

6.4 Elevations, Approved and Proposed

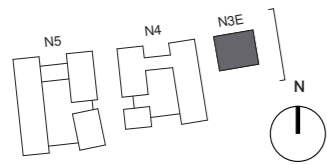
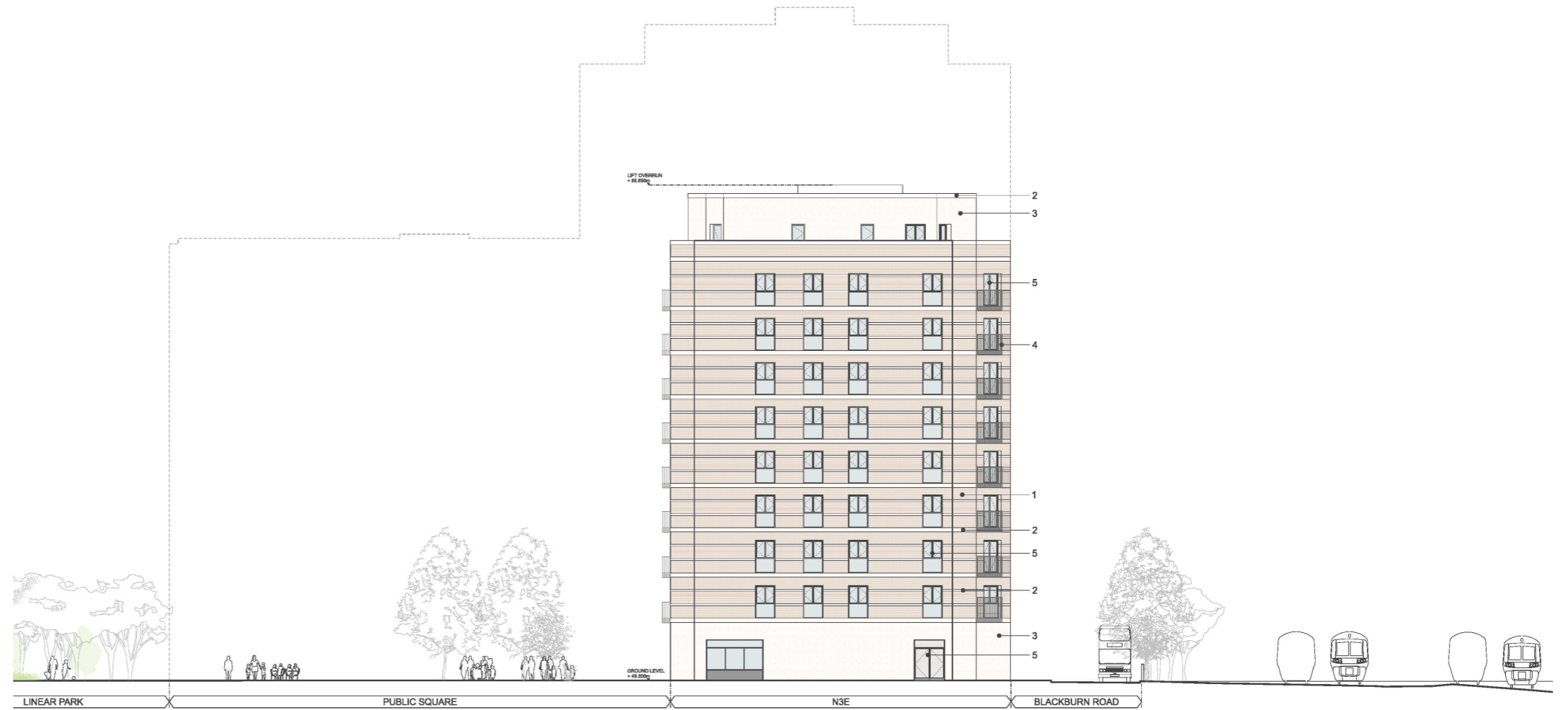
N3E East Elevation: Planning Approved

