

**29a FROGNAL. London NW3 6AR**

**Design and access statement in support of the planning application for pedestrian and vehicular gates to the driveway and a garden outbuilding.**

17<sup>th</sup> December 2024

This document is in accordance with the requirement set down by the DCLG.

**Included within this application,**

**Existing drawings:**

Location plan	Fleck drawing ref 1167P 01
Site plan	SV01
Frognal elevation	SV02

**Proposed drawings:**

Site plan	GA01
Frognal elevation	GA02
Outbuilding elevations	GA03
Outbuilding elevation & section	GA04

**Crown – Arboricultural Consultants**

Tree drawing
Tree schedule

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## 1. Introduction

The proposal is for boundary changes including the addition of pedestrian and vehicular gates to the driveway and the addition of a garden outbuilding.

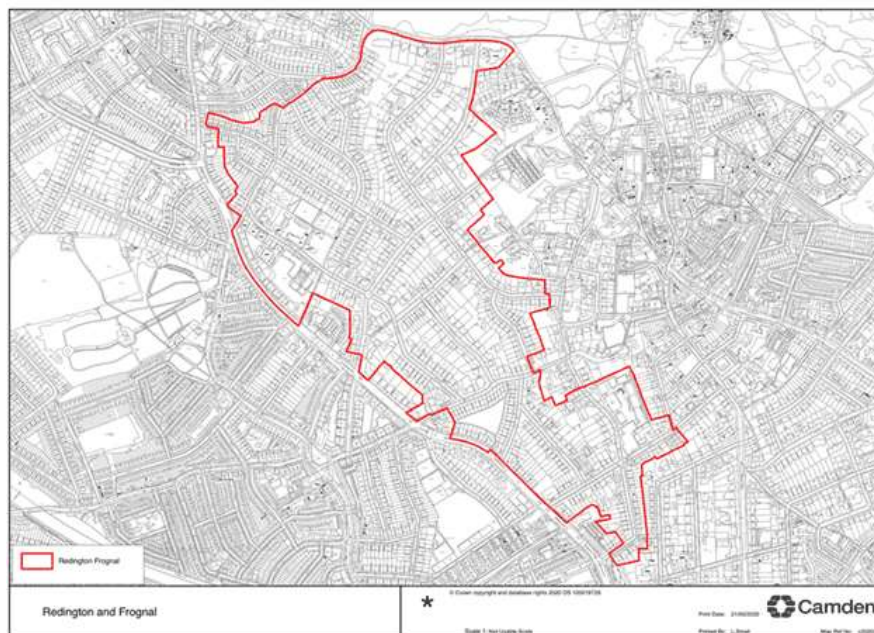
The property is currently being refurbished and extended as per planning approval ref 2023/4302/P dated 6 February 2024

## 2. Site

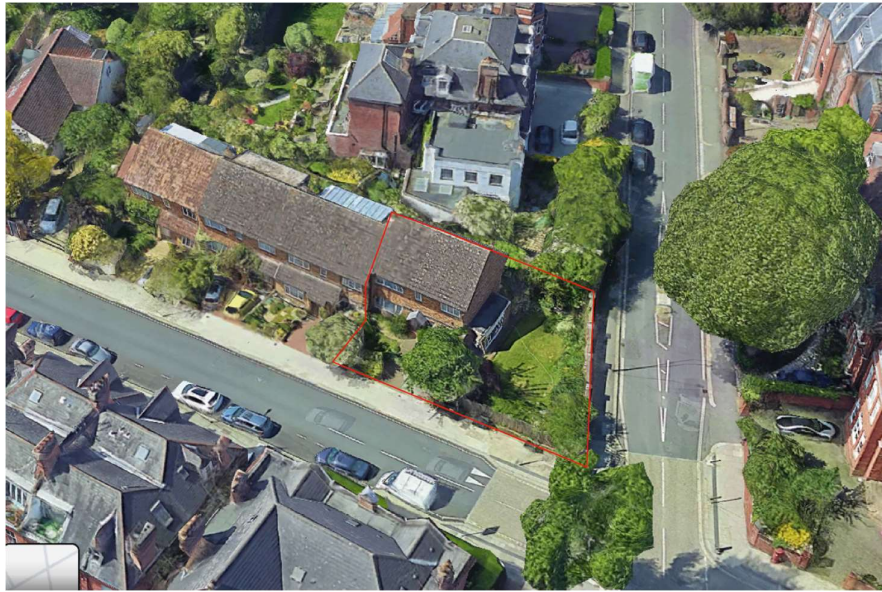
The property is a three-storey end of terraced house, located on the corner of the junction of Frognal and Arkwright Road. The house is the last in the terrace of a group of four 1950's properties.

