

9 John Street, London, WC1N 2ES
Structural Statement in support of planning



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Date:	10 th October 2024
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Document Control

	Stage:	Planning					
Rev.	0	Prepared by:	J. Fitzpatrick	Checked by:	J. Fitzpatrick	Approve by:	J. Fitzpatrick
Date.	10/10/2024	Signed:		Signed:		Signed:	

Table of Contents

<i>Introduction:</i>	4
<i>Existing property description and comments on construction type:</i>	4
<i>Proposed Works:</i>	5
<i>Site Inspections:</i>	5
<i>General Repairs & Relevelling:</i>	5
<i>Structural alterations and discussion:</i>	6
<i>Appendix: A Sketches;</i>	7
<i>Appendix: B Photos;</i>	8

Introduction:

I confirm that Quantum Ltd, who are Structural Engineers, have been appointed to carry out a structural inspection to the property at the above address and advise on the structural implications of the proposed alterations.

This report has been compiled by John Fitzpatrick BEng CEng MIE MICE. This report is for the sole use of the client and the Local Authority Planning department and should not be relied upon by any third parties.

The purpose of this report is to comment on the structural impact of the proposed internal alterations. This report is required by the local authority for Listed Building Consent.

The building was visited on 21st January 2024. Access was gained to all parts of the property, except where noted on the drawings. No access was available onto the roof or neighbouring properties or gardens.

Following on from our appointment and subsequent discussion with the architect, we have carried out a desktop review of the supplied information as well as a visual inspection at the property. The visual inspection was carried out without intrusive investigations having been carried out. Additional investigations and openings maybe required to carry out detailed design and to assess in further details some of the points below and the findings to date cannot be considered to apply to areas of the building not inspected or investigated. The report is intended for use by the client in support of their planning application and no liability is transferred or assumed beyond that.

Existing property description and comments on construction type:

The property is an original Georgian terraced property. It is laid out over four storeys over basement. Various minor alterations have been undertaken to the property since its original construction and it has been directly connected into number 9 Northington street behind at some period between 1896 and 1901. The property was constructed in the mid 1750's. The building has lawful office use but is currently vacant. The chronology and nature of the alterations is described in detail in the accompanying Heritage Statement by The Heritage Practice.

It is Grade II listed as a group with other properties on the end of John Street.

It is mostly of traditional construction with loadbearing brickwork walls and suspended timber floors. The roof structure had limited inspections and appears to be a traditional cut timber construction. The foundations in places could not be confirmed by visual inspection but is expected to be corbelled brickwork at the foot of the walls sitting on the assumed later addition of the basement.

Proposed Works:

The proposed works generally comprise refurbishment of all levels of the property with some structural alterations as noted below:

- At basement level, a stair is to be reintroduced in the location it would have originally existed to connect lower ground to ground.
- existing door opening to the lower ground floor courtyard have small adjustment in height
- floor levels at first and second floor to the rear link are proposed to be readjusted.
- Some non-load bearing walls are being removed.
- Internal partitions are altered and relocated to divide spaces as noted.
- An opening is being altered to provide a door into rear courtyard.

Site Inspections:

No intrusive investigations have yet been carried out but from our site walk around in certain areas we can ascertain the likely floor joist direction. The floors currently have raised access service floors so at junction box locations we could lift finished and in a limited manner inspect likely floor joists spans. The joists generally span between load bearing wall running front to back.

Access to the roof was limited so little inspection has happened up here but the roof is believed to be a traditional double pitched roof supported off the same walls carrying the floors.

Based on these investigations we have given a series of proposed structural solutions to the new works. The bulk of the structural works are to be carried out within the existing building and adjust layouts internally, so the alterations here don't impact on the fabric of the structure. These will require minimal and selected alteration to the existing structure, and it is suggested will be carried out in a sympathetic manner without compromising the overall structural stability of the building.

General Repairs & Releveling:

In general, the building is in a fair condition for its age and type. Generally, the perimeter brick walls seem to be of sound construction and there is very little cracking evident to the external masonry walls. There

has been some creep and deflection of the timber floors overtime, but they appear to be in good condition. There may be some rooms that require levelling works to be completed. This can be achieved using timber firings fixed to the top of the joists. Once the floors are exposed, if any of the timbers are found to be in a poor condition then it may be necessary to strengthen existing joists by bolting new joists to the side of the existing.

Structural alterations and discussion:

The proposed alterations as listed above in my opinion are feasible and would be considered standard in terms of their scope and or complexity. The bulk of the works within the property would be considered relatively minor and are restricted to, first and second floor level adjustments, providing new openings, alterations to existing openings and allowing for the distribution of services up through the building. While these will require some local opening and alterations to the historic fabric, new structure will be added to ensure adequate capacity and strength is retained and alterations to the existing will be kept to a minimum. Having reviewed on site the alterations that were carried out previously including the basement extensions, these alterations, in structure terms, have had no negative impact on the historic fabric of the original building. The proposed works can in a similar vein be carried out without impact to the structural stability and integrity of the existing historic building and the original boundary walls. A series of initial design proposal are included in sketch format in the following appendix.

