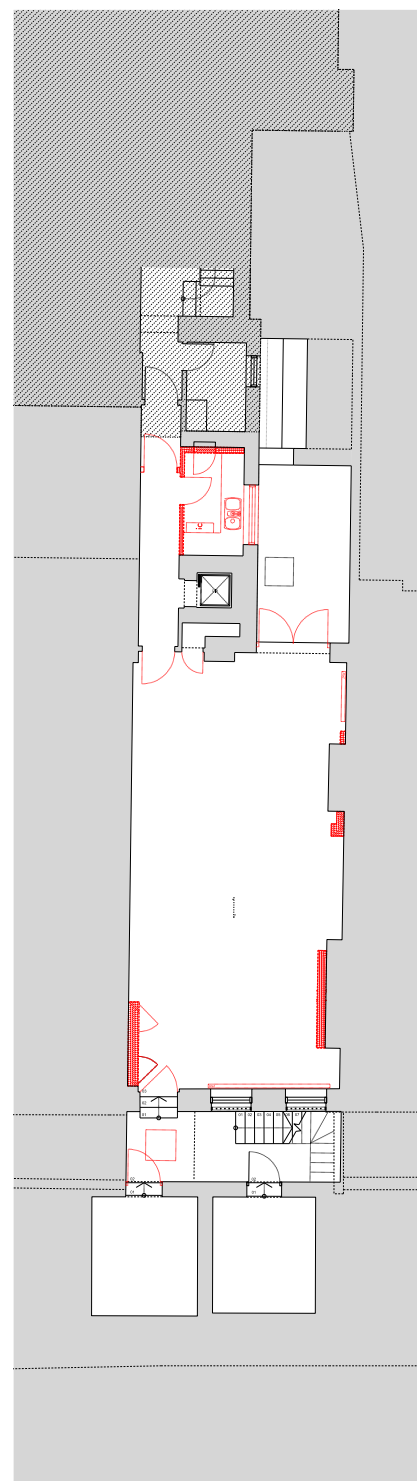


To be completed

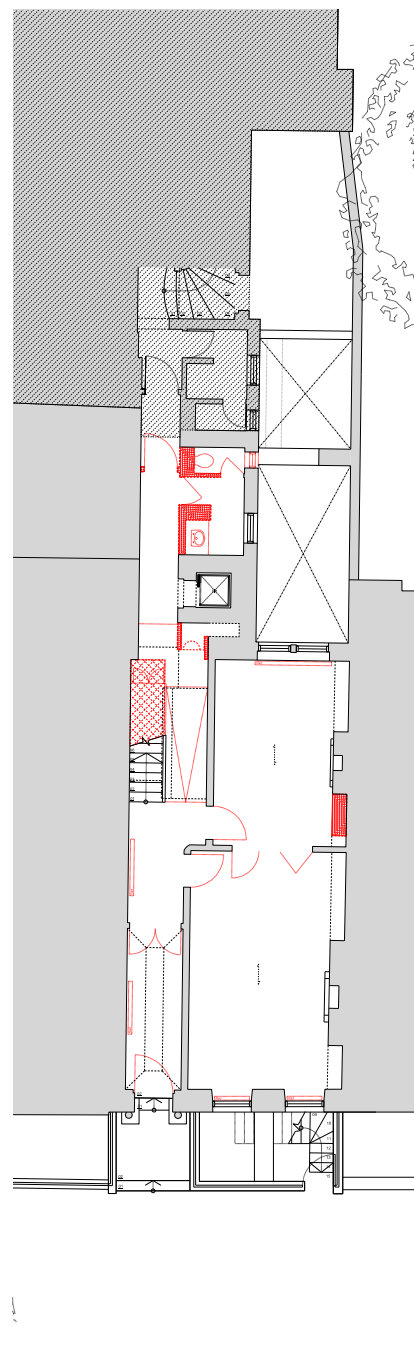
3.3 Demolition and Restoration Strategy

Generally the approach to the redevelopment of the property has been to adopt a sensitive, considered strategy which looks to retain, enhance and improve on historic features of the property, thus, any demolition which is proposed to facilitate the change of use and redevelopment of the building have been limited to non original elements of the building which hold little or no historical interest.

