



Measures in blue to be executed in the future - MTIP - Mid Term Improvement Plan.
Any other measure to be executed in current phase.

Conservation area	Yes
Listed building	No
Flood risk	Low
Radon potential	Low

CONSTRUCTIVE THINKING

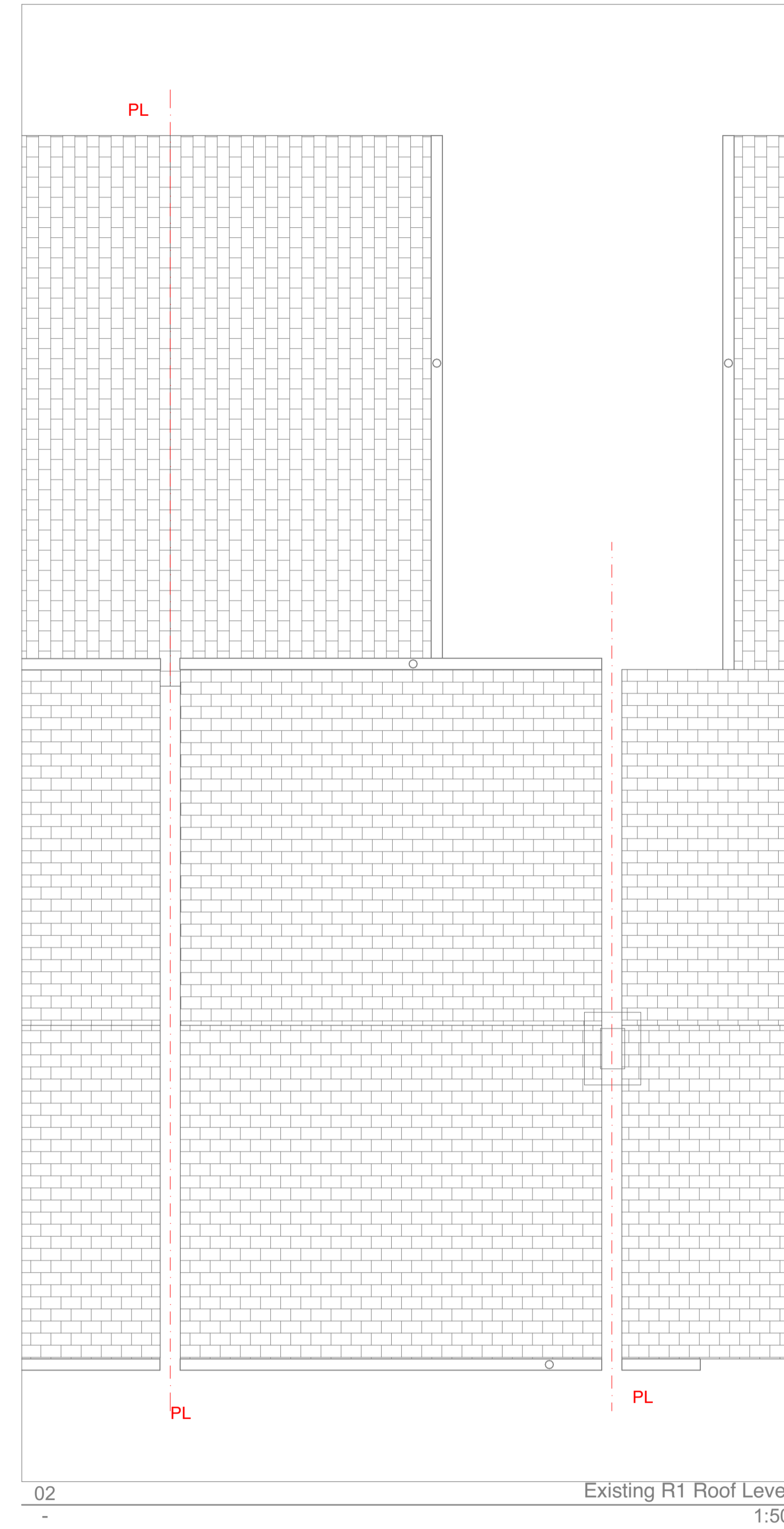
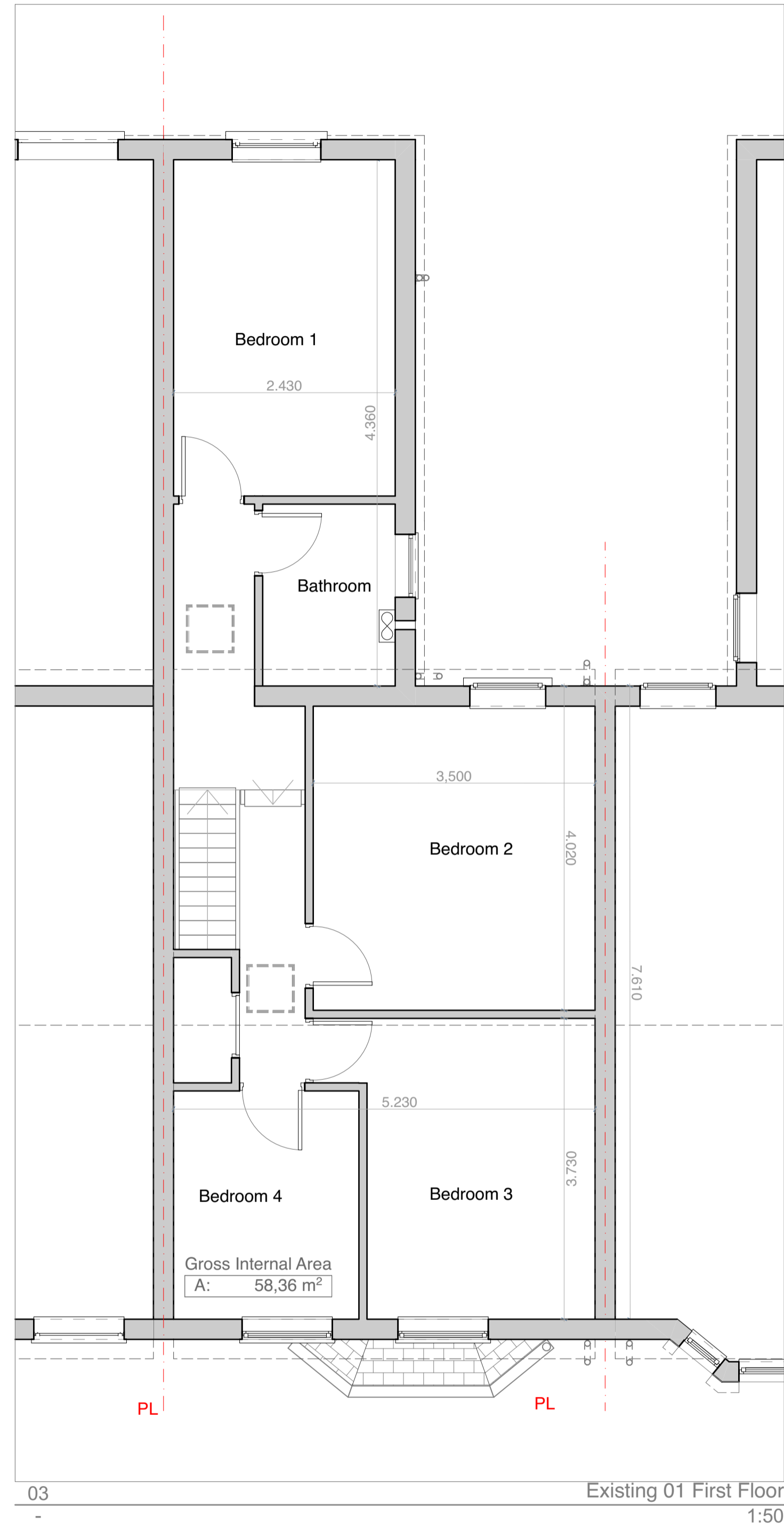
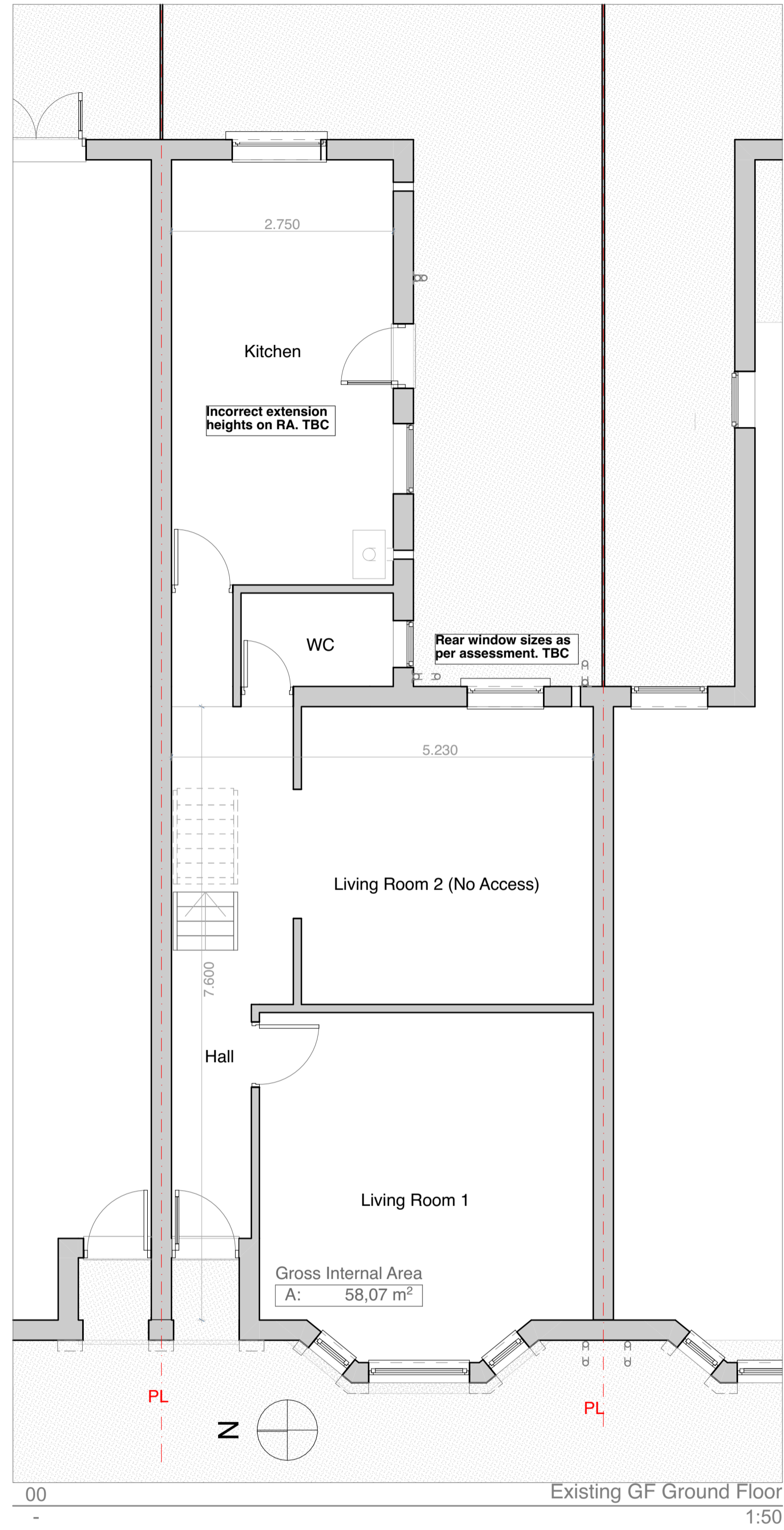
AT - 11
30 Sumatra Road, NW6 1PU