The scale of the terraced houses is considerably smaller than the surrounding buildings on Frognal and Arkwright Road. The terrace is also out of keeping with most of the surrounding larger red bricked Victorian buildings typical of the local area.

The property is not listed however it falls within the southern end of the Redington Frognal Conservation Area. The four terraced properties are referenced within the Conservation Area Appraisal and are considered as "buildings that cause harm to the conservation area".



***Redington Frognal Conservation Area map***



*Google Earth view*



*Street view of the property*

The property is at the end of the terrace at the junction of Frognal and Arkwright Road and oddly the majority of its garden is to its side, the Arkwright Road elevation.

### 3. Planning History

There is little relevant planning history apart from the approval ref 2023/4302/P obtained on 6 February 2024. These works commenced in August 2024.

### 4. The Proposal

The refurbishment and extension of the main house is currently being undertaken. This will include the landscaping of the external areas. In addition, some of the boundary walls are in an unsafe condition and these will be repaired.

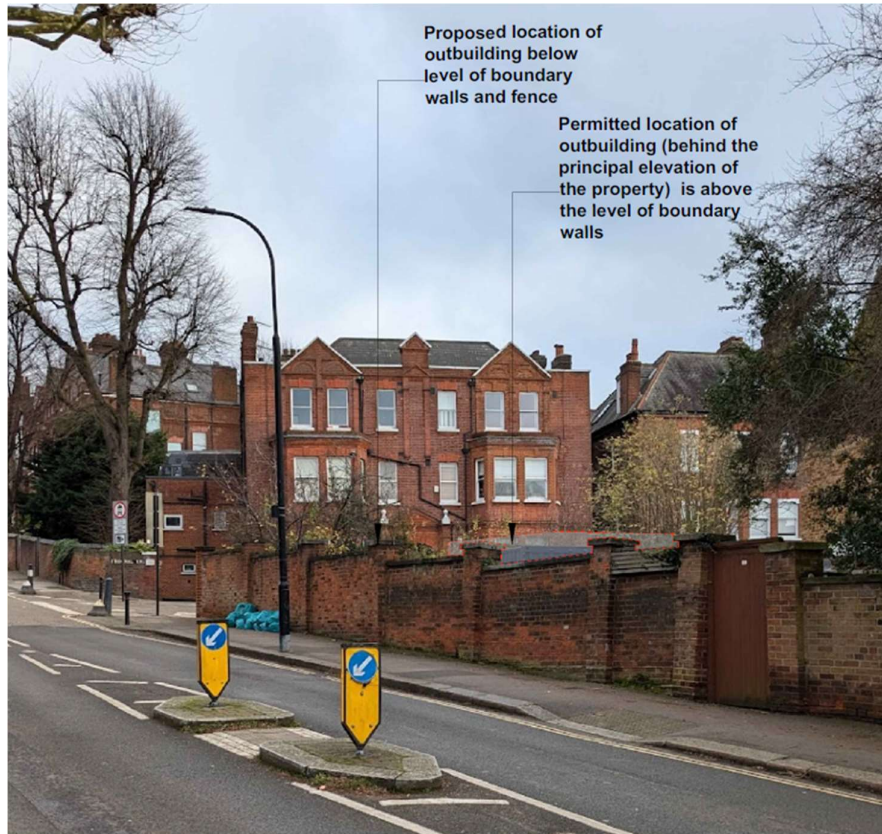
This application proposes to add brick columns at the end of the existing brick walls, similar to the existing, to frame the driveway and pedestrian openings. This detail is typical to most of the local properties. To the new opening the proposal is to add a vehicular sliding gate and a pedestrian gate, again similar to many local properties.