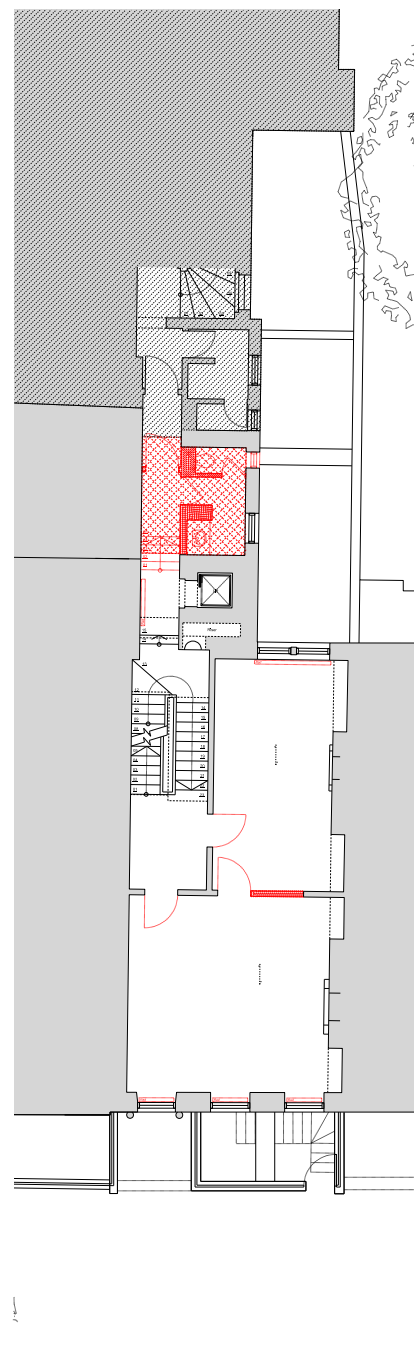
For full details, please see the heritage report.