NHG SHDF Wave 2.1

Project No: 7089

Prepared For:
Equans

Ch.ID	Transmittal Set ID	Mdl'd by	Chkd by	Date/Time
P-02	P-02	60-30	GV	GV



Ch.ID	Transmittal Set Name	Issue Date	Modelled By	Checked By
P-02	Approved to subject to Building Control	15/7/24	GV	GV
P-01	For client approval	4/6/24	GV	GV
P-00	For client approval	4/6/24	GV	GV

1:500 1:500 10m 1m 20 2000 30 3000 40 4000
1.5 100mm 200 300 400

Demolition/Adaption Risks
Refer to risk register

Construction Risks
Refer to risk register

Maintenance/Cleaning Risks
Refer to risk register

Safety Health and Environmental Information Box
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Contact Company: Equans
Liverpool Science Park IC 1
131 Mount Pleasant
L3 5TF

Client: Equans
Project: NHG SHDF Wave 2.1

Existing Floor Plans

Status: Stage Approval Subject to Building Control - A1 - Issued

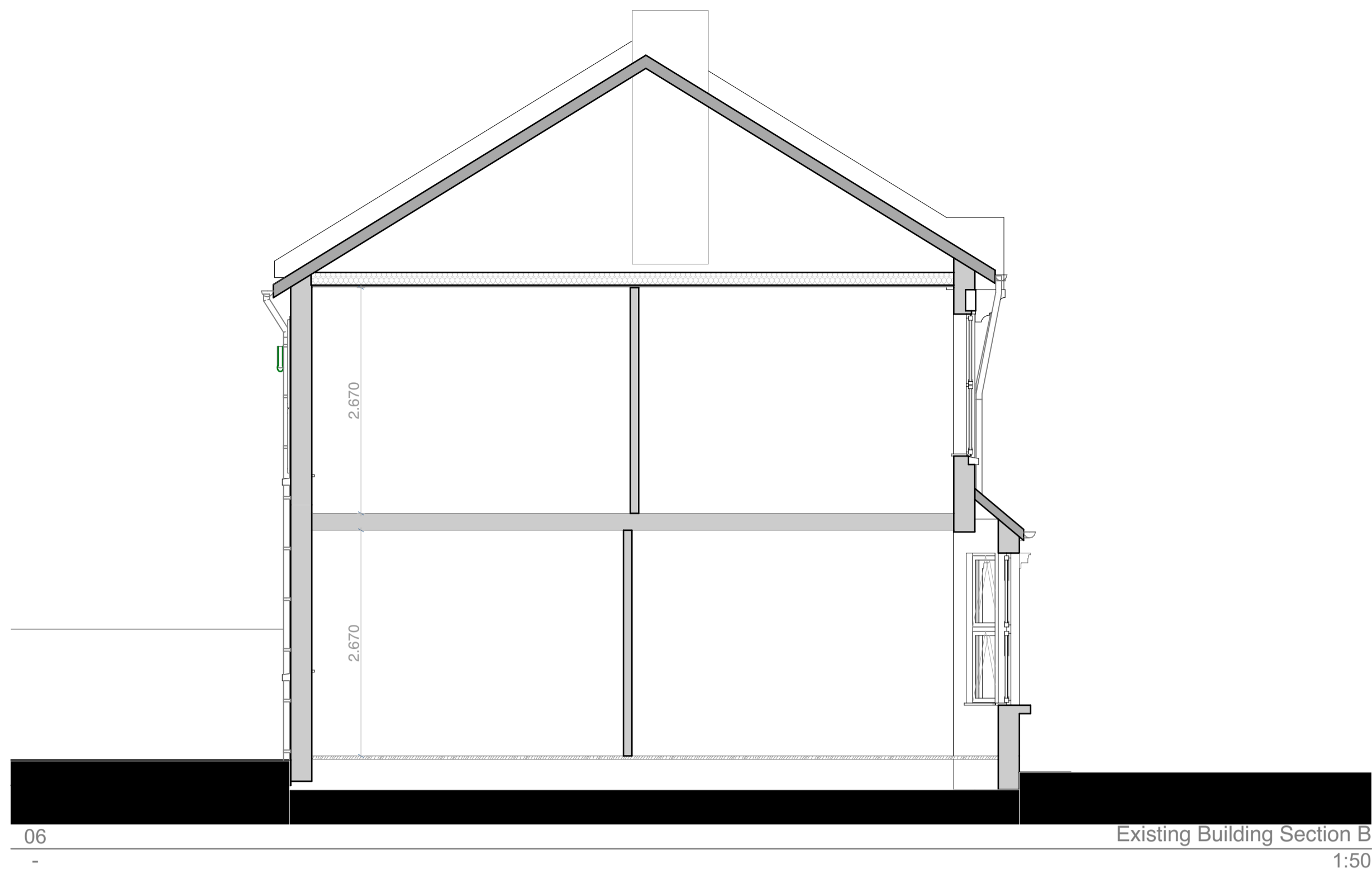
Drawings: Existing GF Ground Floor, Scale Bar, Existing R1 Roof Level, Existing 01 First Floor
Paper Size: **A1**

