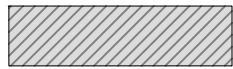

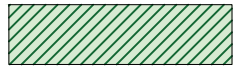
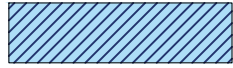
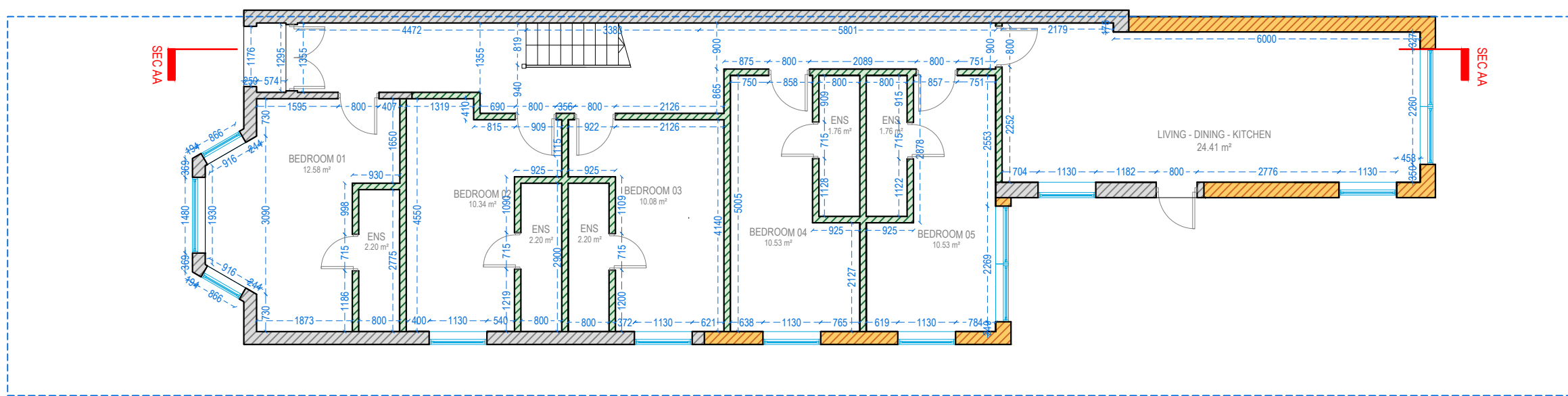


FIRST FLOOR

-  EXISTING WALLS
-  NEW STRUCTURAL WALLS (WT-01)
-  NEW PARTITIONAL WALLS (WT-02)
-  NEW DORMER WALLS (WT-03)

NOTE:
Ceiling acoustic treatment shall be added to the bedrooms and communal sharing spaces to ensure adequate sound insulation. This treatment will help to reduce the transmission of airborne sound, which can be a significant source of noise in multi-family dwellings.



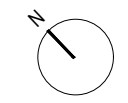
GROUND FLOOR

CONDITION 4 : SOUND INSULATION



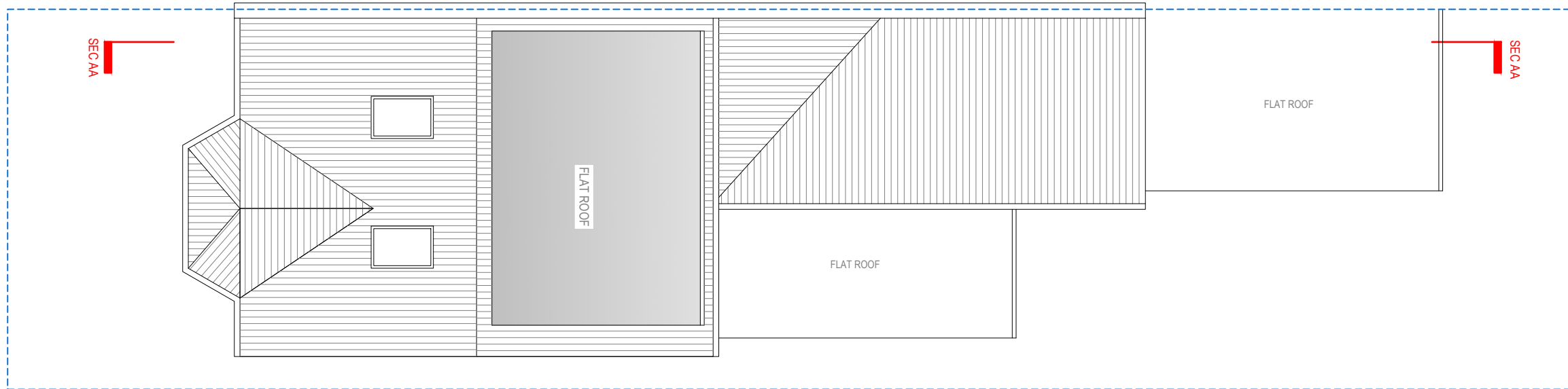
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REFERENCE:	13 EBBSFLEET ROAD, LONDON NW2 3NB, UK	
TITLE:	DISCHARGE OF CONDITIONS FLOOR PLAN	
PROJECT No	2119	DATE: 13-01-2025
SHEET No	D 01	



