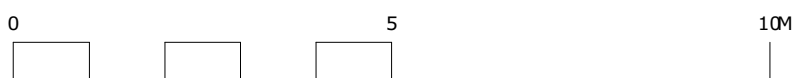


HOLMES ROAD



P1 14/05/2019 For Planning revisions:  
All dimensions and areas are approximate and are to be verified on site. Do not scale.

Purpose of issue:  
 For Planning

**NMA** Norton Mayfield Architects  
Harland Works, Unit 7  
 70 John Street  
 Sheffield  
 S2 4QU  
 Tel: 0114 270 0014  
 Sheffield & London  
 www.nortonmayfield.co.uk

Client:

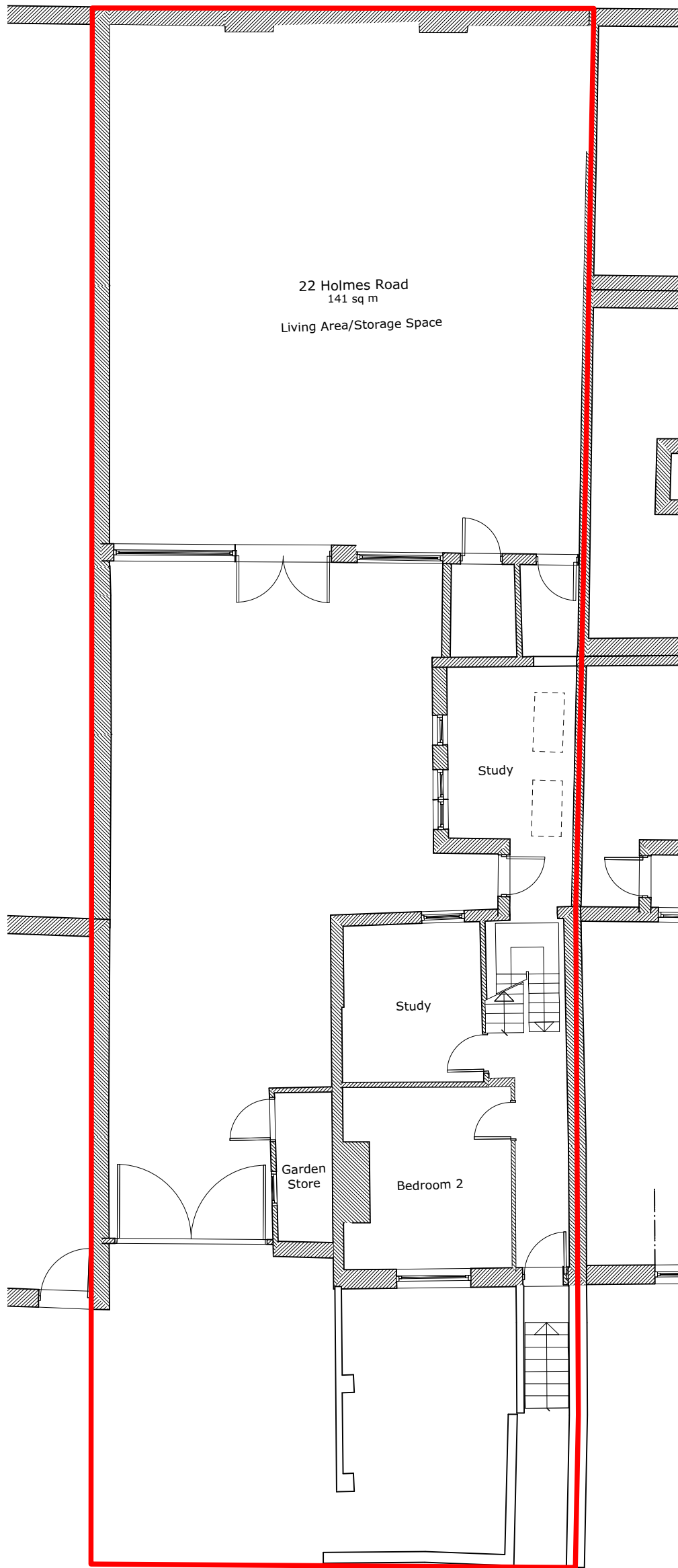
Project Title:  
**22 Holmes Road, London  
 NW5 3AB**

Drawing No:  
**1617-NMA-XX-B1-DR-B-00100**

Drawing Title:  
**Lower Ground Floor**

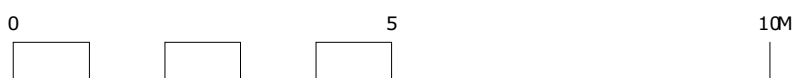
Project No:	Status:	Rev:	Scale:
1617	S2	P1	1:50@A1 1:100@A3