The application also includes a new outbuilding. This has been designed to meet the permitted development rules. If the outbuilding was positioned behind the principal elevation of the house we believe this would be permitted for the following reasons:

- The property it is not on designated land, it is not a listed building or in a national park.
- The main house and outbuilding is less than 50% of the site area.
- The outbuilding does not provide separate self-contained living accommodation.
- The proposed eaves height is 2.5m

However, due to the unusual nature of the garden the best location for the outbuilding is in front of the principal elevation of the house, therefore requiring approval.

The proposed location has the least impact on the surrounding properties and is not visible from pavement level as the site rises along the Arkwright Road elevation. Whereas if it were located behind the principal elevation, and therefore permitted, it would be visible.

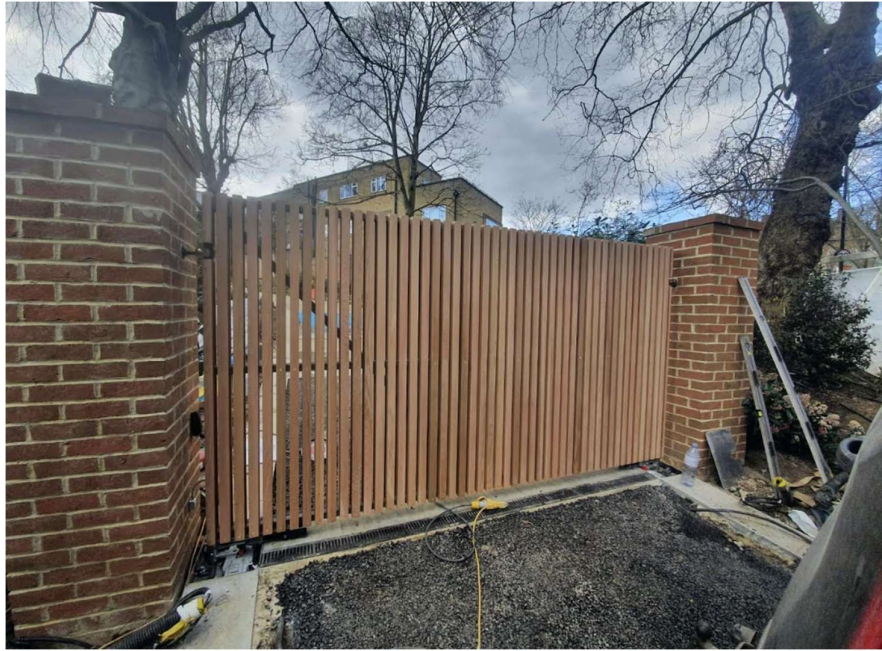


***View of boundary wall to Arkwright Road.***

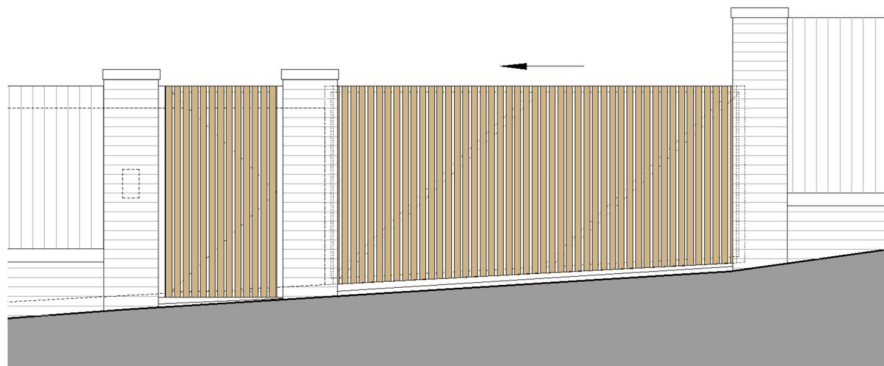
## **5. Design**

The proposed boundary changes are designed to enhance the building and its setting and therefore its surroundings. The appearance of the side of the property and garden will also be improved with the proposed outbuilding set into the sloping site.

The design of the proposed gates is similar to the gates installed at no 41 Frognaal utilising steel box frames with treated timber slats forming the facing panels.



