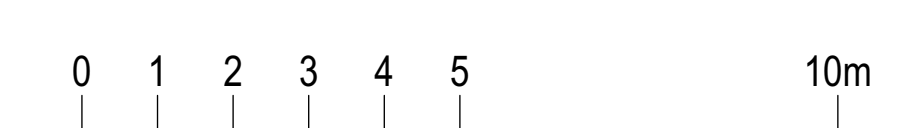


**Strip Out Key**

- ALT-111 Removal of Internal Non-Structural Masonry Walls
- ALT-112 Removal of Internal PVC Walls
- ALT-113 Removal of Internal Plasterboard Partition
- ALT-114 Removal of Internal Plasterboard Skings to Solid Walls
- ALT-115 Removal of Internal Wall Linings to Concealed Fireplace/Chimney breast
- ALT-116 Removal of Non-Thermally-Breaking Secondary Glazing
- ALT-117 Removal of Internal Doorsets
- ALT-118 Removal of Wall Access Panels
- ALT-119 Removal of Wall Panels
- ALT-120 Removal of Floor Tiles
- ALT-121 Removal of Kitchen Filtrage
- ALT-122 Removal of Stairways
- ALT-123 Removal of External Glazed Roof Light
- ALT-124 Removal of Flat Roof Waterproofing
- ALT-125 Form Opening in Internal Ceiling
- ALT-126 Muddy Ceiling Hatch Opening
- ALT-127 Enable Opening in Wall
- Radiators to be retained until Client sign off**
- ALT-103 Removal of Internal Suspended Ceiling Tie System
- ALT-102 Removal of Internal Ceiling Coverings (Ceiling Wallpaper)
- ALT-142 Removal of Window Sills
- ALT-146 Removal of Curtain Tracks
- ALT-148 Removal of Perimeter Trimming
- ALT-149 Removal of Signage - Statutory and Non-Statutory
- ALT-121 Removal of Internal Floor Covering
- ALT-107 Removal of Internal Ceiling Coverings (Ceiling Wallpaper)
- ALT-142 Removal of Window Sills
- ALT-146 Removal of Curtain Tracks
- ALT-148 Removal of Perimeter Trimming
- ALT-149 Removal of Signage - Statutory and Non-Statutory
- ALT-121 Removal of Internal Floor Covering
- ALT-107 Removal of Internal Ceiling Coverings (Ceiling Wallpaper)
- ALT-142 Removal of Window Sills
- ALT-146 Removal of Curtain Tracks
- ALT-148 Removal of Perimeter Trimming
- ALT-149 Removal of Signage - Statutory and Non-Statutory
- ALT-144 Removal of Internal Terrace Window Sills
- ALT-117 Removal of Internal Wall Coverings to all surfaces as applicable
- To all surfaces as applicable
- Operational area to be maintained and protected throughout works. MDE doors to be retained.
- Door required for fire integrity to be stripped out by Main Contractor
- Existing wall/structure to remain
- Not in Scope
- Area in Scope

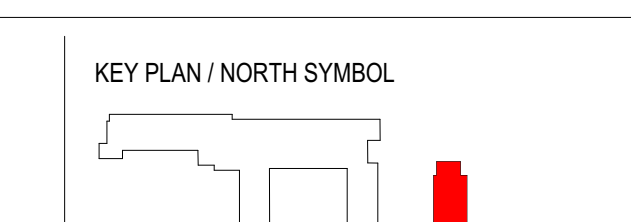
- Elements to Retain:**
- Retain all wall mouldings, chair rails
  - Retain ceiling cornice where there are no down-beams or walls
  - Retain sash and glazing ceiling
  - Temporary retain-structures, until client sign off
- Demolition and Strip-Out Risk Elimination Notes:**
- Unprotected Void**
- Design measures taken to reduce / eliminate risk
- Guarding to all service voids and lift doors to be provided by the contractor
  - At least one of the lift shafts remain operational during the whole of strip out period for occupants.
- Information Provided for Hazard Control**
- Strip out drawings showing user locations assumed from archive drawings.
- Fall From Height**
- Design measures taken to reduce / eliminate risk
- Temporary guarding to all unprotected roof edges required.
- Information Provided for Hazard Control**
- Strip out drawings identify unprotected roof edges.
- Fire Escape**
- Information Provided for Hazard Control**
- Strip out drawings identify escape routes to be maintained at all times.
- Operational Provision**
- Design measures taken to reduce / eliminate risk
- Services to be retained / power supplies to be maintained to be identified prior to strip out.
- Information Provided for Hazard Control**
- Lift shaft remain operational during the whole of the strip out period.
- Adjoining Properties**
- Information Provided for Hazard Control**
- Lift shaft shaft with several adjoining properties requiring suitable protection during the works.
- Asbestos**
- Design measures taken to reduce / eliminate risk
- Management Asbestos Survey information issued with tender.
  - Remediation Asbestos Survey to be carried out by strip out contractor prior to any works.
- Information Provided for Hazard Control**
- Management Asbestos Survey results available prior to works commencing.
- Notes:**
- All existing windows to be retained and protected during works.
  - See Air Services Engineers Space, Clearance and Specification for services strip out.
  - Read in conjunction with BHP's Site Inspection Report
  - Refer to Structural Engineer prior to removing any masonry walls
  - Ensure stair and lift cores fire compartmentation is maintained throughout works.
  - Specialist contractor to assess perimeter walls mould moisture
  - All existing windows to be retained and to be protected during works
  - To be read in conjunction with JRA specifications
  - To be read in conjunction with Structural Engineers information and requirements



Rev	Date	Drawn	Checked	Description
001	24/01/2023	ST	LM	Block F-H Strip Out Pack

Rev	Date	Drawn	Checked	Description

Rev	Date	Drawn	Checked	Description



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 London

Client  
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Drawing Title  
**Second Floor Strip Out Plan**

Scale  
 1:100 @ A0  
 Internal Project No. 1998

Dwg No.  
**1998-JRA-32-02-DR-A-0553**

Suitability  
 S2

Revision  
 FOR INFORMATION

**P01**

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