1617-NMA-XX-ZZ-M2-B-10010.vwx



22 Holmes Road  
141 sq m  
Living Area/Storage Space

HOLMES ROAD



P1 14/05/2019 For Planning revisions:  
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Purpose of issue:  
For Planning

 Norton Mayfield Architects  
Harland Works, Unit 7  
70 John Street  
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S2 4DU  
Tel: 0114 270 0014  
Sheffield & London  
www.nortonmayfield.co.uk

Client:

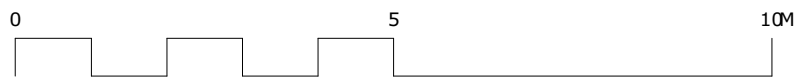
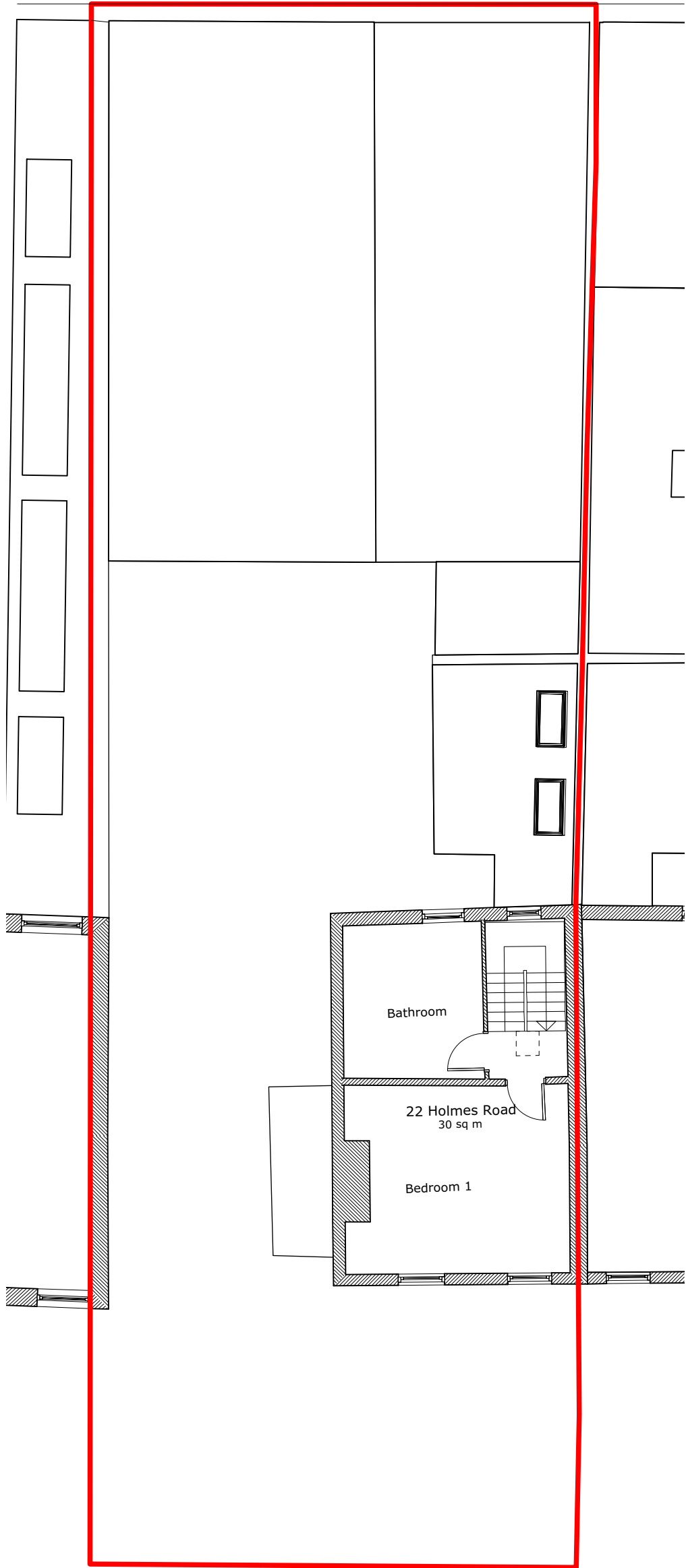
Project Title:  
**22 Holmes Road, London  
NW5 3AB**

