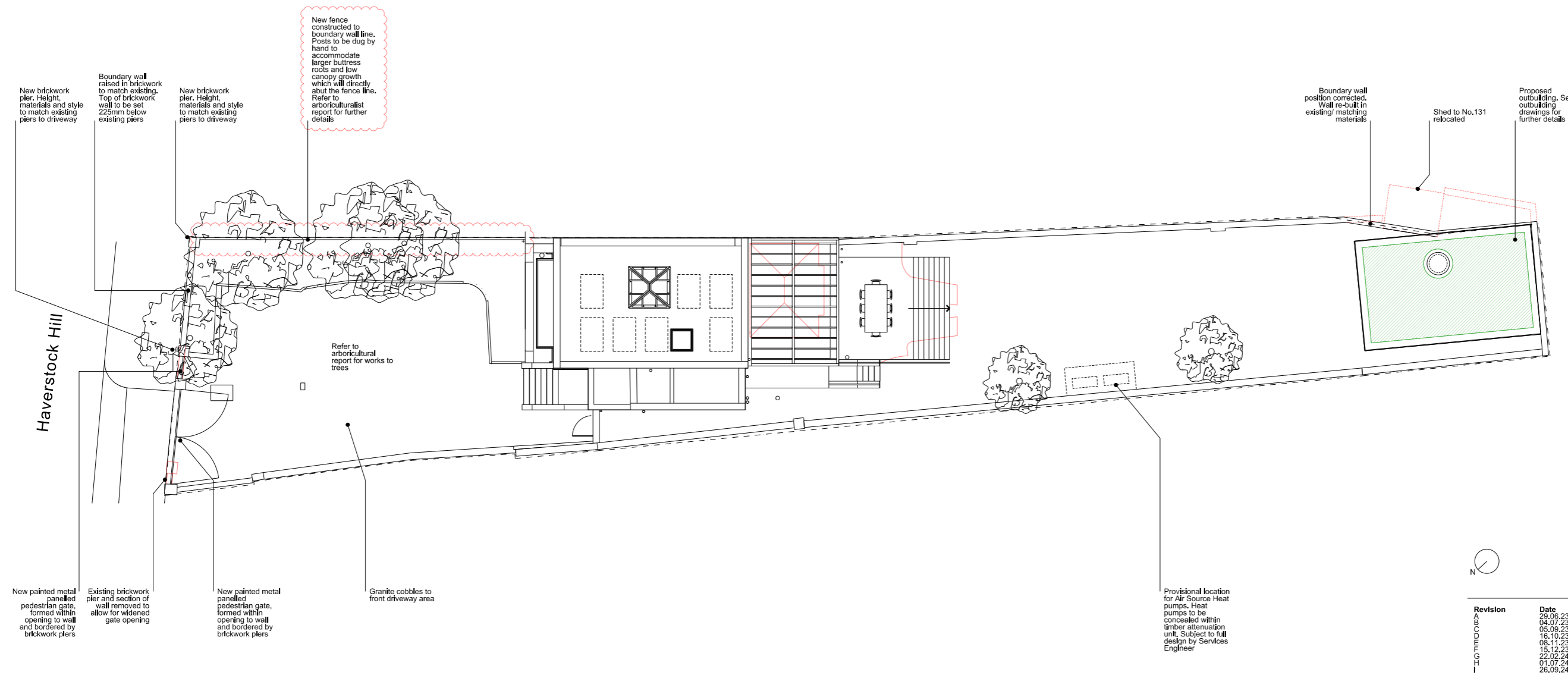


General Notes

Do not scale from this drawing. Drawings are for the purpose of the stage stated at the base of the drawing and therefore not for construction unless specifically stated. All dimensions to be verified on site prior to construction.

For information only unless indicated in status.
 All structure to Structural Engineer's design.
 All services to be Contractor's design.
 All works to be in accordance with current Building Regulation requirements an current construction legislation.
 It is the contractor's responsibility to cross-reference all design documents and notify the architect of any inadequacy, discrepancy or divergence in or between the full drawing package/design information.
 Drawings to be read in conjunction with full drawing package issued by Architect and other consultants information.
 Copyright © Flower Michelin Architects LLP 2023

- Refer to window survey for proposed alterations to existing windows.
- Refer to moulding schedule for proposals relating to architraves, coping, ceiling roses, skirting etc.
- Refer to damp proof report and remedials works for damp proofing works to lower ground floor.
- Refer to services information for details relating to drainage and comfort heating/cooling.
- Refer to arboriculturalist reports for tree works.



New brickwork pier. Height, materials and style to match existing piers to driveway

Boundary wall raised in brickwork to match existing. Top of brickwork wall to be set 225mm below existing piers

New brickwork pier. Height, materials and style to match existing piers to driveway

New fence constructed to boundary wall line. Posts to be dug by hand to accommodate larger buttress roots and low canopy growth which will directly abut the fence line. Refer to arboriculturalist report for further details

Boundary wall position corrected. Wall re-built in existing/ matching materials

Shed to No.131 relocated

Proposed outbuilding. See outbuilding drawings for further details

Refer to arboricultural report for works to trees

Provisional location for Air Source Heat pumps. Heat pumps to be concealed within timber attenuation unit. Subject to full design by Services Engineer

New painted metal panelled pedestrian gate, formed within opening to wall and bordered by brickwork piers

Existing brickwork pier and section of wall removed to allow for widened gate opening

New painted metal panelled pedestrian gate, formed within opening to wall and bordered by brickwork piers

Granite cobbles to front driveway area

- Drainage route
- Denotes extent of demolition/ line of existing
- Denotes area of new wall construction

Revision	Date	Description
A	29.09.23	Client amendments incorporated
B	04.07.23	Client amendments incorporated
C	05.09.23	Client amendments incorporated
D	16.10.23	Client amendments incorporated
E	08.11.23	Arboriculturalist/ Client amendments incorporated
F	15.12.23	Arboriculturalist/ Client amendments incorporated
G	22.02.24	Brickwork boundary wall to rear corrected
H	01.07.24	Update to trees to front driveway
I	26.09.24	Update to amend brickwork wall to fence

FLOWER MICHELIN

+44(0)20 7751 0444
 studio@flowermichelin.com

Unit 7-8.27 Ackmar Road, London, SW6 4UR
 flowermichelin.com



Project	133 Haverstock Hill, London NW3 4RU	Rev	I
Title	Proposed Site Plan	Scale	1:200 A3
Number	312_31_01		
Status	Planning		