Scales: 1:50
File: 7089_AT-11-M

Drawing Number: 7089 | CTS | 60 | 30 | D | A | 41604 | P-02



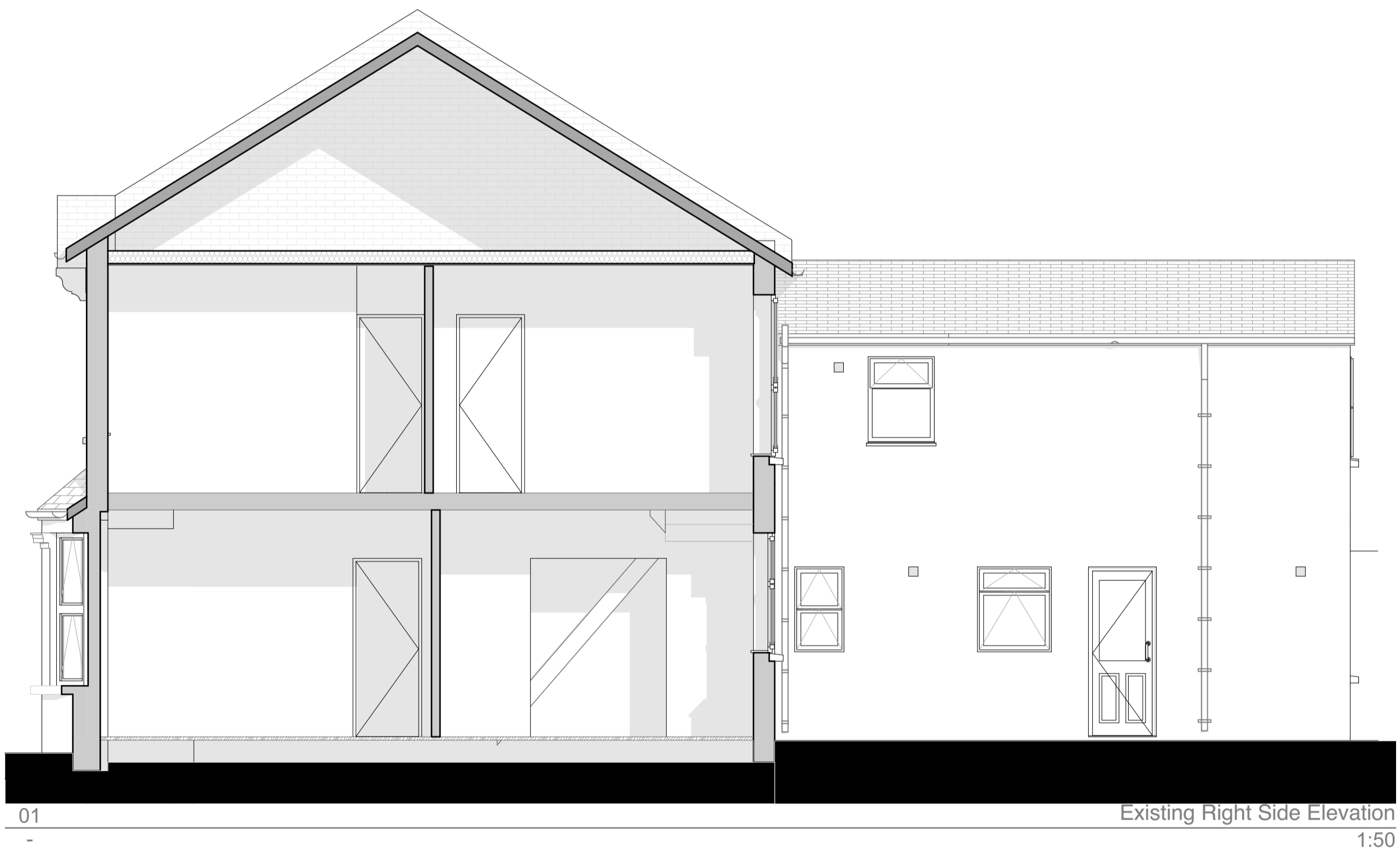
00 Existing Front Elevation
1:50



06 Existing Building Section B
1:50



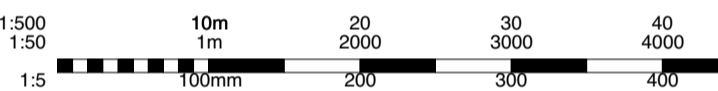
03 Existing Rear Elevation
1:50



01 Existing Right Side Elevation
1:50

Ch.ID	Transmittal Set ID	Mdl'd by	Chkd by	Date+Time
P-02	P-02	60-30	GV	GV

P-02	Approved to subject to Building Control	15/7/24	GV	GV
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P-01	Transmittal Set Name	Issue Date	Modelled By	Checked By



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Client Equans
Project NHG SHDF Wave 2.1

Existing Elevations

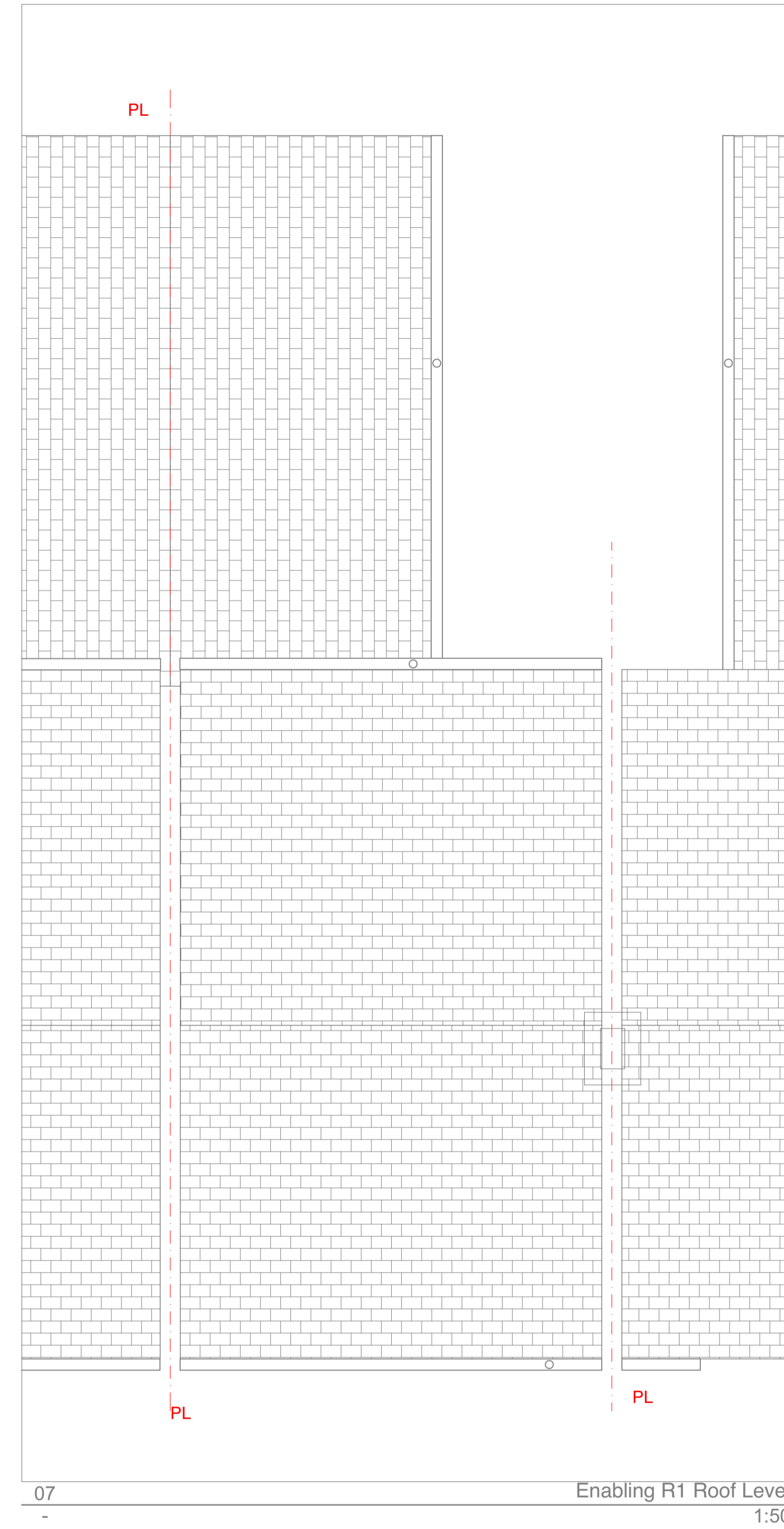
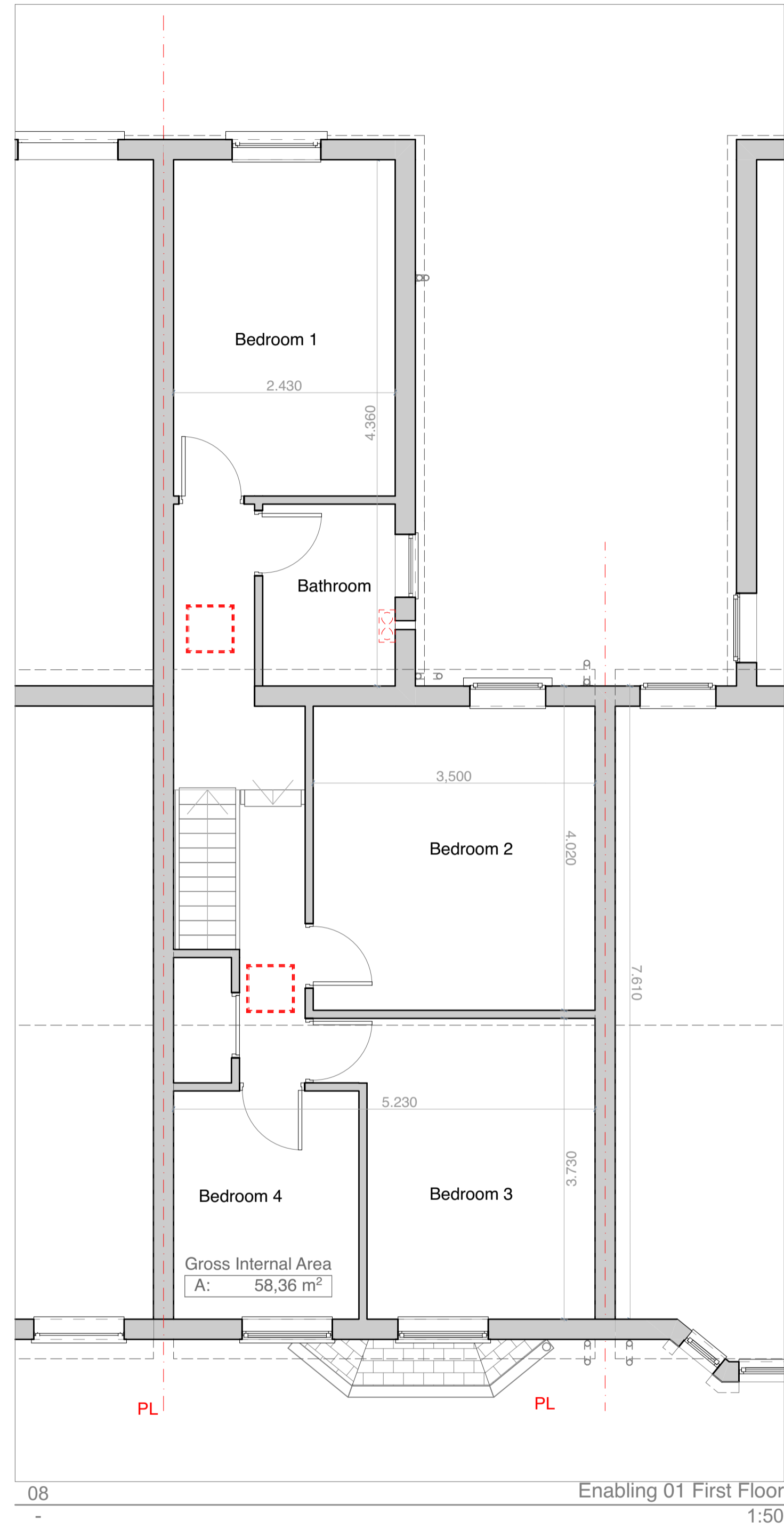
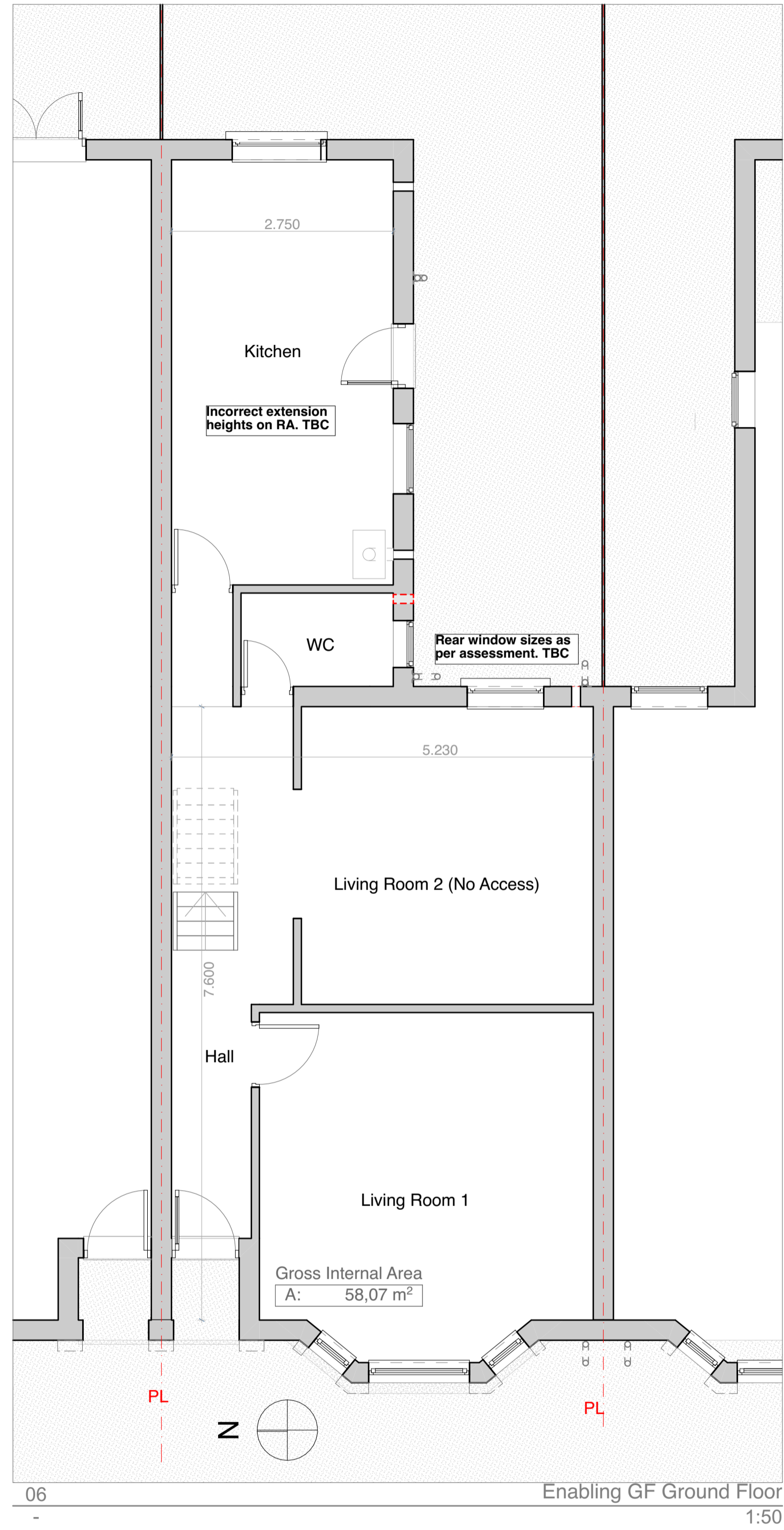
Status Stage Approval Subject to Building Control - A1 - Issued