Drawing No:  
**1617-NMA-XX-00-DR-B-00100**

Drawing Title:  
**Upper Ground Floor**

Project No:	Status:	Rev:	Scale:
1617	S2	P1	1:50@A1 1:100@A3

1617-NMA-XX-ZZ-M2-B-10010.vwx



HOLMES ROAD



P1 14/05/2019 For Planning revisions:  
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Purpose of issue:  
 For Planning

**NMA** Norton Mayfield Architects  
 Harland Works, Unit 7  
 70 John Street  
 Sheffield  
 S2 4DU  
 Tel: 0114 270 0014  
 Sheffield & London  
 www.nortonmayfield.co.uk

Client:

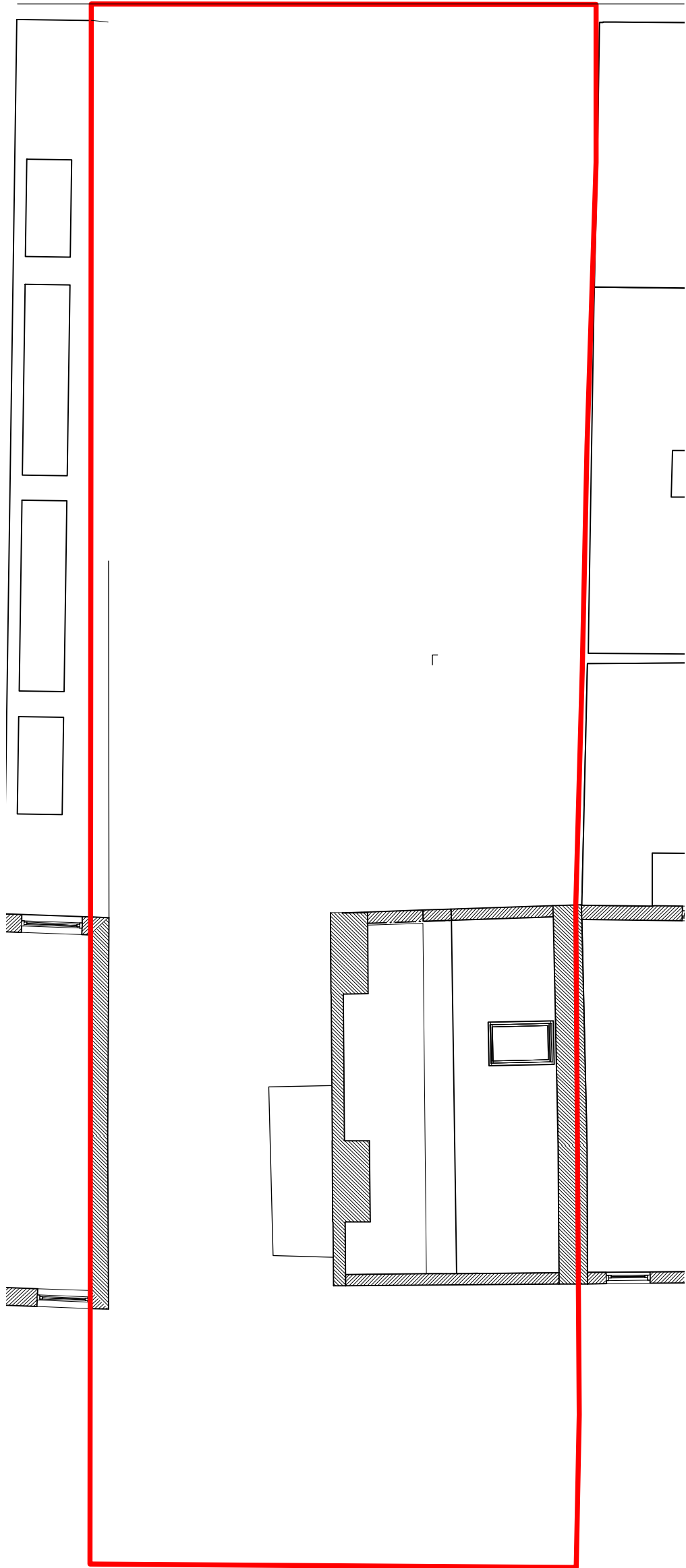
Project Title:  
**22 Holmes Road, London  
 NW5 3AB**

Drawing No:  
**1617-NMA-XX-01-DR-B-00100**

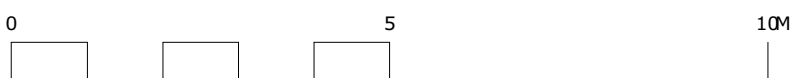
Drawing title:  
**First Floor**

Project No:	Status:	Rev:	Scale:
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1617-NMA-XX-ZZ-M2-B-10010.vwx



HOLMES ROAD



P1 14/05/2019 For Planning revisions:

All dimensions and areas are approximate and are to be verified on site. Do not scale.

