



### Strip Out Key

ALT-111	Removal of Internal Non-Structural Masonry Walls
ALT-112	Removal of Internal PVC Walls
ALT-113	Removal of Internal Plasterboard Partition
ALT-114	Removal of Internal Plasterboard Linings to Solid Walls
ALT-115	Removal of Internal Wall Linings to Concealed Fireplace/Chimney breast
ALT-116	Removal of Non-Thermally-Breaking Secondary Glazing
ALT-117	Removal of Internal Doorsets
ALT-118	Removal of Wall Access Panels
ALT-119	Removal of Kitchen Filtrage
ALT-120	Removal of Wall Panel
ALT-121	Removal of Floor Tiles
ALT-122	Removal of Kitchen Filtrage
ALT-123	Removal of Skilysure
ALT-124	Removal of External Glazed Roof Light
ALT-125	Removal of External Glazed Roof Light
ALT-126	Removal of Flat Roof Waterproofing
ALT-127	Form Opening in Internal Ceiling
ALT-128	Muddy Ceiling Hatch Opening
ALT-129	Enable Opening in Wall
Radiators to be retained until Client sign off	
ALT-130	Removal of Internal Suspended Ceiling Tile System
ALT-131	Removal of Internal Ceiling Coverings (Ceiling Wallpaper)
ALT-132	Removal of Window Blinds
ALT-133	Removal of Curtain Tracks
ALT-134	Removal of Perimeter Trimming
ALT-135	Removal of Signage - Statutory and Non-Statutory
ALT-136	Removal of Internal Floor Build-up
ALT-137	Removal of Internal Floor Scares
ALT-138	Removal of Internal Timber Siding
ALT-139	Removal of Internal Floor Covering
ALT-140	Removal of Internal Ceiling Coverings (Ceiling Wallpaper)
ALT-141	Removal of Window Blinds
ALT-142	Removal of Curtain Tracks
ALT-143	Removal of Perimeter Trimming
ALT-144	Removal of Signage - Statutory and Non-Statutory
Historic elements to be stripped by Specialist Contractor	
ALT-145	Refer to the Restoration drawings for retained elements to be refurbished.
ALT-146	Removal of Internal Ceiling Cornice Moulding
ALT-147	Removal of Radiator Cover
ALT-148	Removal of Internal Terrace Window Sills
To all surfaces as applicable	
ALT-149	Removal of Internal Wall Coverings to all surfaces as applicable
Operational area to be maintained and protected throughout works. MDE doors to be retained.	
Door required for fire integrity to be stripped out by Main Contractor	
Existing wall/structure to remain	
Not in Scope	
Area in Scope	

### Elements to Retain:

- Retain all wall mouldings, chair rails
- Retain ceiling cornice where there are no down-rod beams or walls
- Retain sash and glazing casing
- Temporary retain radiators until client sign off

### Demolition and Strip-Out Risk Elimination Notes:

#### Unprotected Walls

Design measures taken to reduce / eliminate risk

- Guarding to all service voids and lift doors to be provided by the contractor
- At least one of the lifts should remain operational during the whole of strip out period for occupants

#### Information Provided for Hazard Control

- Strip out drawings showing user locations assumed from archive drawings.

#### Fall From Height

Design measures taken to reduce / eliminate risk

- Temporary guarding to all unprotected roof edges required

#### Information Provided for Hazard Control

- Strip out drawings identify unprotected roof edges.

#### Fire Escape

Information Provided for Hazard Control

- Strip out drawings clearly indicate route to be maintained at all times.

#### Operational Premises

Design measures taken to reduce / eliminate risk

- Services to be retained / power supplies to be maintained to be identified prior to strip out

#### Information Provided for Hazard Control

- All lifts remain operational during the whole of the strip out period.

#### Adjoining Properties

Information Provided for Hazard Control

- Light units site with several adjoining properties requiring suitable protection during the works.

#### Asbestos

Design measures taken to reduce / eliminate risk

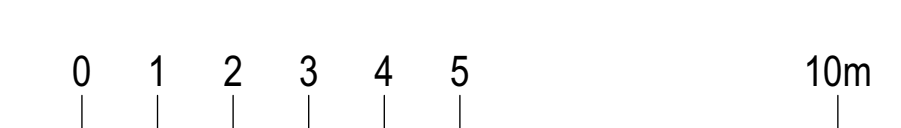
- Management Asbestos Survey information issued with tender
- Redundant Asbestos Survey to be carried out by strip out contractor prior to any works

#### Information Provided for Hazard Control

- Management Asbestos Survey results available prior to works commencing

### Notes:

- All existing windows to be retained and protected during works
- See Air Services Engineers Scope, Drawings and Specification for services strip out
- Read in conjunction with BHP's Site Inspection Report
- Asker the Structural Engineer prior to removing any masonry walls
- Ensure stair and lift cores fire compartmentation is maintained throughout works
- Specialist contractor to assess perimeter walls mould moisture
- All existing windows to be retained and to be protected during works
- To be read in conjunction with JRA specifications
- To be read in conjunction with Structural Engineers information and requirements



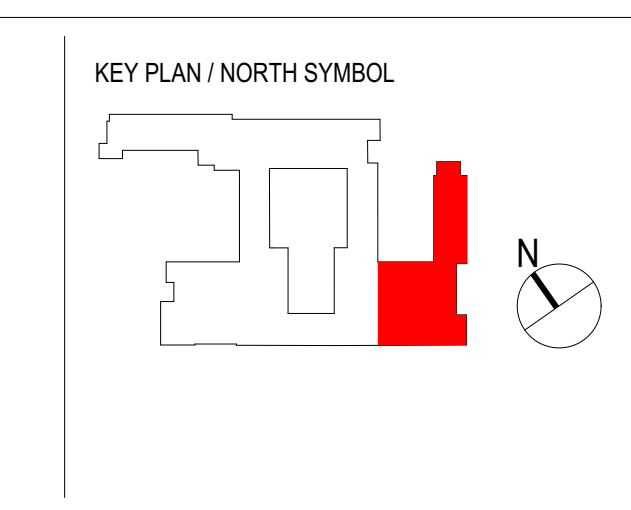
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Source File: BMAHouse\_37582027 - BMAHouse.dwg  
 Archcode: 271998\_BMA House1998\_BMA-02\_ZZ-M2-A-0001\_BMA House Team Model\_WORKSTREAM1

Rev	Date	Drawn	Checked	Description
001	24/01/2023	ST	LM	Block F-H Strip Out Pack

Rev	Date	Drawn	Checked	Description

Rev	Date	Drawn	Checked	Description



**JRA**  
 John Robertson Architects

111 Southwark Street,  
 London, SE1 1UF  
 02076335100  
 www.jra.co.uk  
 enquiries@jra.co.uk

Project  
**Tavistock House V32-V35**  
 London

Client  
**British Medical Association**  
 BMA House, Tavistock Square London  
 WC1H 9EP United Kingdom  
 0200 123 1233  
 info@bma.org.uk

Drawing Title  
**Fourth Floor Strip Out Plan**

Scale 1:100 @ A0 Internal Project No. 1998

Dwg No. **1998-JRA-32-04-DR-A-0555**

Suitability **S2**

Revision **FOR INFORMATION**

**P01**