Drawings Existing Front Elevation, Existing Right Side Elevation, Existing Left Side Elevation, Existing Rear Elevation, Existing Building Section A, Scale Bar, Existing Building Section B
Paper Size **A1**

Scales 1:50
File 7089_AT-11-M

Drawing Number 7089 CTS 60 30 D A 41605 P-02
Revision

Ch.ID	Transmittal Set ID	Mdl by	Chkd by	Date/Time
P-02	P-02	60-30	GV	GV



Ch.ID	Transmittal Set ID	Mdl by	Chkd by	Date/Time
P-02	P-02	60-30	GV	GV
P-01	P-01	60-30	GV	GV

Approved to subject to Building Control 15/7/24
For client approval 4/6/24
Issue Date
Modeller By
Checked By

1:500 1:50 10m 1m 20 2000 30 3000 40 4000
1:5 100mm 200 300 400

Demolition/Adaption Risks
Refer to risk register
Construction Risks
Refer to risk register
Maintenance/Cleaning Risks
Refer to risk register
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Areas not seen through non-intrusive surveys: 1. Condition of existing RWP's, gutters and fascia to be assessed for replacement and replacement to be confirmed by client 2. Condition of existing structural elements

INSPECTIONS REQUIRED The following items require inspect on to detail project: 1. Air Tests

ENABLING WORKS

- Ventilation Strategy Preparation**
- Remove existing kitchen and bathroom extract fans: ensure 110mm clear core drill aperture and existing fuse spur is adequate for new dMEV fan
 - Ventilation of kitchen appliances to be retained and insulated
 - New rigid ducting/sleeve to be installed for dMEV
 - All air bricks above DPC to be filled, ventilation of kitchen appliances where agreed to be retained and insulated
- Roof Preparation**
- Existing gutters, soffits and fascia's to be assessed for degradation, replace where required
 - Remove existing loft hatch
 - Remove personal items and debris from the loft space

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Client Equans
Project NHG SHDF Wave 2.1

Enabling Floor Plans

Status Stage Approval Subject to Building Control - A1 - Issued

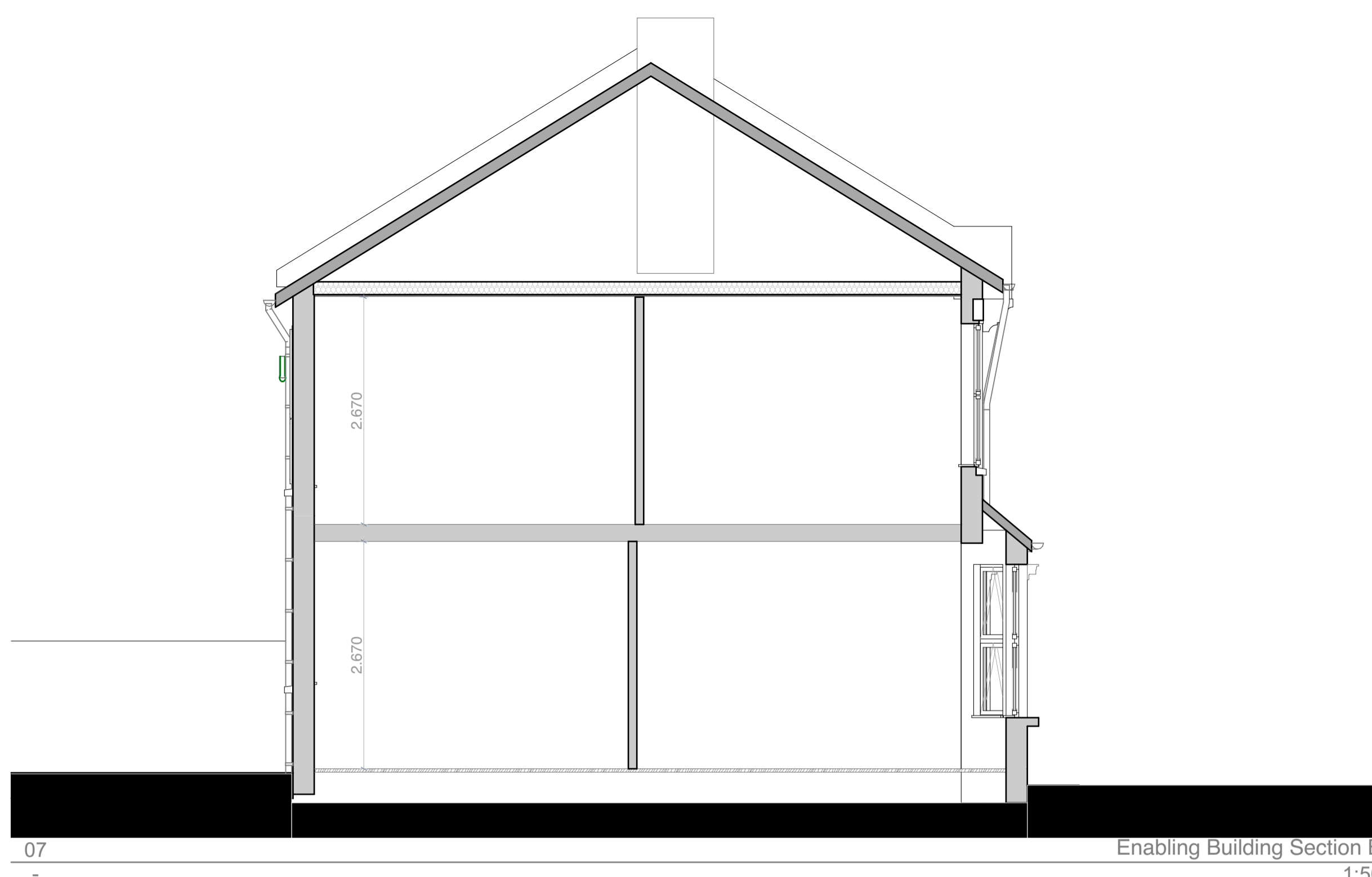
Drawings Enabling Legend, Inspection / General Cavetsels, Scale Bar, Enabling R1 Roof Level, Proposed GF Ground Floor, Enabling 01 First Floor, Enabling GF Ground Floor