0 1 2 scale 5m 1:100 @A3

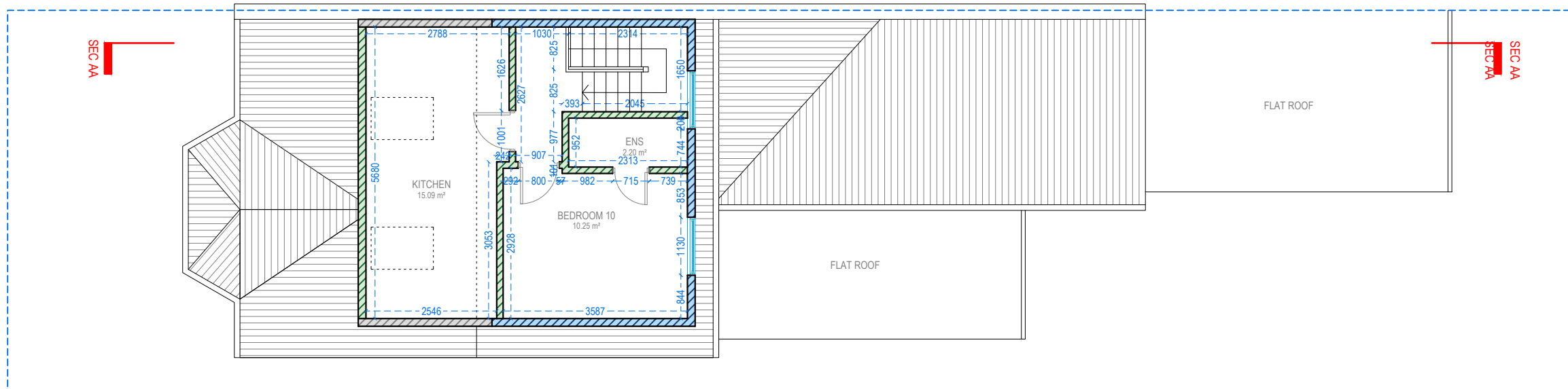
NOTES:	
DRAWN BY	EDITED BY
MCDC	



-  EXISTING WALLS
-  NEW STRUCTURAL WALLS (WT-01)
-  NEW PARTITIONAL WALLS (WT-02)
-  NEW DORMER WALLS (WT-03)

NOTE:
Ceiling acoustic treatment shall be added to the bedrooms and communal sharing spaces to ensure adequate sound insulation. This treatment will help to reduce the transmission of airborne sound, which can be a significant source of noise in multi-family dwellings.

ROOF PLAN



LOFT FLOOR

CONDITION 4 : SOUND INSULATION



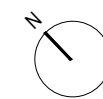
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TITLE: DISCHARGE OF CONDITIONS FLOOR PLAN