Following the required permissions, it is recommended that some opening of the specific areas is carried out to ascertain the exact build up and nature of construction in these areas so that the final designs can be carried out to ensure minimal impacts on the historic fabric are necessary.

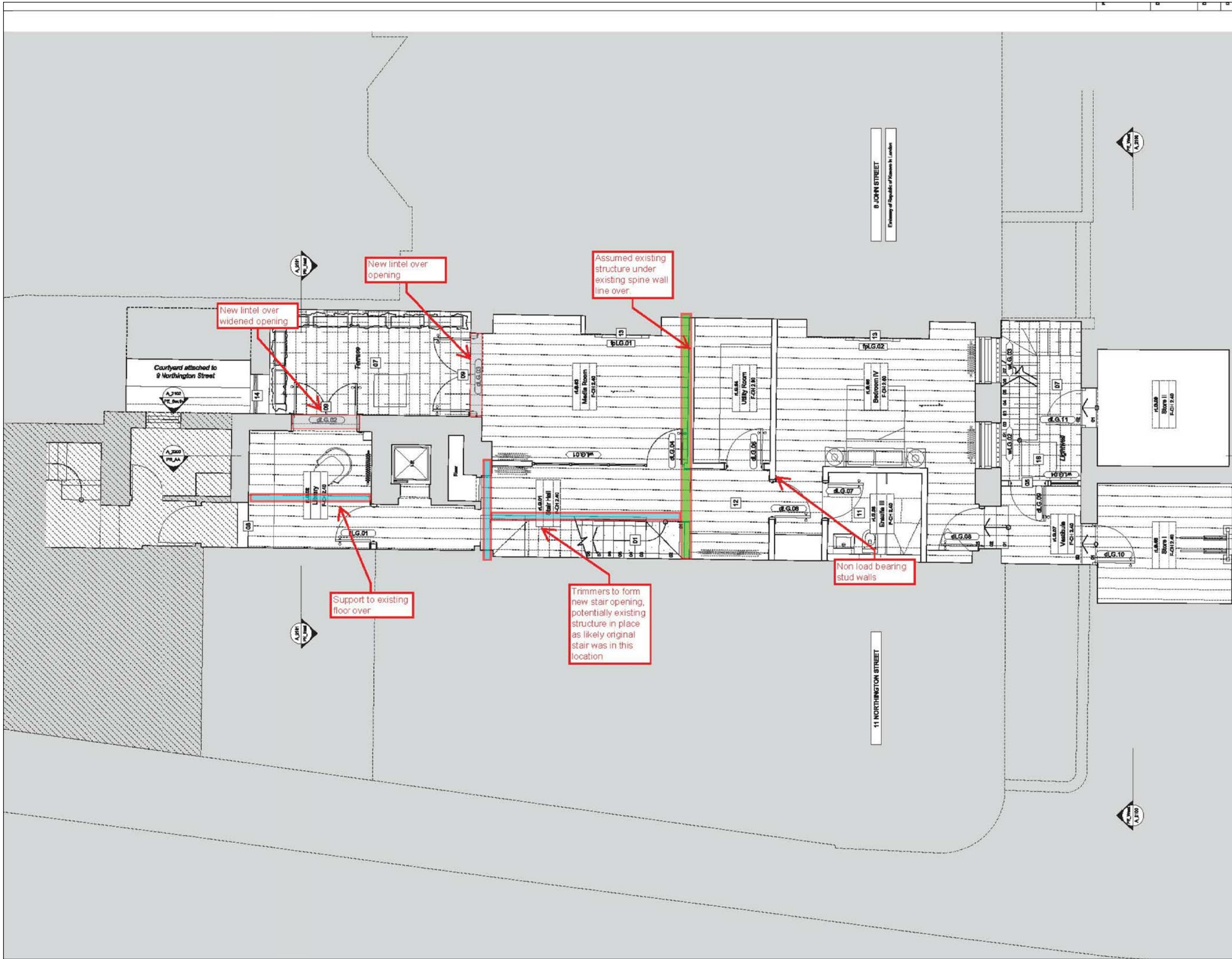
Should you have any further queries relating to our role in the works, please do not hesitate to contact me.

Regards

A handwritten signature in blue ink, appearing to read 'John Fitzpatrick', with a stylized, flowing script.

John Fitzpatrick **B (Struct) Eng, CEng, M.I.E.I., M.I.C.E**
Director Quantum Engineers

Appendix: A Sketches.