Paper Size **A1**

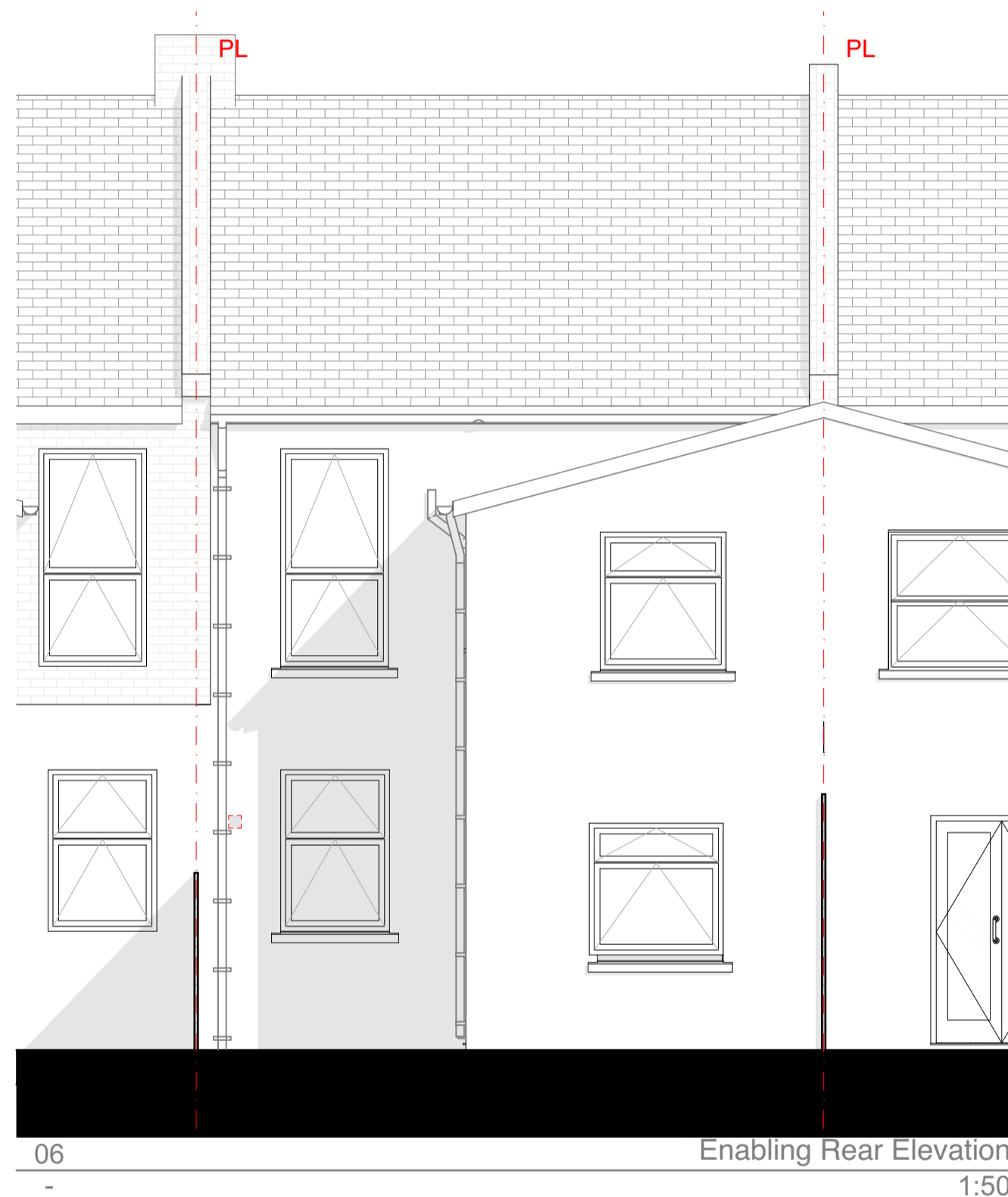
Scales 1:50
File 7089_AT-11-M
Drawing Number 7089 | CTS | 60 | 30 | D | A | 41606 | P-02



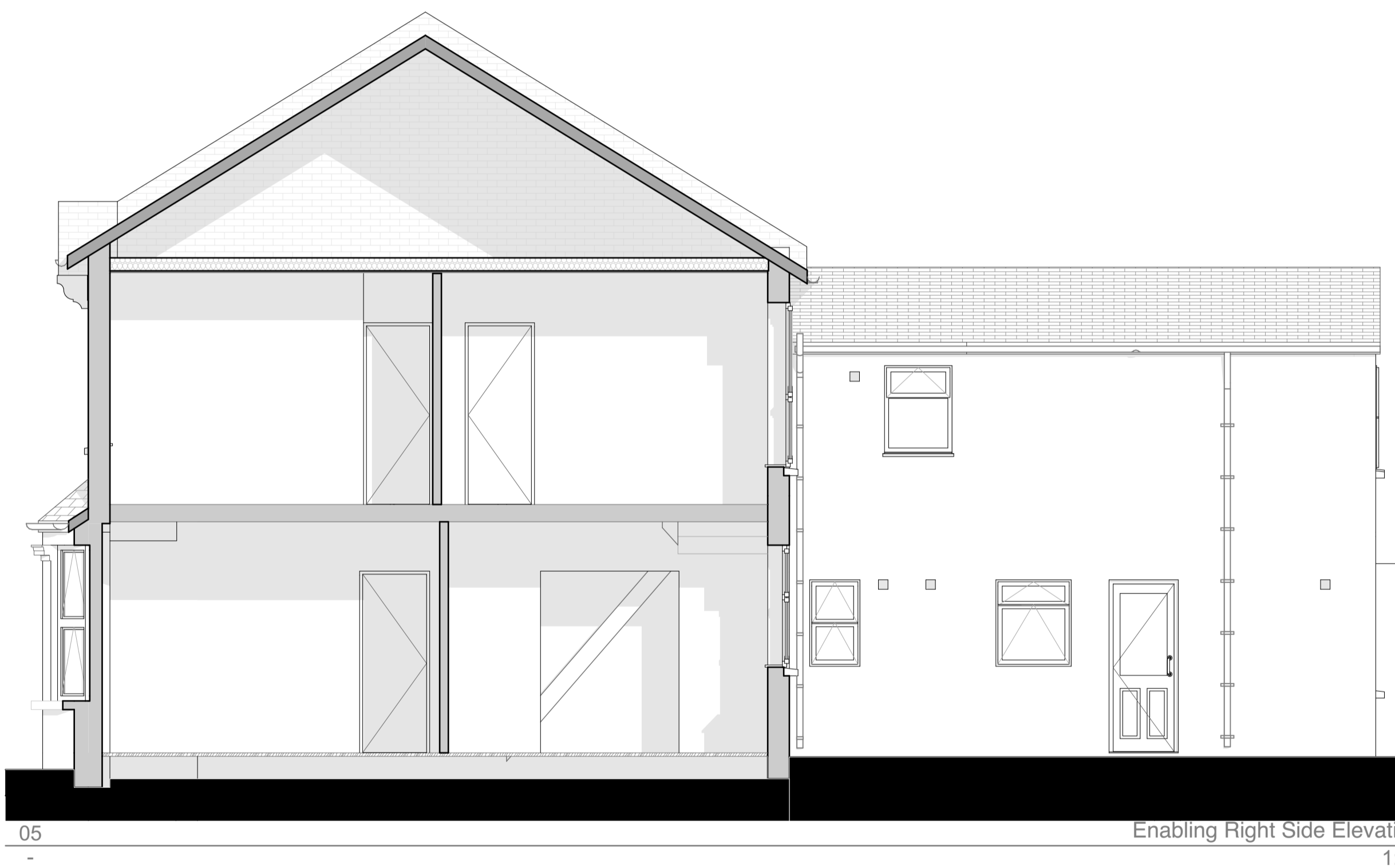
04 Enabling Front Elevation
1:50



07 Enabling Building Section B
1:50



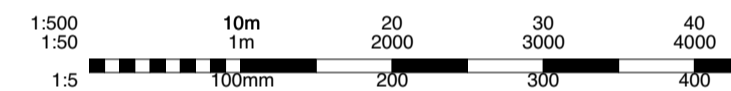
06 Enabling Rear Elevation
1:50



05 Enabling Right Side Elevation
1:50

Ch.ID	Transmittal Set ID	Mdl'd by	Chkd by	Date+Time
P-02	P-02	60-30	GV	GV

P-02	Approved to subject to Building Control	15/7/24	GV	GV
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Construction Risks
Refer to risk register

Maintenance/Cleaning Risks
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Client Equans
Project NHG SHDF Wave 2.1

Enabling Elevations

Status Stage Approval Subject to Building Control - A1 - Issued

Drawings Enabling Right Side Elevation, Enabling Left Side Elevation, Enabling Legend, Scale Bar, Enabling Front Elevation, Enabling Rear Elevation, Enabling Building Section B, Inspection / General Caveats, Proposed GF Ground Floor
Paper Size **A1**

Scales 1:50
File 7089_AT-11-M

Drawing Number 7089 CTS 60 30 D A 41607 P-02
Revision

Areas not seen through non-intrusive surveys: 1. Condition of existing RWPs, gutters and fascia to be assessed for replacement and replacement to be confirmed by client 2. Condition of existing structural elements