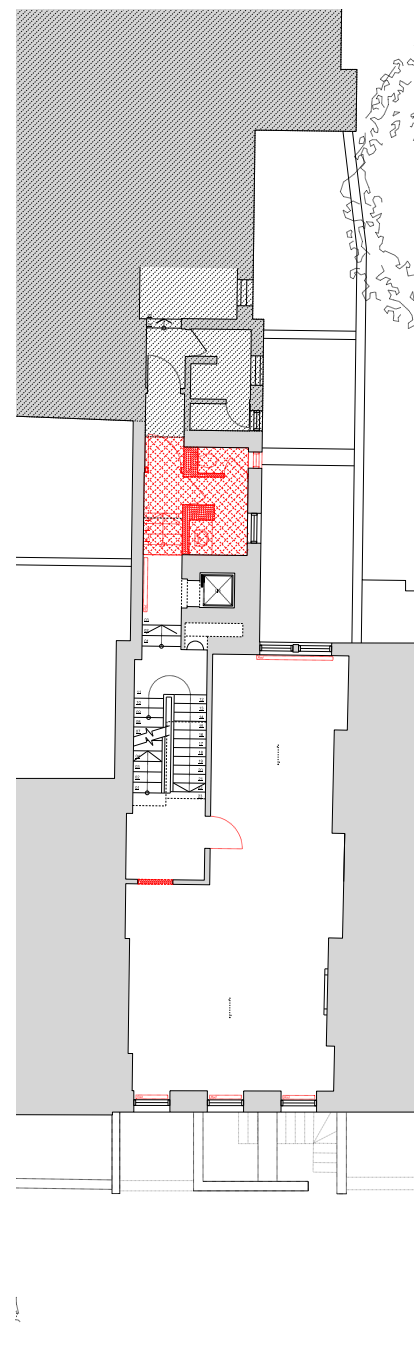
Demolition Lower Ground Floor Plan



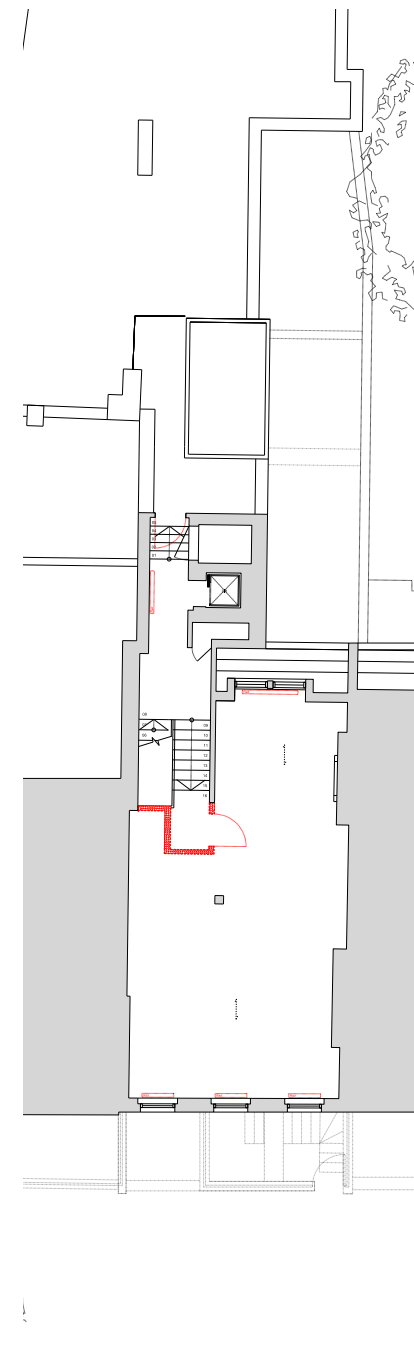
Demolition Ground Floor Plan



Demolition First Floor Plan



Demolition Second Floor Plan



Demolition Third Floor Plan

Scale 1.200



3.4 Proposals

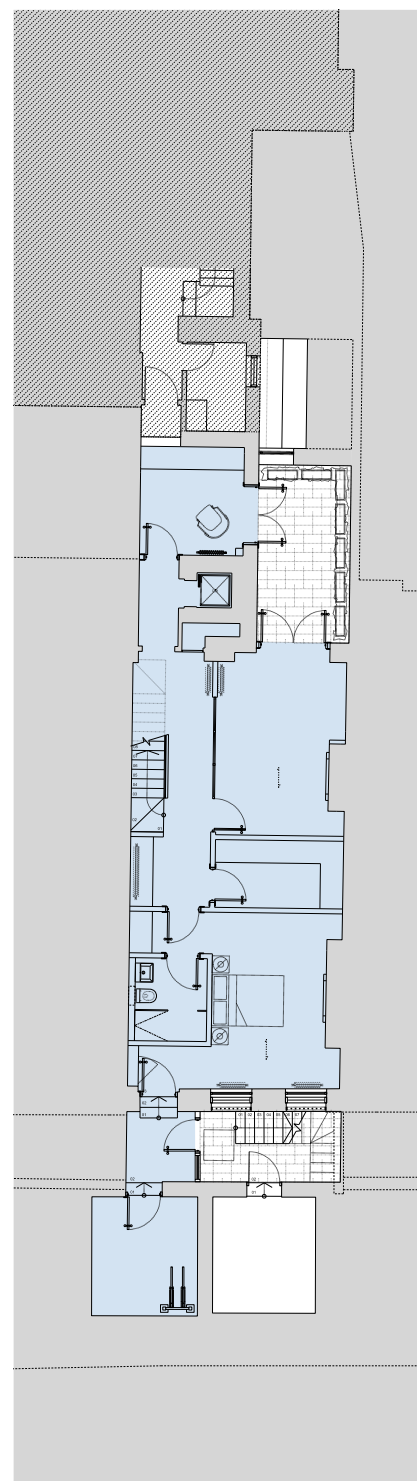
Proposals seek to convert the existing floor space into a 4 bedroom single dwelling house which will exceed the minimum space standards required under the London Plan and offer a high quality environment to future occupants.

It will also benefit from dual aspect.

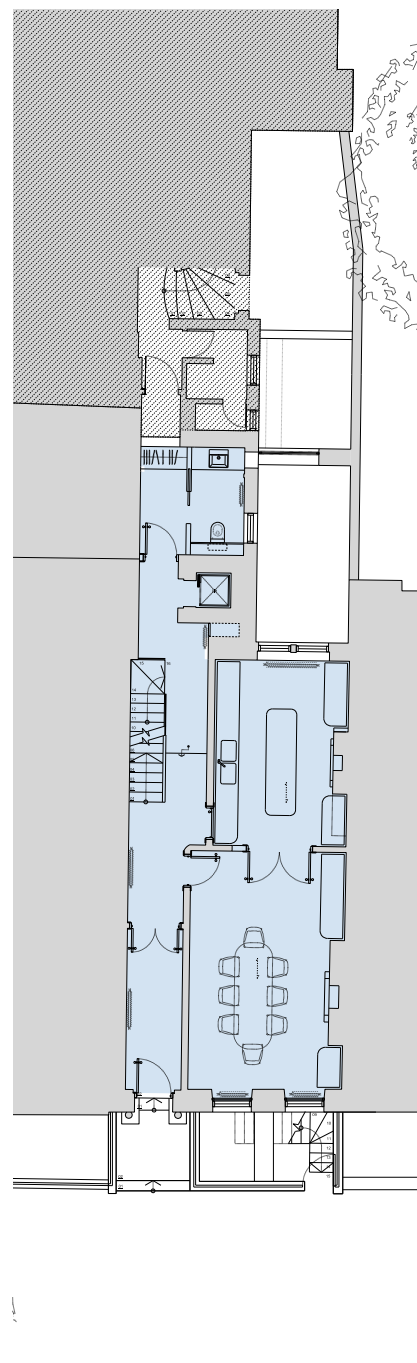
An extra 14sqm is added to the existing GIA by internalising the space below the front entrance steps (accessed by the front lightwell) and the storage space below the street walkway.