Purpose of issue:

For Planning



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 70 John Street  
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 Sheffield & London  
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Client:

Project Title:

**22 Holmes Road, London  
 NW5 3AB**

Drawing No:

**1617-NMA-XX-RF-DR-B-00100**

Drawing title:

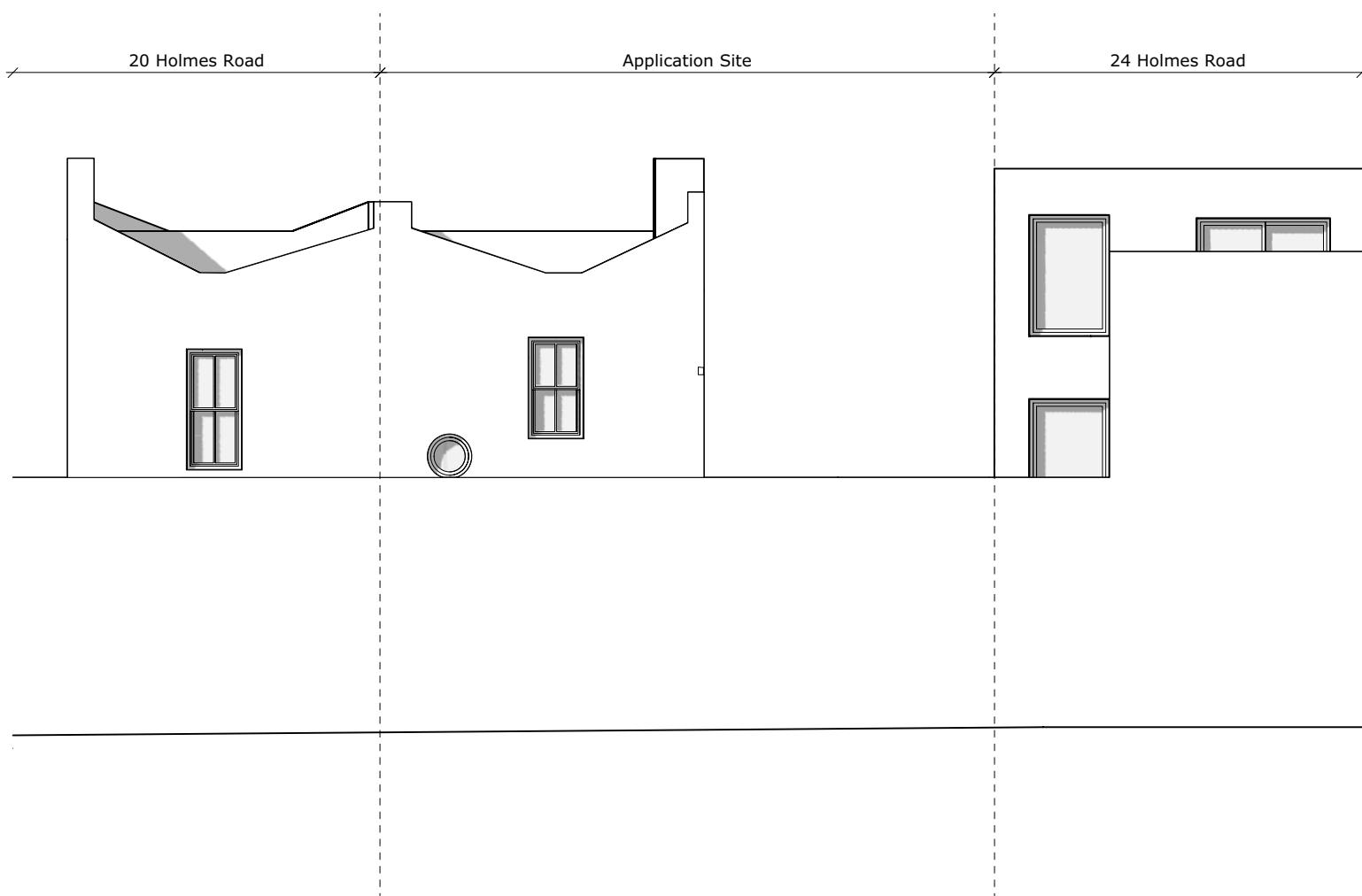
**Roof Plan**

Project No:	Status:	Rev:	Scale:
1617	S2	P1	1:50@A1 1:100@A3

1617-NMA-XX-ZZ-M2-B-10010.vwx



1 Holmes Road Elevation - Existing  
Scale: 1:100



2 Regis Road Elevation - Existing  
Scale: 1:100

3/05/19

For Planning  
revisions:

All dimensions and areas are approximate and are to be verified on site.  
Do not scale.