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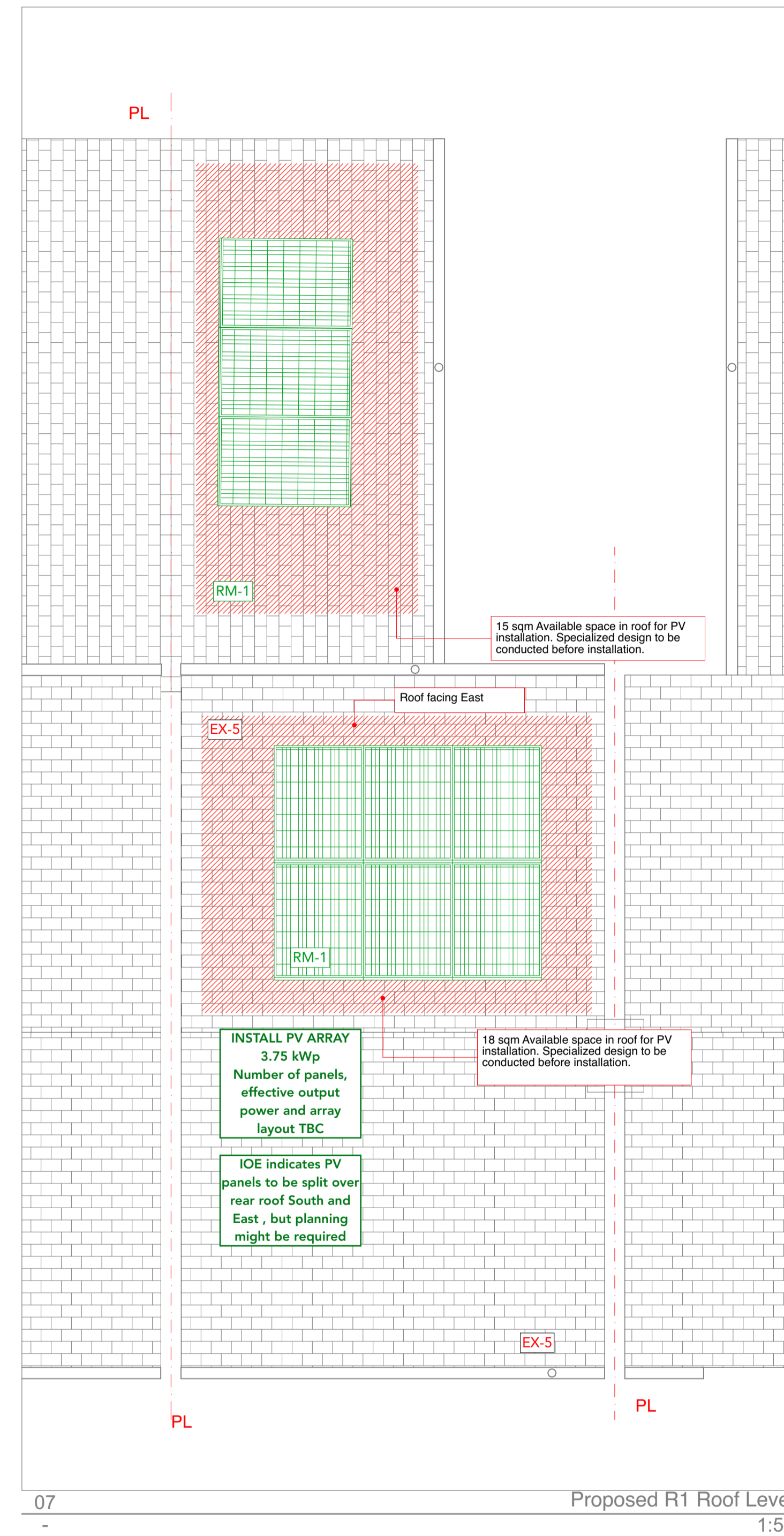
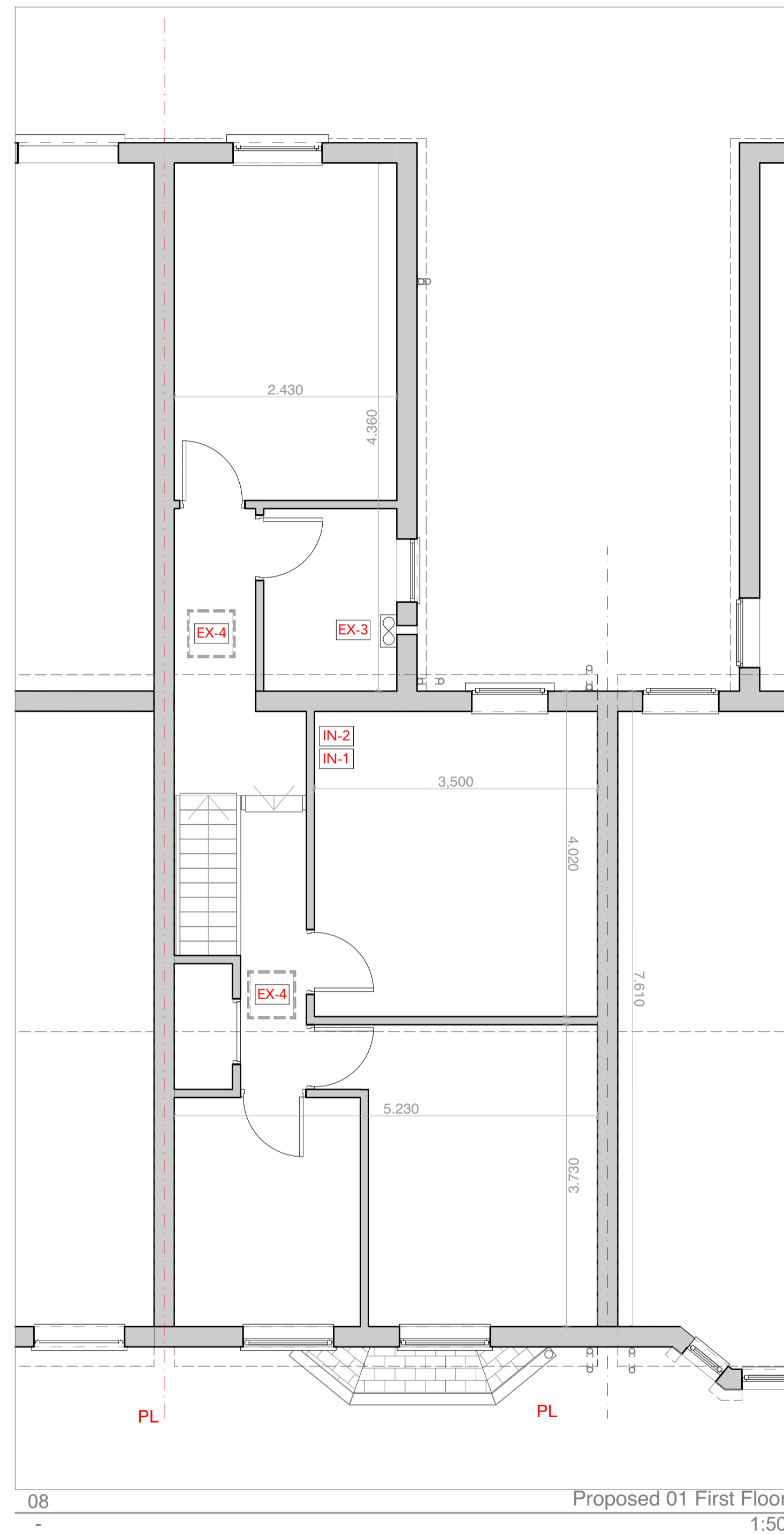
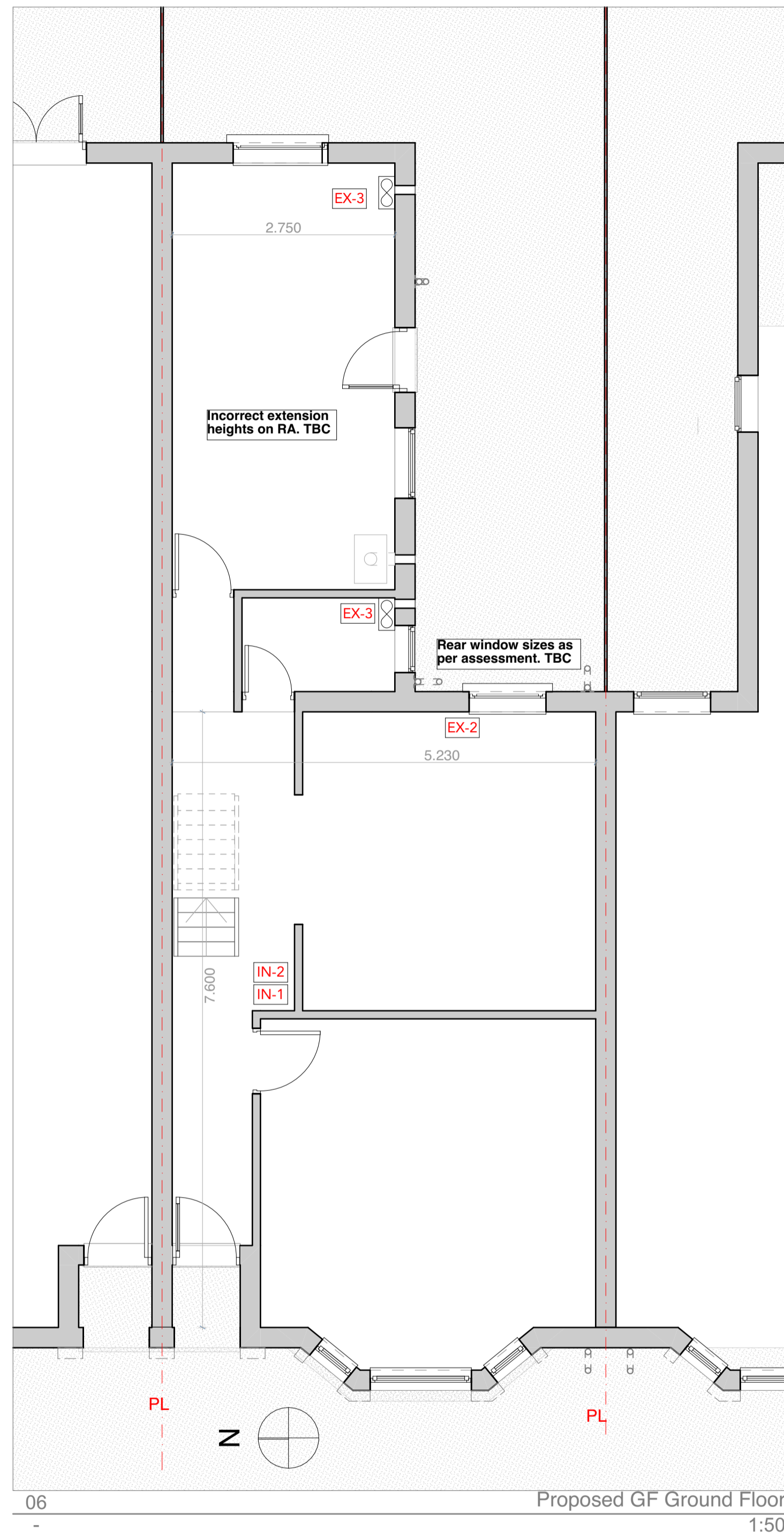
ENABLING WORKS