Single dwelling

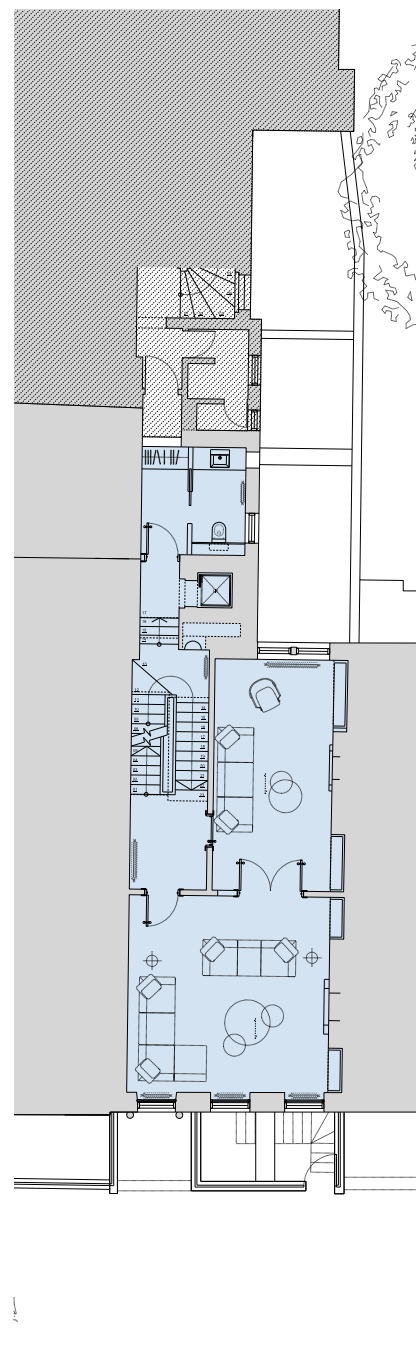
The proposals introduce communal spaces with dining and kitchen at ground, reception rooms at first and media room at lower ground levels. Bedrooms accommodation are located at lower ground (1no.), second (1no.) and third levels (2no.).