PROJECT No: 2119 DATE: 13-01-2025

SHEET No: **D 02**



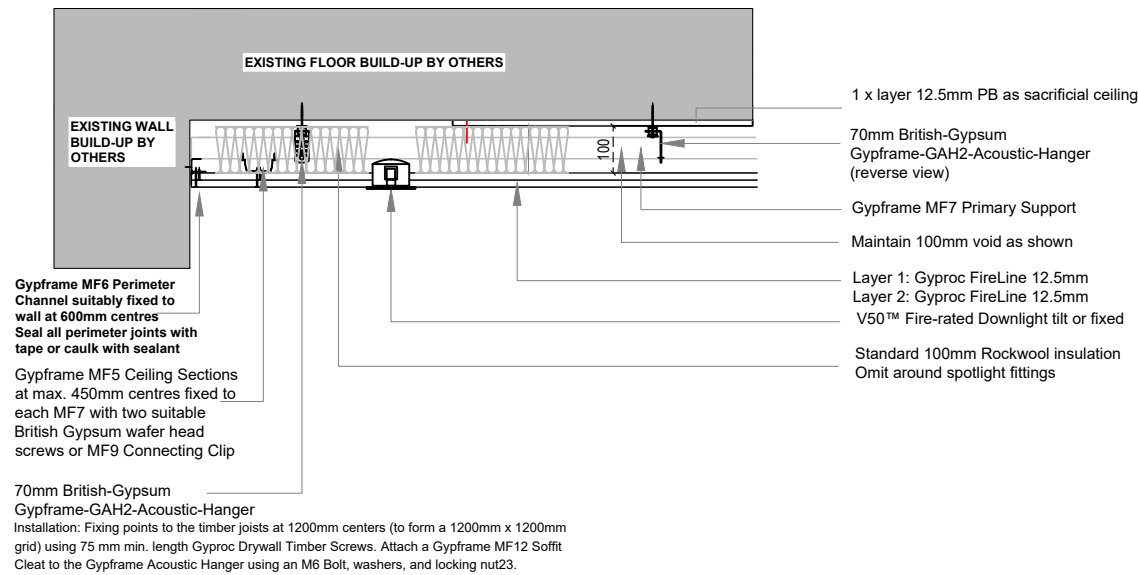
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NOTES:

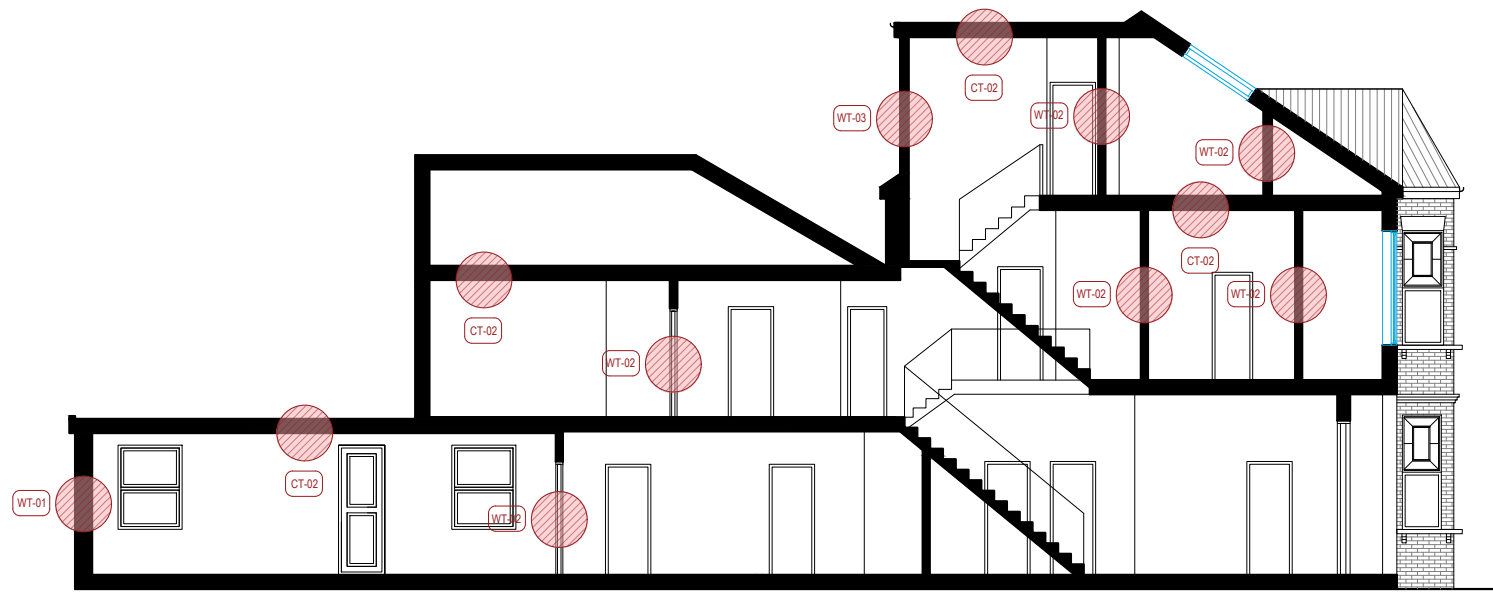
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CT-01

Intermediate GypCeiling MF build up system



Fire Integrity - 60mins
Fire Insulation - 60mins
Sound Insulation (Airborne) Rw (dB)-62dB
Sound Insulation (Impact) Lnw (dB)-55dB
Sound Insulation (Airborne) Rw + Ctr (dB) - 53dB



