



Strip Out Key

- ALT-111 Removal of Internal Non-Structural Masonry Walls
- ALT-112 Removal of Internal PVC Walls
- ALT-113 Removal of Internal Plasterboard Partition
- ALT-114 Removal of Internal Plasterboard Skirting to Solid Walls
- ALT-115 Removal of Internal Wall Linings to Concealed Fireplace/Chimney breast
- ALT-116 Removal of Non-Thermally-Breaking Secondary Glazing
- ALT-117 Removal of Internal Doorsets
- ALT-118 Removal of Internal Wall Panels
- ALT-119 Removal of Wall Access Panels
- ALT-120 Removal of Floor Mats
- ALT-121 Removal of Kitchen Filtrage
- ALT-122 Removal of Wall Panels
- ALT-123 Removal of Floor Mats
- ALT-124 Removal of Stairways
- ALT-125 Removal of External Glassed Roof Light
- ALT-126 Removal of Flat Roof Waterproofing
- ALT-127 Form Opening in Internal Ceiling
- ALT-128 Muddy Ceiling Hatch Opening
- ALT-129 Enable Opening in Wall

- ALT-130 Removal of Internal Suspended Ceiling Tile System
- ALT-131 Removal of Internal Ceiling Coverings (Ceiling Wallpaper)
- ALT-132 Removal of Window Sills
- ALT-133 Removal of Curtain Tracks
- ALT-134 Removal of Perimeter Trimming
- ALT-135 Removal of Signage - Statuary and Non-Statuary
- ALT-136 Removal of Internal Floor Build-up
- ALT-137 Removal of Internal Floor Soled
- ALT-138 Removal of Internal Timber Siding
- ALT-139 Removal of Internal Floor Covering
- ALT-140 Removal of Internal Ceiling Coverings (Ceiling Wallpaper)
- ALT-141 Removal of Window Sills
- ALT-142 Removal of Curtain Tracks
- ALT-143 Removal of Perimeter Trimming
- ALT-144 Removal of Signage - Statuary and Non-Statuary

- ALT-145 Historic elements to be stripped by Specialist Contractor
- ALT-146 Refer to the Refurbishment drawings for retained doors to be refurbished
- ALT-147 Removal of Internal Ceiling Cornice Moulding
- ALT-148 Removal of Internal Doorsets
- ALT-149 Removal of Radiator Cover

- ALT-150 Removal of Internal Terrace Window Sills
- ALT-151 Removal of Internal Wall Coverings to all surfaces as applicable

- ALT-152 Operational area to be maintained and protected throughout works. WDE doors to be retained.

- ALT-153 Door required for fire integrity to be stripped out by Main Contractor

- ALT-154 Existing wall/structure to remain

- ALT-155 Not in Scope

- ALT-156 Area in Scope

Elements to Retain:

- Retain all wall moldings, chair rails
- Retain ceiling cornice where there are up-downward beams or walls
- Retain sash and plaster ceiling
- Temporary retain obstacles, until client sign off

Demolition and Strip-Out Risk Elimination Notes:

- Unprotected voids
- Design measures taken to reduce / eliminate risk
- Guarding to all service voids and lift doors to be provided by the contractor
- At least one of the lifts should remain operational during the whole of strip out period for occupants

Information Provided for Hazard Control:

- Strip out drawings showing user locations assumed from archive drawings.

Fall From Height:

- Design measures taken to reduce / eliminate risk
- Temporary guarding to all unprotected roof edges required

Information Provided for Hazard Control:

- Strip out drawings identify unprotected roof edges

Fire Escape:

- Strip out drawings identify escape route to be maintained at all times

Operational Precautions:

- Design measures taken to reduce / eliminate risk
- Services to be retained / power supplies to be maintained to be identified prior to strip out

Information Provided for Hazard Control:

- Lifts will remain operational during the whole of the strip out period.

Adjoining Properties:

- Information Provided for Hazard Control
- Light union site with several adjoining properties requiring suitable protection during the works

Asbestos:

- Design measures taken to reduce / eliminate risk
- Management Asbestos Survey information issued with tender
- Full Asbestos Management Plan to be carried out by strip out contractor prior to any work

Information Provided for Hazard Control:

- Management Asbestos Survey results available prior to works commencing

Notes:

- All existing windows to be retained and protected during works
- See final Services Engineer Scope, Drawings and Specifications for services strip out
- Work in conjunction with BMA's Site Inspection Report
- Retain sash and plaster ceiling
- Ensure stair and lift cores fire compartmentation is maintained throughout works
- Specialist contractor to assess perimeter walls mould moisture
- All existing Windows to be retained and to be protected during works
- To be read in conjunction with BMA specifications
- To be read in conjunction with Structural Engineers information and requirements

0 1 2 3 4 5 10m

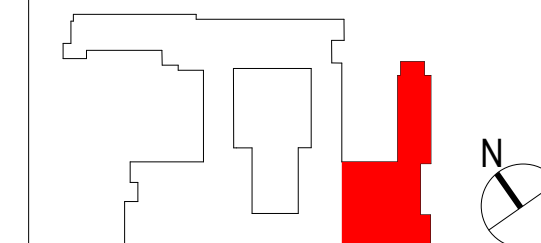
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Rev Date Drawn Checked Description

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KEY PLAN / NORTH SYMBOL



JRA

John Robertson Architects

111 Southwark Street,
London, SE1 1UF
02076335100
www.jra.co.uk
enquiries@jra.co.uk

Project
Tavistock House V32-V35
London

Client
British Medical
Association
BMA House, Tavistock Square London
WC1H 9EP United Kingdom
0200 123 1233
bma@bma.org.uk

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Suitability S2

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