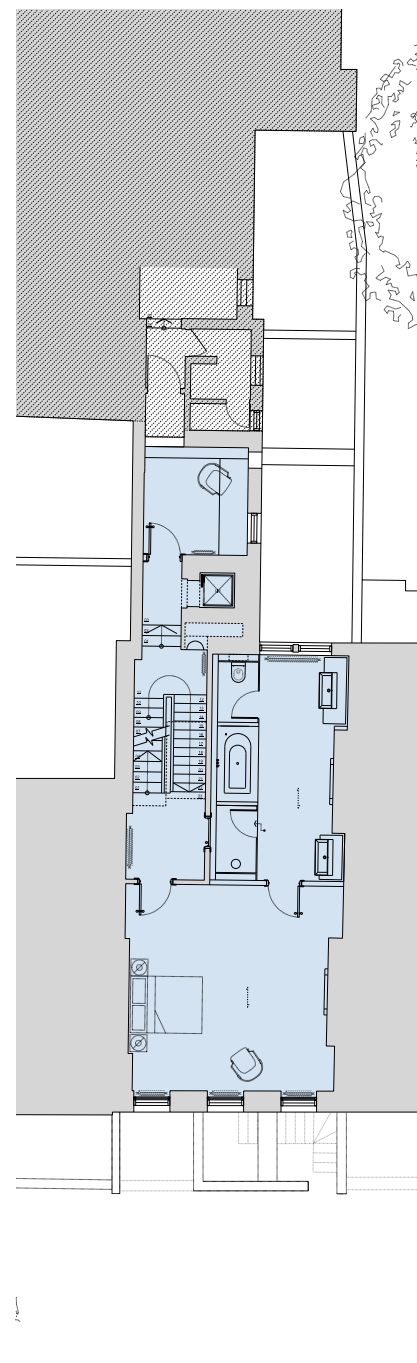
Proposed Lower Ground Floor Plan



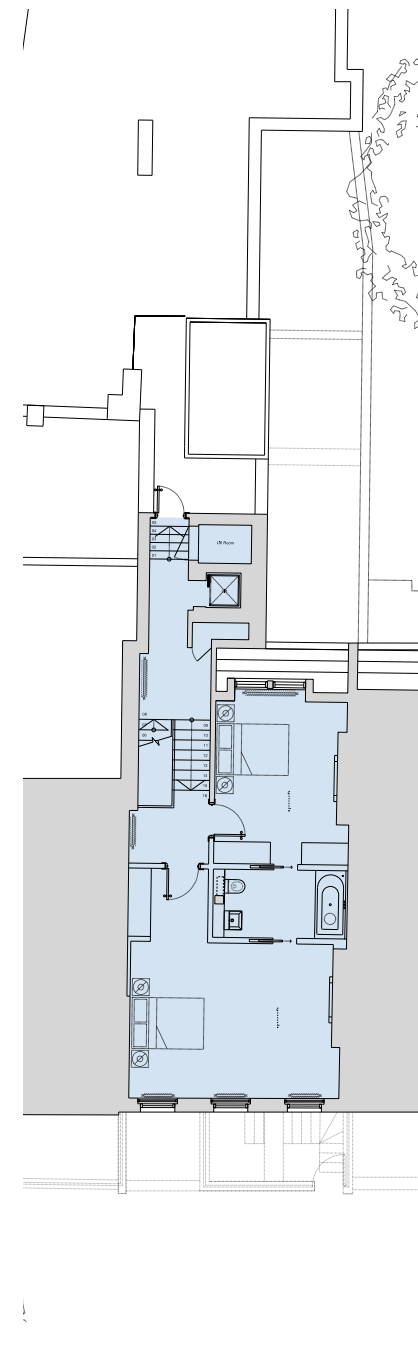
Proposed Ground Floor Plan



Proposed First Floor Plan



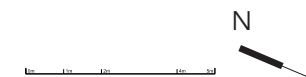
Proposed Second Floor Plan



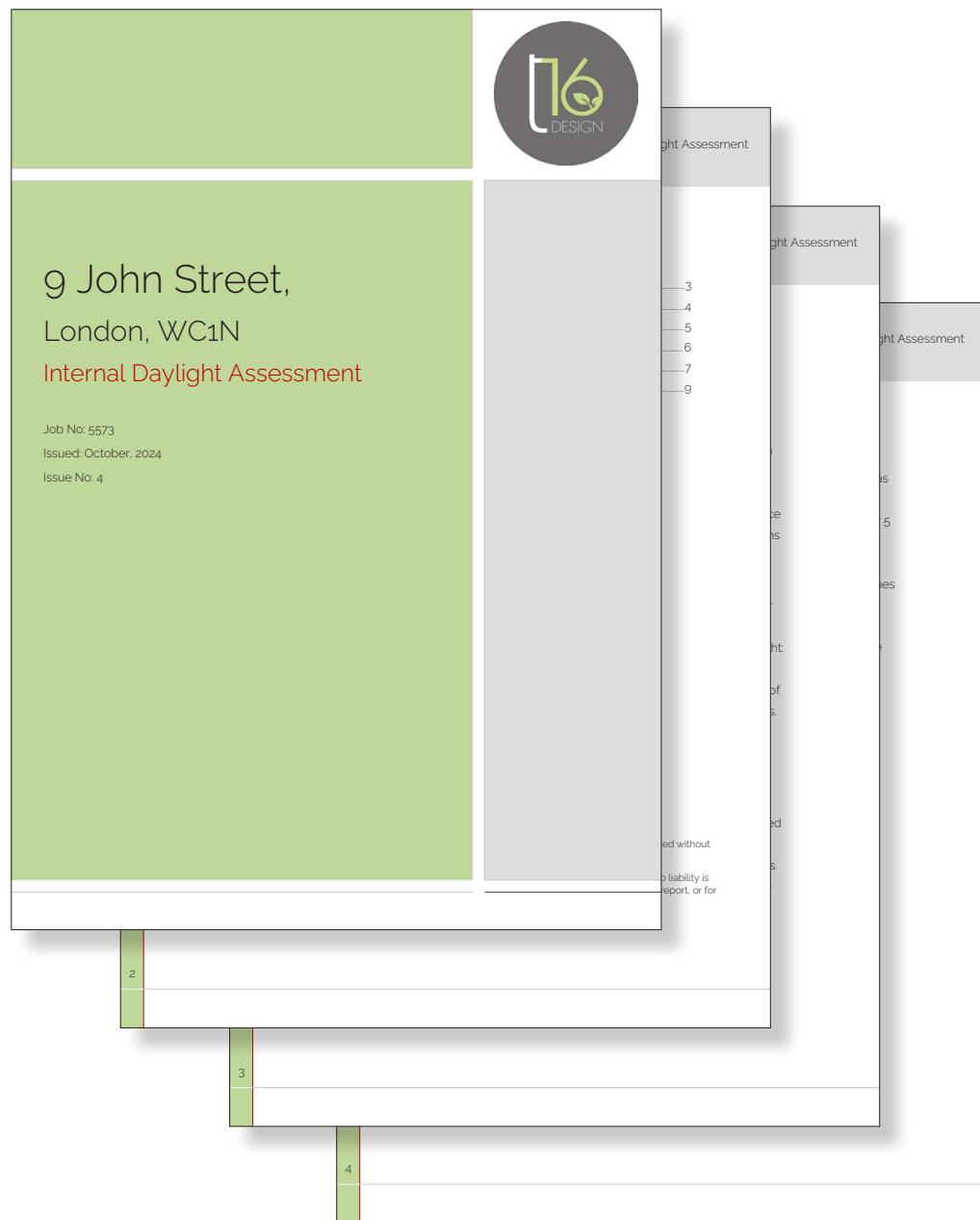
Proposed Third Floor Plan

Key - scale 1.200 :

■ 4B 8P Single dwelling _ 409 sqm (4400 sqft)



3.5 Daylight & Sunlight



The design proposals were developed working alongside T-16 daylight sunlight experts to ensure that the proposed accomodation recieves adequte levels of daylight and sunlight.

Full details of this can be found in their report which confirms **all** rooms, to **all** apartments meet the BRE targets.

3.6 Noise Impact Assessment

A comprehensive background noise test was undertaken by KP acoustics whose report has been submitted as part of this application.

The findings of the report confirms that the internal spaces meet the required targets for residential accomodation. In addition, their report includes commentary on the noise created.

KP acoustics
 KP Acoustics Ltd.
 info@kpacoustics.com
 1 Galena Road, W6 0LT London, UK
 +44 (0) 208 222 8779
 www.kpacoustics.com

**9 John Street
 London WC1N 2ES**

**Noise Impact Assessment Report
 Report 27845.NIA.01 – Rev. C**

GFZ Limited

Registered in England Company No. 7347892. KP Acoustics is the Trading Name of KP Acoustics Limited

27845: 9 John Street, Camden, London
 Noise Impact Assessment
 Page 1 of 11

3.7 Sustainability

The client and design team are committed to sustainable development through the use of a variety of methods including, but not limited to, renewable technologies.

The proposals have been developed in collaboration with Webb Yates Sustainability team who have assisted in specifying thermal upgrades to the buildings fabric.

It is also proposed to fit secondary glazing to the existing windows facing West onto John Street.

Full details of our sustainability strategy, showing the development achieves compliance with Building Regulations, Local and London planning policy, can be found in the accompanying report by Webb Yates Associates.

WEBB YATES ENGINEERS

Sustainability Statement
J5652 9 John Street

Ref: J5652-B-RP-0001
Revision: 02
Status: S2

Webb Yates Engineers Ltd
48-50 Scrutton Street
London, EC2A 4HQ
020 3496 1550
london@webyates.com
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Registered in England & Wales No. 5299928

This document has been prepared in accordance with the scope of Webb Yates Engineers appointment and is subject to the terms of that appointment. Webb Yates Engineers accepts no liability or responsibility to any other party in respect of any use or reliance upon this document. Any modification to this document subsequent to issue by Webb Yates Engineers shall not be considered valid.