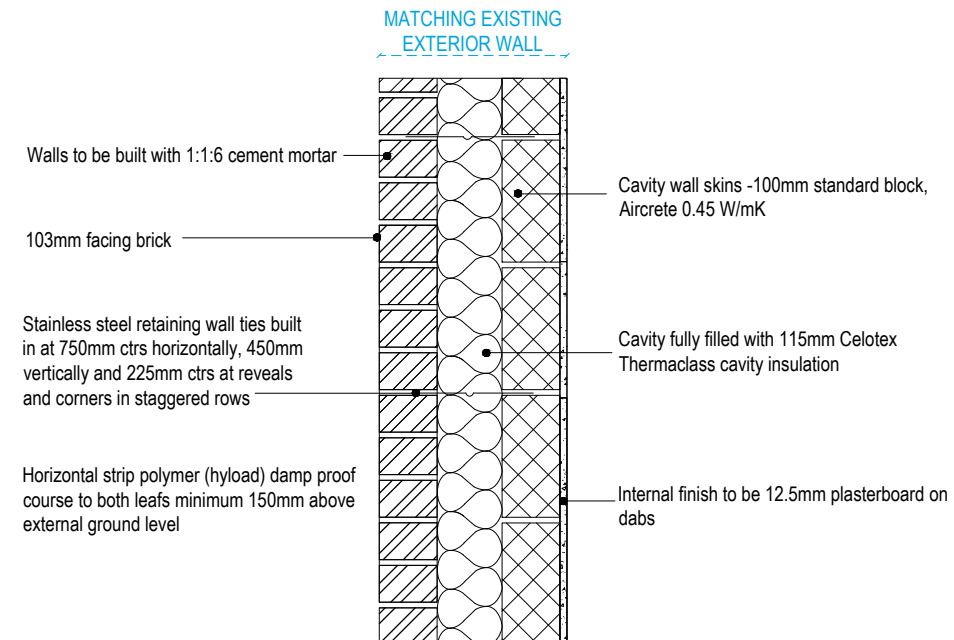
SECTION A.A
 Not to scale

SOUND INSULATION ASSESSMENT
 The predicted sound insulation values has been calculated using standard acoustic formulae for example rooms across the proposed development. The predicted sound insulation values are also compared against the assessment criteria provided in Local Authority Requirements and The Building Regulations Approved Document E "Resistance to the passage of sound" (ADE). It can be identified from the table that the proposed constructions should achieve the requirements of ADE and the Local Authority.

SOUND INSULATION ASSESSMENT				
ELEMENTS	PREDICTED Sound Insulation (Airborne) Rw (dB)	ACHIEVEMENT OF IDENTIFIED CRITERIA Minimum 48 (dB)	PREDICTED Sound Insulation (Impact) Lnw (dB)	ACHIEVEMENT OF IDENTIFIED CRITERIA Maximum 59 (dB)
WALLS	48 dB	✓	—	—
CEILING	62 dB	✓	55 dB	✓