*Installation photo provided by the supplier*

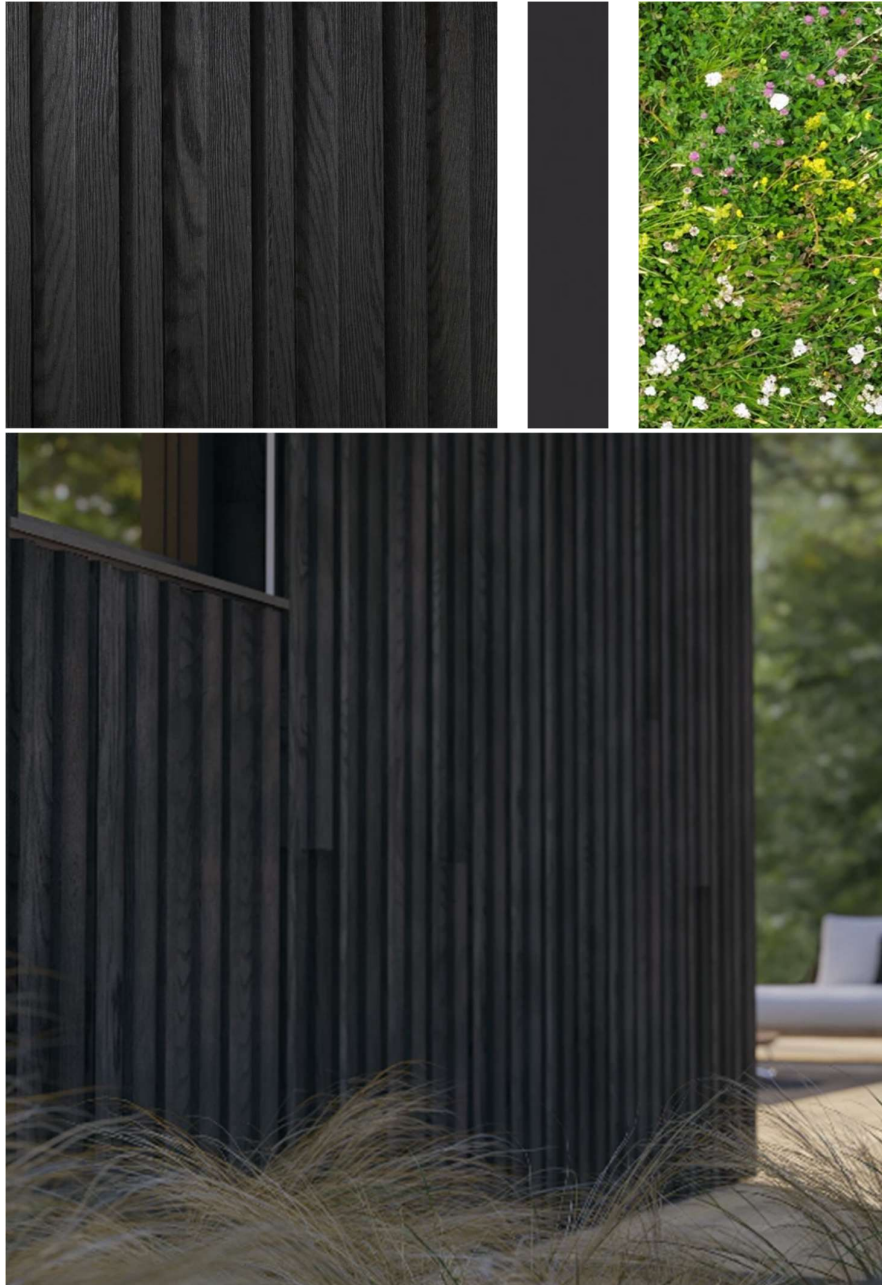


*Proposed boundary elevation*

The scheme retains the historic brick boundary walls and adds red brick columns to frame the access routes which is a positive characteristic of the local area.

The proposed outbuilding has been positioned to make best use of the garden. The green roof is incorporated to coordinate with the new green roofs to the main house's ground floor extensions and these add to the biodiversity of the site.

The cladding in the burnt cedar finish will be contemporary however subservient and is paired well with the green roof and black anthracite frames to the windows and doors.



*Outbuilding finishes – Burnt Cedar cladding, black anthracite window and doors and green roof (Bauder Green flora seed mix)*

## 6. Use

There is no proposed change to the use of the property.

## 7. Layout

There is no proposed change to the layout of the main property. The garden layout is better suited to the outbuilding positioned as



proposed to the Frognal boundary (rather than the permitted Arkwright Road location)

## 8. Scale

The proposed sliding vehicular gates are 1.43m high on the right hand facing the property so modest in scale and the brick columns framing the entrances are in keeping with other local boundary treatments.

The scale of the outbuilding is also modest in height and by being set into the sloping site proportionate in its appearance. The green roof and the landscaping also help the outbuilding blend into its surroundings.

## 9. Landscaping

The brick boundaries are being repaired like for like. The trees identified for removed in approval 2023/4302/P and the poor-quality self-sown bushes and brambles are being removed and the dilapidated fencing is being replaced.



***Unkempt garden - Proposed location of outbuilding***

As part of the approval ref 2023/4302/P new trees are being planted as indicated on the proposed plan GA01 and within the landscaping assessment and design by Crown, the Arboricultural Consultants.