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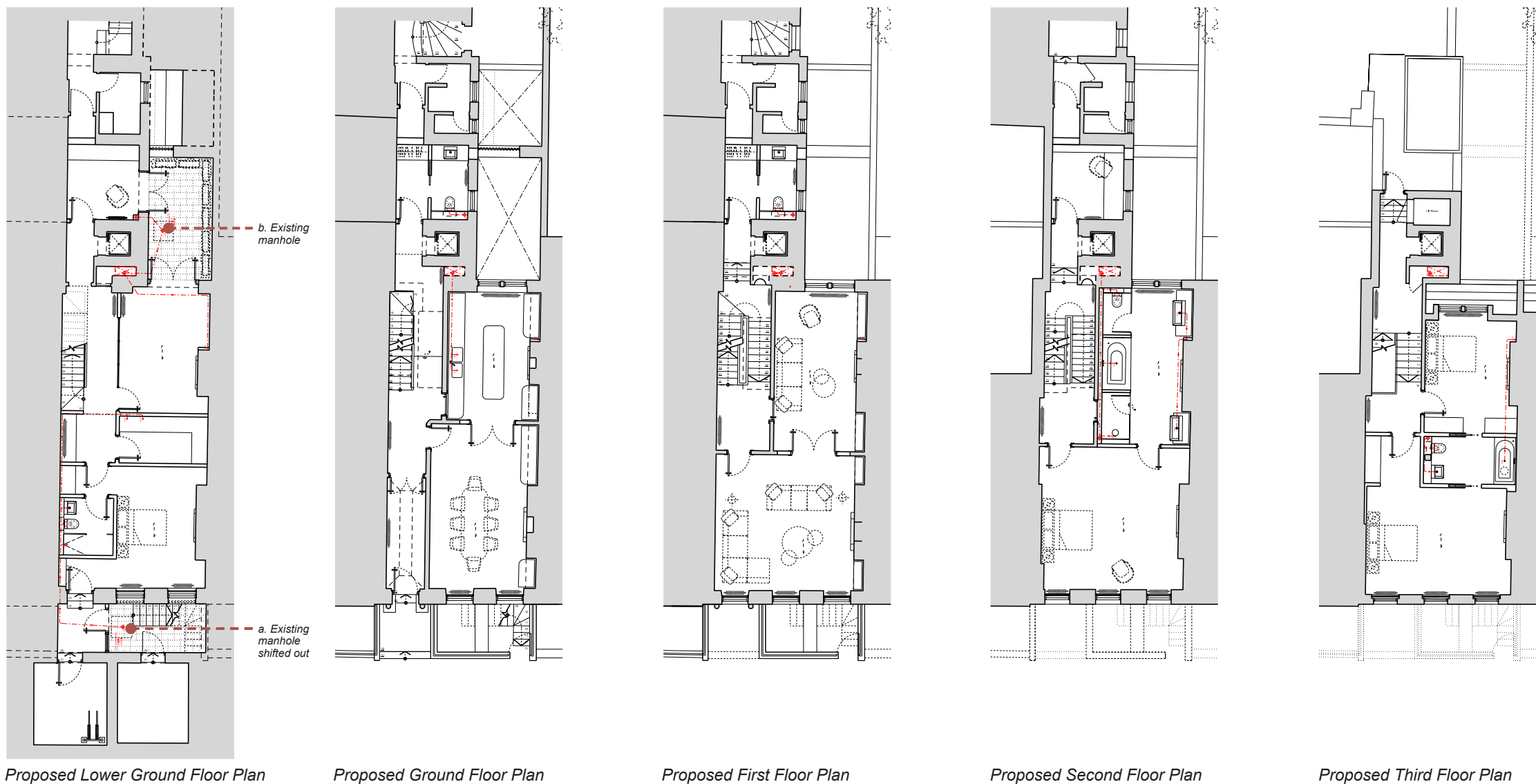
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Servicing & Access

