Box Sash Window	
Drawing Date: 17.03.2023	
Drawn by: NATHAN SMITH	
	Unit 2, Kangley Bridge Road Kangley Business Centre Lower Sydenham, London SE26 5AQ
	T: 020 3576 7500 E: sales@wandsworthsashwindows.com
SCALE: N/A	REV: C

Sections – Head & cill  
1:2 @ A3

Sections – Transom  
1:2 @ A3

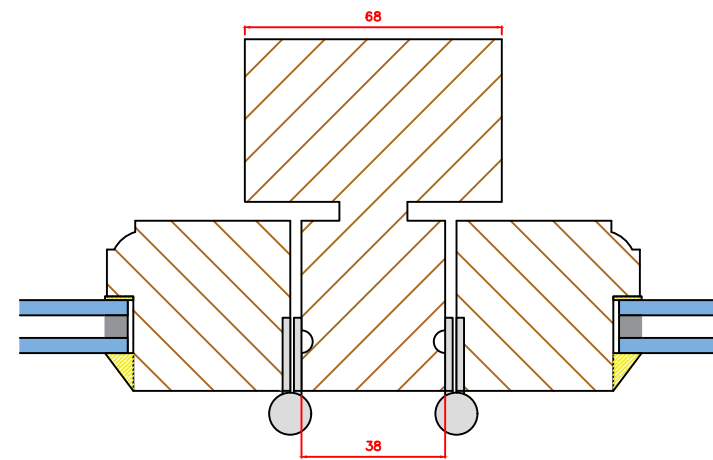
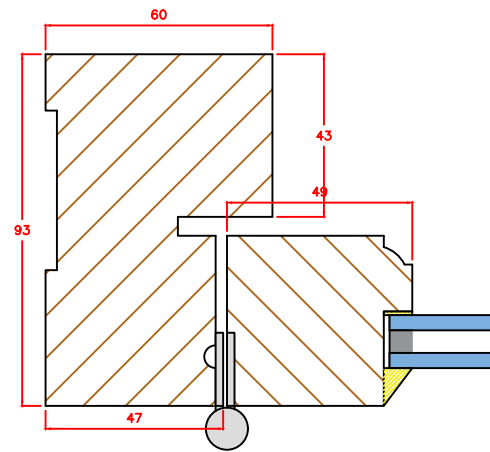
Sections – Glazing bar  
1:2 @ A3

Elevation – External view




Sections – Jamb  
1:2 @ A3

Sections – Mullion  
1:2 @ A3



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ALL MEASUREMENTS ARE IN MM | DO NOT SCALE FROM THESE DRAWINGS

Drawing Number: SGL-HCW-01	
Drawing Name: Heritage Casement Window	
Drawing Date: 16.02.2024	
Drawn by: NATHAN SMITH	
 <b>Sanford</b> <small>GROUP LIMITED</small>	Unit 2, Kangley Bridge Road Kangley Business Centre Lower Sydenham, London SE26 5AQ T: 020 3576 7500 E: sales@wandsworthsashwindows.com
	SCALE: N/A