The view and impact of the new outbuilding will be softened with the proposed green roof and this along with the new extension green

roofs will add to the biodiversity of the site.

All the trees identified in the Arboricultural Consultants report will be protected or are sufficiently far from the works to be unaffected by the proposals.

## 10. Appearance

As stated previously, the street view of the property will be improved with the maintenance and new boundary treatments. These garden and landscaping works will benefit the surrounding properties.



*Frogna boundary*

## 11. Vehicular access

There is no proposed change to the parking provision as part of this application. The vehicular gate is a mechanically operated sliding gate which will be operated by local and remote-control systems to allow simple access into and out of the property.

## 12. Inclusive access

The pedestrian access at the boundary will be via a gate which will be operated by an intercom as well as a local and remote-control systems. This will allow pedestrian easy access into and out of the property.

All other entrance and access arrangements to the property will not be altered.

### **13. Refuse & Recycling**

The property, like all the properties in the terrace, use wheelie bins for general waste and recycling and these are housed in a dedicated store in the front gardens. There are no proposed changes to the refuse collection arrangements and the bins will be put out in line with the refuse collection dates.

### **14. Daylight**

The proposals are all to the north of no 29 Frognaal and have no sunlight or daylight impact on any of the neighbouring properties.

### **15. Conclusion**

The boundary proposals will improve the setting and exterior of the property. The proposed outbuilding has been positioned to improve the appearance of the important junction of Frognaal and Arkwright Road. This will enhance the property and therefore the proposals are a positive contribution to the surrounding properties and the conservation area.