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Roof Preparation

- Existing gutters, soffits and fascia's to be assessed for degradation, replace where required
- Remove existing loft hatch
- Remove personal items and debris from the loft space



P-02 60-30	Approved to subject to Building Control	15/7/24	GV	GV
P-01 60-30	For client approval	4/6/24	GV	GV
Transmittal Set ID	Transmittal Set Name	Issue Date	Modelled By	Checked By

1:500	10m	20	30	40
1:50	1m	200	300	400
1:5	100mm	200	300	400

Demolition/Adaption Risks
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Construction Risks
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Maintenance/Cleaning Risks
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PROPOSED WORKS

EXTERNAL WORKS

- EX-3** New dMEV to be located in kitchen, WC and bathroom
 - Where extract fans are already present, remove and replace, refer to CTS specification
 - Where no extract fan is present, install new fan as shown on GA drawings, refer to CTS specification
 - All Airbricks above DPC to be filled, ventilation of kitchen appliances to be retained and insulated
- EX-4** Pitched Roof Insulation
 - Top-up Mineral Wool Quilt Loft Insulation to 270mm, refer to CTS specification
 - Loft Insulation to be rolled into the eaves, ensuring continuous thermal envelope, refer to CTS details
 - Any existing skellings to be insulated as per CTS details
 - New Insulated Loft Hatch, refer to CTS specification
 - High Ampere Cables - electric cables supplying storage heaters, immersion heaters, electric showers, electric cookers, or solar PV shall not be covered by thermal insulation. Cables to these appliances shall be lifted above the insulation. If this is not possible, contact the Retrofit Coordinator immediately.
 - Non-redundant water tanks to be lagged, and boarding to be installed for access for future maintenance.
 - All properties require Eaves Ventilation System to be installed. Strip off first 1 metre of rows of roof tiles at eaves. Install Eaves Ventilation System, which must comprise of: Over Fascia Vent, Felt Support Tray and a Roll Panel Vent, as per CTS Performance Specification in accordance with manufacturer's specification.

- EX-5** Roof Ventilation, PIBI to confirm existing condition:
 - Where existing membrane is not breathable (e.g. bitumen felt) and not being replaced with breathable membrane, in addition to the Eaves Ventilation System these roofs require Proprietary Roof Vent Tiles, installer to ensure they are installed higher up above the level of the internal topped-up mineral wool loft insulation, to ensure cross-ventilation of the loft space is adequate.
 - Any roof where existing roof pitch is greater than 35° regardless of membrane type require: Proprietary Vented Dry Ridge System (minimum 5mm ventilation) to be installed in accordance with manufacturer's specification.

INTERNAL WORKS

- IN-1** Door Undercuts
 - Minimum 7600mm² undercuts beneath all internal doors to allow through ventilation
 - Typically, 10mm gap required between the finished floor level and the bottom of the door
- IN-2** Internal Remedial Works
 - Areas damaged or affected by mould growth or damp need to be repaired and cleaned prior to insulation works
 - Areas to consider; bathrooms, WCs, bedrooms, kitchens etc. refer to Retrofit Assessment Condition Survey

RENEWABLE MEASURES TO NET ZERO CARBON

- RM-1** PV Panels - 3.75 kWp
 - PV system layout and specification to manufacturer's design
 - PV system to be installed as per manufacturer's technical spec.
 - Install Solar iBoost+, immersion diverter, excess power generated to be diverted to combi boiler

NOTE
INTERNAL REMEDIAL WORKS TO BE CONFIRMED AND COMPLETED FOLLOWING PIBI's

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Client Equans

Project NHG SHDF Wave 2.1

Proposed Floor Plans

Status Stage Approval Subject to Building Control - A1 - Issued

Drawings Measures Legend, Wall Thickness Legend, Scale Bar, Proposed R1 Roof Level, Proposed GF Ground Floor, Proposed 01 First Floor

Scales 1:50

File 7089_AT-11-M

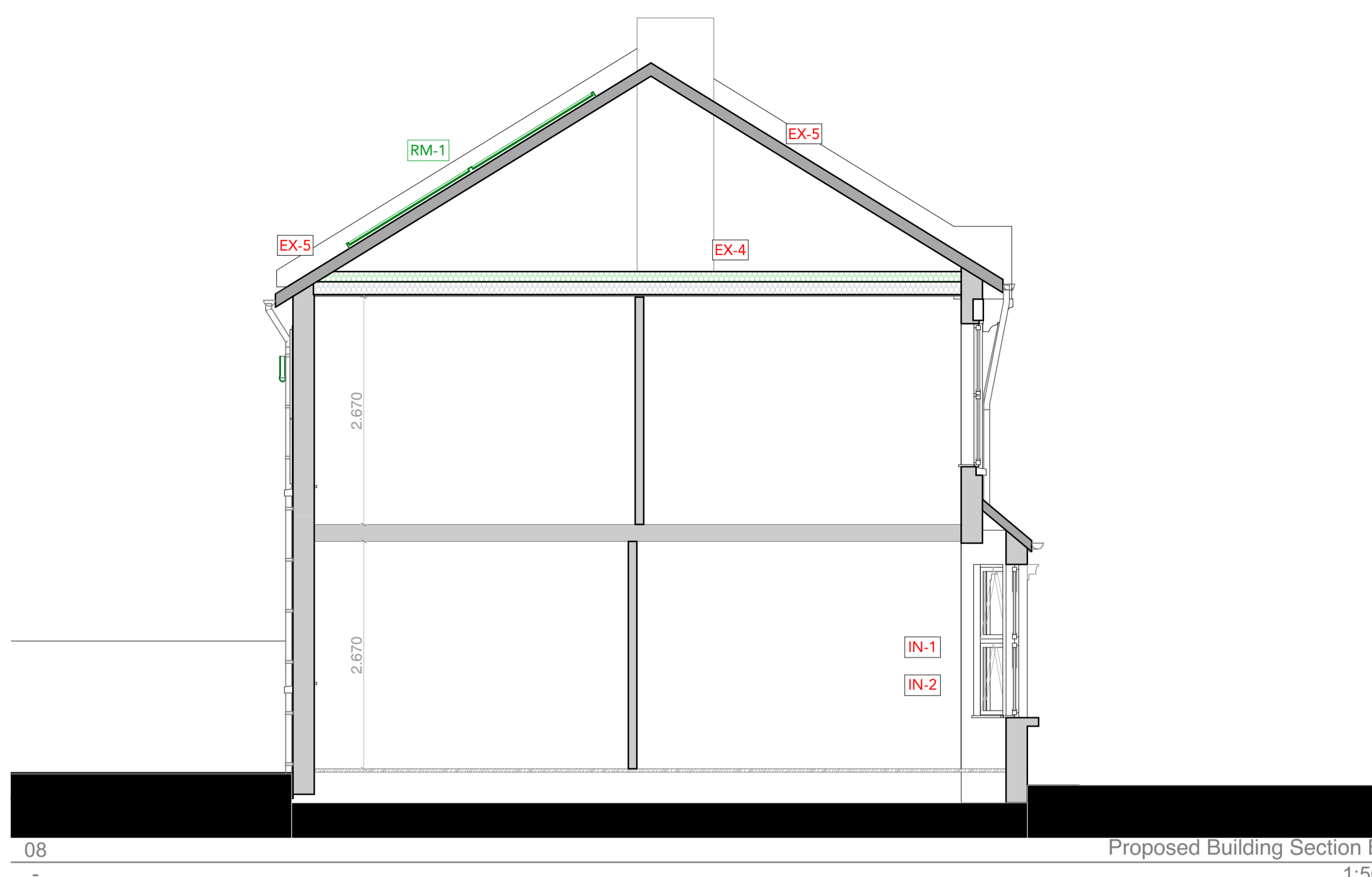
Drawing Number 7089 | CTS | 60 | 30 | D | A | 41608 | P-02