Building N3 E - East Elevation -
2023 Planning approved

KEY

- 01 BRICK TYPE 1
- 02 STRING COURSE
- 03 PRECAST CONCRETE / FEATURE BRICK
- 04 METALWORK
- 05 COMPOSITE WINDOW/DOOR

NOTE: MVHR (OR SIMILAR EXTRACT / INTAKE) TO BE SUBJECT 1 DETAILED DESIGN AND APPROVED UNDER CONDITION



N3 E Key

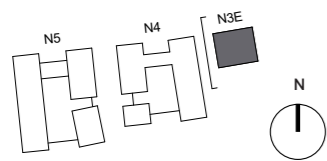
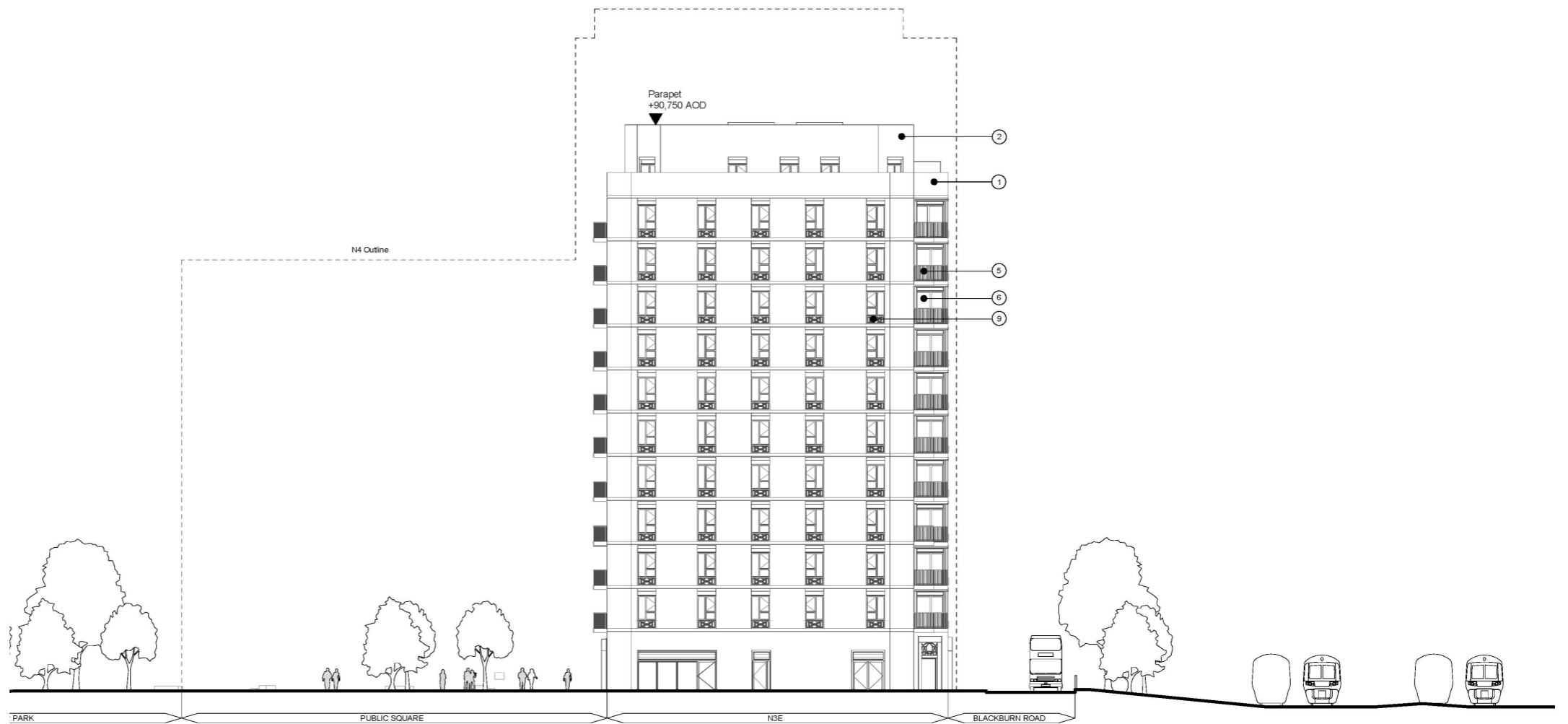
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N3E East Elevation: S73 Proposal

Summary of key amendments

- Two additional residential floors introduced at mid level
- Vertical striped brick coursing removed from façades and replaced with subtle brick banding
- Recessed panels beneath windows and ground floor portals have been incorporated to add interest and to integrate this building with elements of Plot N4 and N5

Building N3 E - East Elevation -
Section 73 Proposal



N3 E Key

6.5 Key Benefits of the Amended Design

The proposed N3E amendments deliver the following benefits:

- A greater degree of detail and tonal variety to make the spaces feel distinct and interesting
- Better integration of design with other plots on the Detailed Element, this is achieved through the shared language of brick palettes, recessed window panels and ground floor portals.
- Homes are designed to comply with recent changes to fire and regulatory standards, with focus on safety, buildability and future maintenance.
- An increase of 8 Market Rent homes across the plot, including an increase in the provision of family sized homes from 0% to 13%

N3E View