Section 4

STUDIO THREE

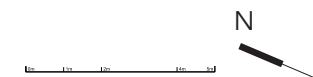
4.1 Drainage strategy

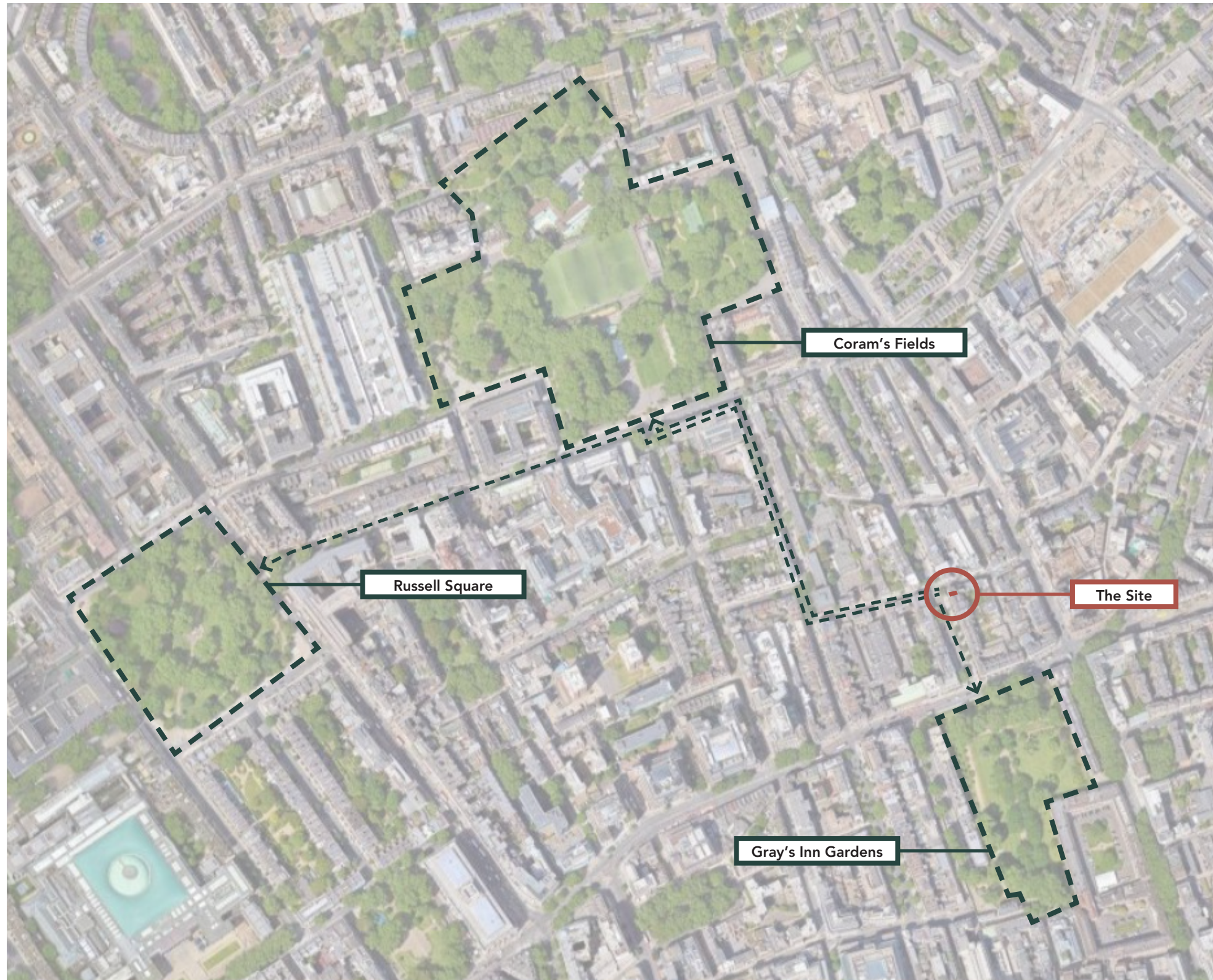


a. Existing manhole to front lightwell shifted out



b. Existing manhole to rear courtyard shifted out





4.2 External Amenity Space

The opportunities to offer on site private amenity space is extremely limited due to the large footprint of the building in relation to the site. The majority of the site is developed and the external space that is afforded within the site has been utilised as best as possible. There are at lower ground floor level a proposed private terrace to the rear and a small external lightwell to the front of the property .

Additionally the diagrams shown in this section demonstrate that future occupants will have excellent access to high quality public green spaces within a 5 minute walk. The closest being just 110 m away.

Walking distance and time to public amenities:

Site to Gray's Inn Gardens

110 m - 2 mn walk

Site to Coram's Fields

450 m - 6 mn walk

Site to Russell Square

850 m - 12 mn walk

Key :



Areas

Section 5

STUDIO THREE

5.1 Area Schedules

Existing & Proposed Gross Internal Areas (GIA)

EXISTING GIA		
Level	SQM	SQFT
Lower Ground Floor	80.80	869.72
Ground Floor	81.40	876.18
First Floor	81.30	875.11
Second Floor	80.40	865.42
Third Floor	71.40	768.54
External Spaces	22.00	236.81
Total GIA	395.30	4,254.97

PROPOSED GIA		
Level	SQM	SQFT
Lower Ground Floor	94.45	1,016.65
Ground Floor	81.40	876.18
First Floor	81.30	875.11
Second Floor	80.40	865.42
Third Floor	71.40	768.54
External Spaces	18.40	198.06
Total GIA	408.95	4,401.90