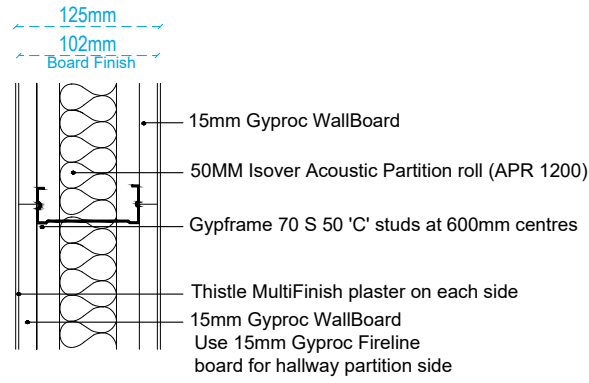
WT-01

FULL FILL CAVITY WALL
 U-value 0.16 W/m²K



WT-02

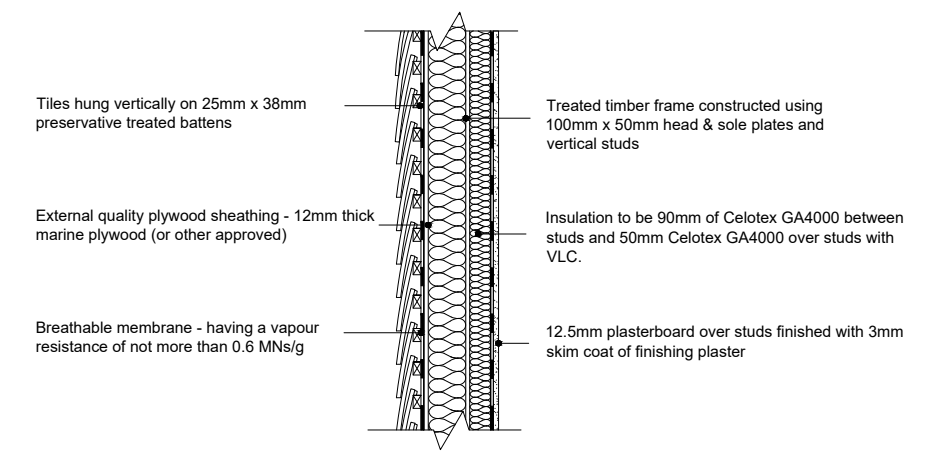
INTERNAL PARTITION WALL
 DETAIL BETWEEN UNIT AND HALLWAY
 PARTITION THICKNESS 125mm
 GypWall Single Frame A206014 (EN)



Fire Integrity - 60mins
Fire Insulation - 60mins
Sound Insulation(Airborne) Rw - 48dB

WT-03

TIMBER FRAMED WALL
 U-value 0.18 W/m²K



CONDITION 4 : SOUND INSULATION



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TITLE:	DISCHARGE OF CONDITIONS DETAILS	
PROJECT No	2119	DATE: 13-01-2025
SHEET No	D 03	

NOTES:	
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EDITED BY	

CAMDEN'S POLICY:

- All works should be conducted in accordance with the Camden Minimum Requirements. Contractors are expected to abide by the following principles of this document - London Borough of Camden expects to receive no valid complaints regarding the proposed works to be carried

TIME OF OPERATIONS.:

- Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

POLICY A4 NOISE AND VIBRATION

- The Council will seek to ensure that noise and vibration is controlled and managed. Development should have regard to Camden's Noise and Vibration Thresholds (Appendix 3). We will not grant planning permission for:
 - a. Development likely to generate unacceptable noise and vibration impacts; or
 - b. Development sensitive to noise in locations which experience high levels of noise, unless appropriate attenuation measures can be provided and will not harm the continued operation of existing uses.

We will only grant permission for noise generating development, including any plant and machinery, if it can be operated without causing harm to amenity. We will also seek to minimize the impact on local amenity from deliveries and from the demolition and construction phases of development.

SOURCES OF NOISE AND MITIGATION MEASURES	
SOURCES OF NOISE	MITIGATION ACTIONS
Large vehicles travelling to and from the site.	All vehicles are required to be driven onto and off the site with due consideration to neighbours. Deliveries of fuel are made only during daytime hours so that disturbance is minimised.
Large vehicles on site for: <ul style="list-style-type: none"> • Fuel Delivery • Removal of wastes, including bund emptying 	Vehicles must be well maintained and driven slowly around the site. Engines must be turned off when not required. Vehicles which are fitted with audible reversing warning systems are generally only used during the daytime.
Small vehicles travelling to and from the site (e.g. staff or contractors, courier van deliveries, etc.)	Small vehicles arrive during the working day and are therefore considered as a low risk.
Operation of fans and chillers	Efficient extraction fans are used and maintained in good condition to avoid excessive noise. Fan related noise complaints will be investigated promptly.
Alarm systems and standby generators	Systems tested bi-weekly. This is timed to minimise any nuisance to neighbours. Bi-weekly checks will highlight noise problems.
Personnel	Staff and other contractors are required to carry out their duties without creating excessive noise through shouting, use of radios, etc.
Repairs	When repair work is required at the site it is undertaken during normal working hours and with due regard to possible noise disturbance. In the event of major repair work which is likely to cause significant noise and disruption or an emergency night time breakdown which is that is likely to impact on critical data centre operations, neighbouring residents will be notified.

NOISE RESPONSE		
EVENT	RESPONSE	TIMESCALE
Fans operating incorrectly	Should a fan stop working or work noisily repair will be requested promptly.	Immediately
Generator noise	The generators installed at site will be new and should incorporate low noise design with enclosed containerised design. Should any malfunction, repair will be requested promptly. Unless total loss of power is experienced, generator will only be used for approximately 30 minutes every two weeks for test.	Immediately
Noise from heavy vehicles	If a heavy vehicle is operating noisily, the operator will be requested to not bring it back to site until repaired.	Immediately

CONDITION 6 : NOISE MANAGEMENT



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TITLE:	DISCHARGE OF CONDITIONS DETAILS	
PROJECT No	2119	DATE: 13-01-2025
SHEET No	D 06	

NOTES: The flat roofs of the extensions hereby approved shall not be used as roof terraces, sitting out areas or other amenity space.
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