Paper Size **A1**

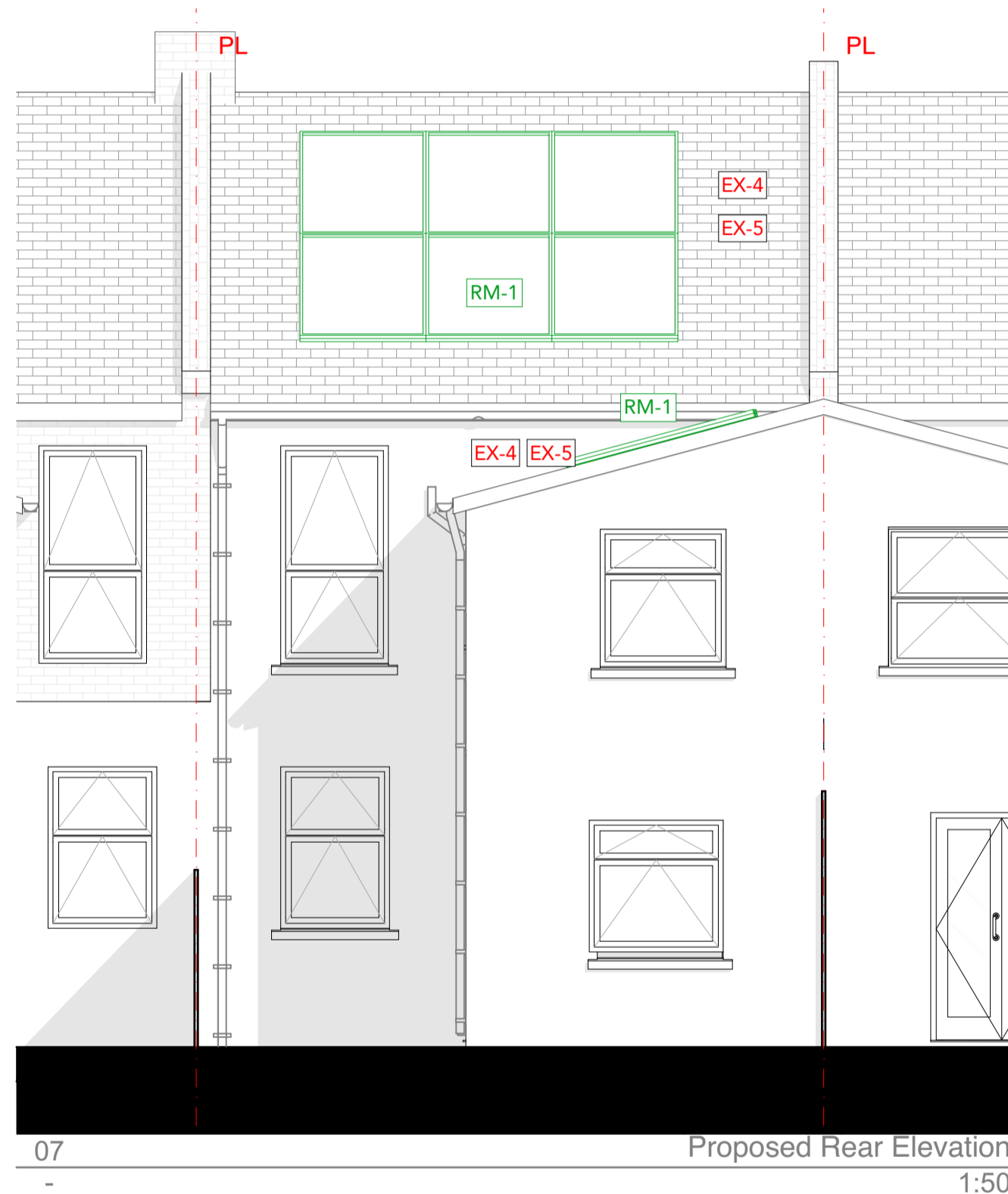
Revision



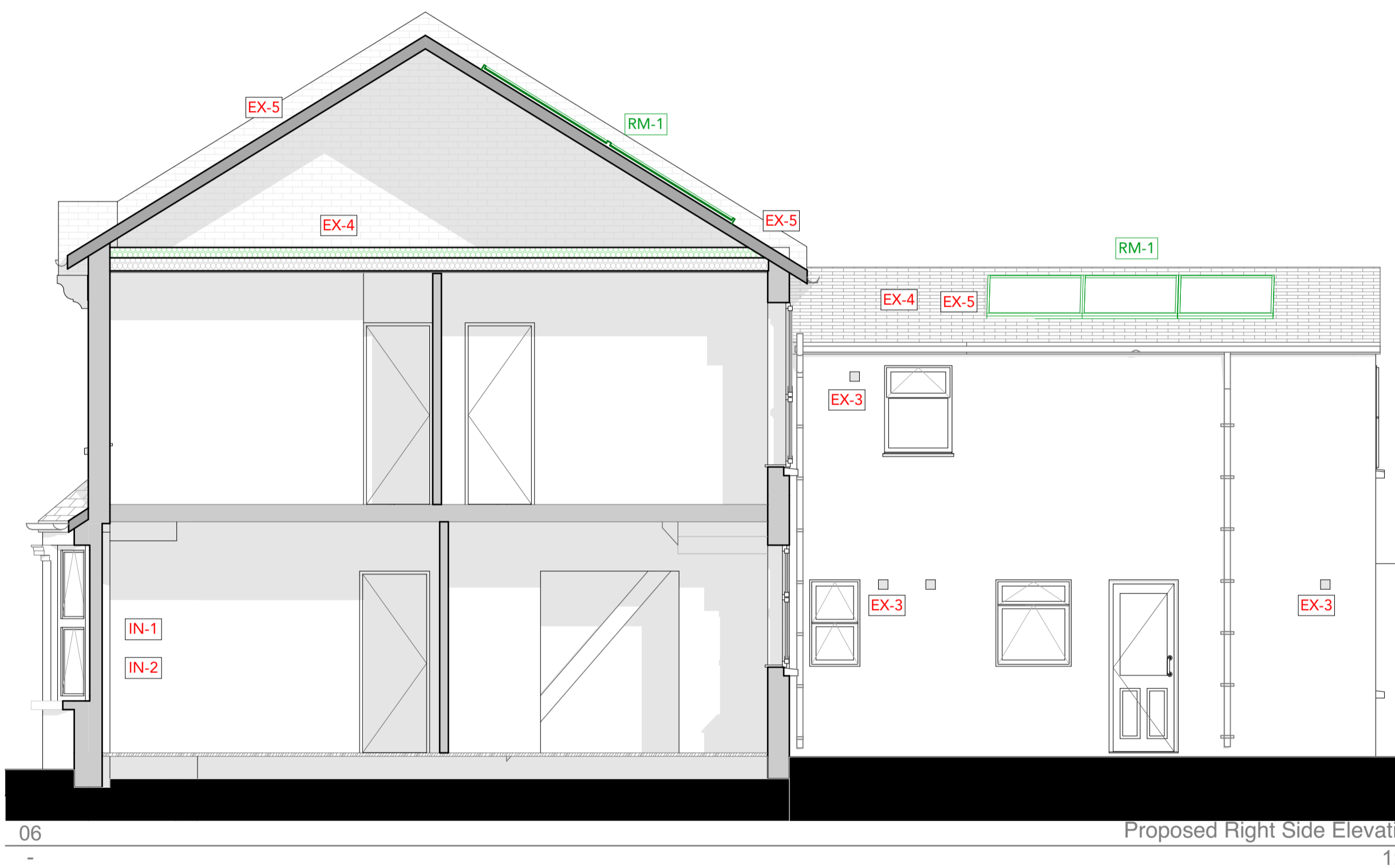
05 Proposed Front Elevation
1:50



08 Proposed Building Section B
1:50



07 Proposed Rear Elevation
1:50



06 Proposed Right Side Elevation
1:50

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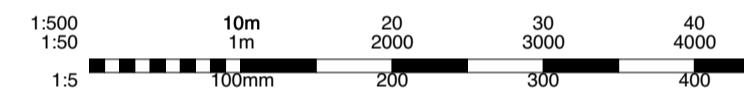
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Construction Risks
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Client Equans

Project NHG SHDF Wave 2.1

Proposed Elevations

Status Stage Approval Subject to Building Control - A1 - Issued

Drawings Proposed Right Side Elevation, Proposed Left Side Elevation, Massing Legend, Wall Thickness Legend, Scale Bar, Proposed Front Elevation, Proposed Rear Elevation, Proposed Building Section B, Proposed GF Ground Floor

Paper Size
A1

Scales 1:50

File 7089_AT-11-M

Drawing Number Revision

7089 CTS 60 30 D A 41609 P-02

Ventilation Strategy

Ch.ID	Change Name	Date+Time

Address: 30 Sumatra Road, NW6 1PU

Number of Bedrooms: 4

Minimum Whole-Dwelling Ventilation Rate (as per AD Part F): 37 l/s

- Strategy:**
1. Continuous dMEV in the wet rooms
 2. Background ventilators to be trickle vents installed in line with the following conditions: not to be installed in wet rooms, provide the equivalent area of 4000mm² for each habitable room within the dwelling, and provide a minimum total number of ventilators that is the same as the number of bedrooms plus two ventilators (i.e. a one-bedroom dwelling should have three background ventilators, a two- bedroom dwelling should have four background ventilators, etc.).
 3. Door undercuts to be a minimum area of 7600mm² (equivalent to 10mm for a 760mm wide door).

Room	Type of Room	EXISTING CONDITION		WORKS TO BE DONE		
		Adequacy of Existing Ventilation (as per RAR)?	Damp or mould found during assessment?	1. Continuous dMEV	2. Background Ventilators	3. Undercuts
Entrance Hall	Unhabitable Room	Inadequate	No	No works	No works	Yes
Living Room	Habitable Room	Adequate	No	No works	Yes - window requires minimum 4000mm ² trickle vent	No works
Kitchen	Wet Room	Inadequate	No	New dMEV Fan, minimum 15 l/s	No works	Yes - correction required
Landing	Unhabitable Room	Adequate	No	No works	No works	Yes
Bedroom 1	Habitable Room	Inadequate	No	No works	Yes - window requires minimum 4000mm ² trickle vent	Yes - correction required
Bedroom 2	Habitable Room	Adequate	No	No works	Yes - window requires minimum 4000mm ² trickle vent	Yes - no work required
Bedroom 3	Habitable Room	Adequate	No	No works	Yes - window requires minimum 4000mm ² trickle vent	Yes - no work required
WC	Wet Room	Inadequate	No	New dMEV Fan, minimum 8 l/s	No works	Yes - correction required
Bathroom	Wet Room	Adequate	No	New dMEV Fan, minimum 8 l/s	No works	Yes - no work required
Bedroom 4	Habitable Room	Adequate	No	No works	Yes - window requires minimum 4000mm ² trickle vent	Yes - no work required
Living Room 2	Habitable Room	Adequate	No	No works	Yes - window requires minimum 4000mm ² trickle vent	Open Plan

P-02 60.30	Approved to subject to Building Control	GV	15/7/24
P-01 60.30	For client approval Transmittal Set Name	GV	4/6/24
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Client	Equans
Project	NHG SHDF Wave 2.1
Ventilation Strategy	
Status	Stage Approval Subject to Building Control - A1 - Issued
Drawings	Ventilation Strategy
Paper Size	A3
Scales	
File	7089_AT-11-M
Drawing Number	Revision
7089	CTS 60 30 L A 41610 P-02