Purpose of issue:

For Information

**NMA** Norton Mayfield Architects  
Harland Works, Unit 7  
 70 John Street  
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 Tel: 0114 270 0014  
 Sheffield & London  
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Client:

Project Title:

**22 Holmes Road, London  
NW5 3AB**

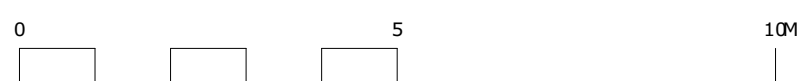
Drawing No:

**1617-NMA-00-ZZ-DR-B-00200**

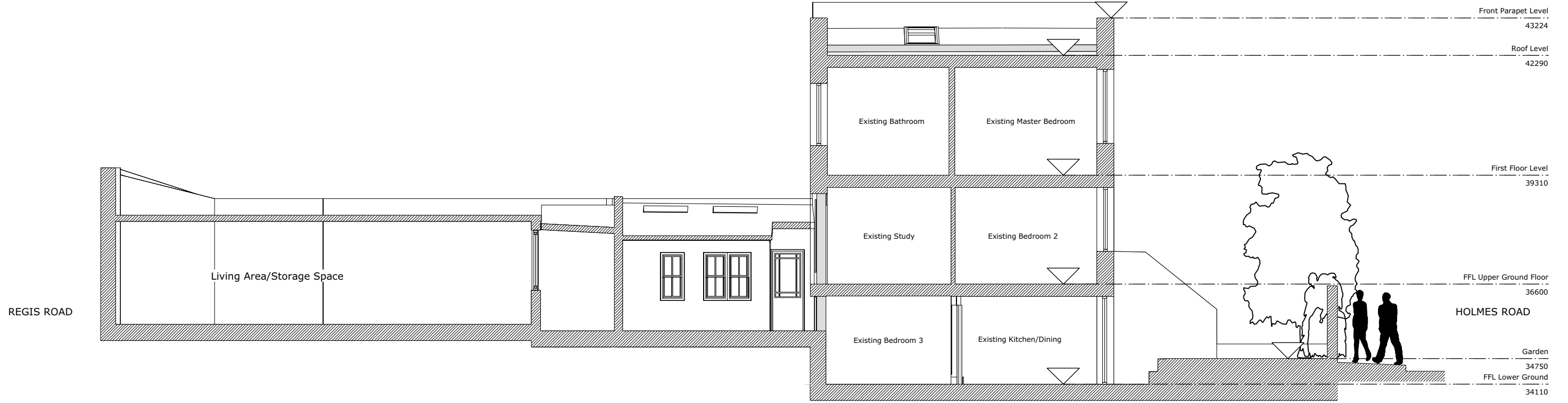
Drawing title:

**Existing Elevations**

Project No:	Status:	Rev:	Scale:
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1617-NMA-XX-ZZ-M2-B-00200.VWX



REGIS ROAD

Living Area/Storage Space

Existing Bathroom

Existing Master Bedroom

Front Parapet Level

43224

Roof Level

42290

First Floor Level

39310

Existing Study

Existing Bedroom 2

FFL Upper Ground Floor

36600

HOLMES ROAD

Existing Bedroom 3

Existing Kitchen/Dining

Garden

34750

FFL Lower Ground

34110

P1 13/05/19

For Planning  
revisions:

All dimensions and areas are approximate and are to be verified on site.  
Do not scale.

Purpose of issue:

For Information

**NMA** Norton  
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Tel: 0114 270 0014  
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Client:

Project Title:

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NW5 3AB**

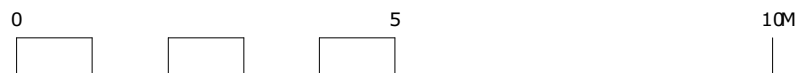
Drawing No:

**1617-NMA-00-ZZ-DR-B-00300**

Drawing title:

**Section BB - Existing**

Project No:	Status:	Rev:	Scale:
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1617-NMA-XX-ZZ-M2-B-00300.VWX