- Notes:
1. This drawing is to be read in conjunction with all relevant architects, engineers & specialist sub-contractors' drawings and the specification.
 2. Any discrepancies between the site conditions and these drawings to be reported to Quantum Engineer. Dimensions must not be scaled and should be checked on site.
 3. All dimensions are in millimetres, levels are in metres a.o.d. (above ordnance datum).

FOR PLANNING

Rev	Date	Description	By	Chk'd	App'd
A	08/04/24	ISSUED FOR INFORMATION	JGF	JGF	JGF
Rev	Date	Description	By	Chk'd	App'd
Project					

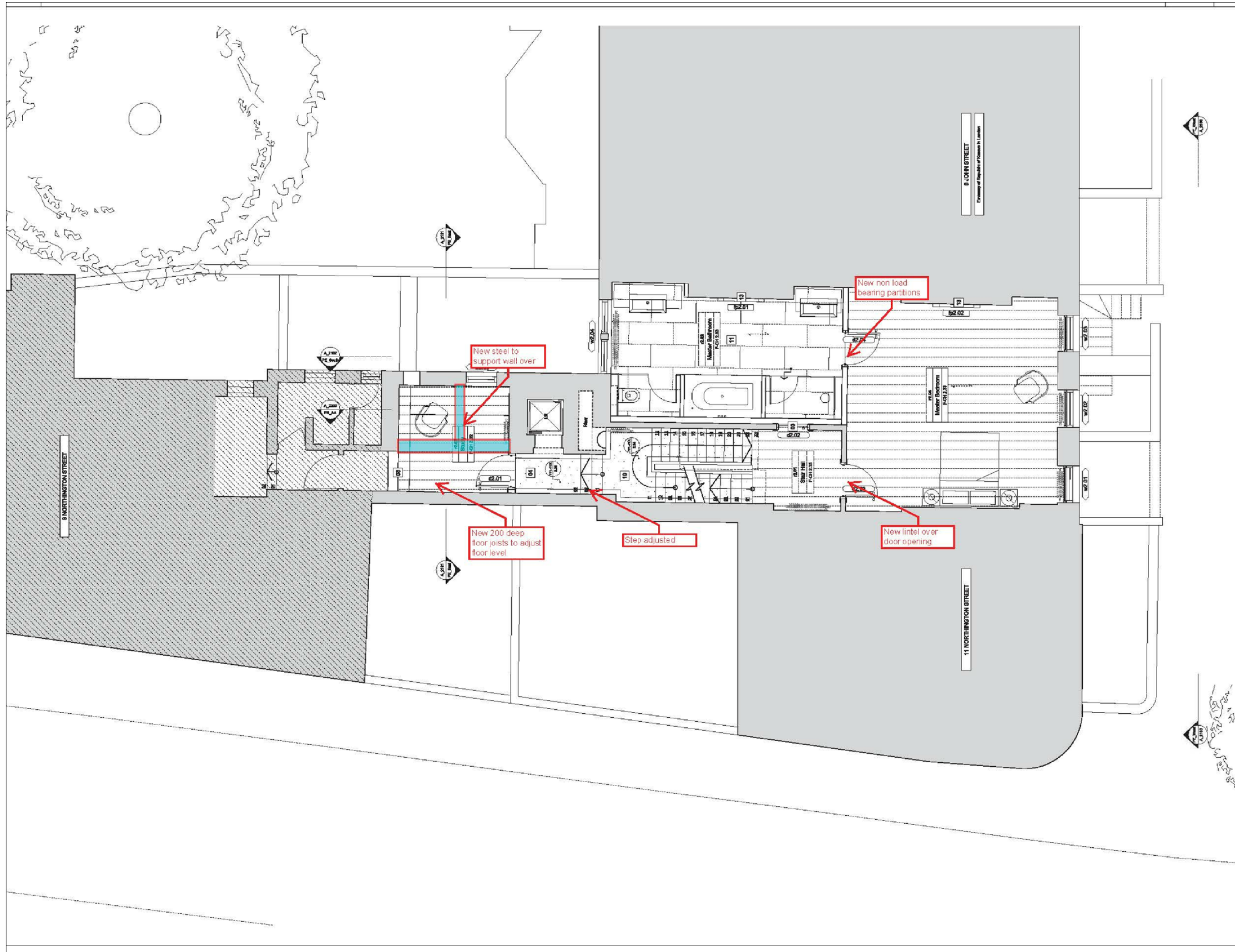
John Street
London
WC1N 2ES

PROPOSED LOWER GROUND FLOOR PLAN

C/A Threefold Architects



Scale	Drawn	Chk'd	Approved	Rev
(A1)	JGF	JGF	JGF	
AS SHOWN	04/08/24	04/08/24	04/08/24	
240408-	01	A		



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FOR PLANNING

Rev	Date	Description	By	Chk'd
A	08/04/24	ISSUED FOR INFORMATION	JGF	JGF

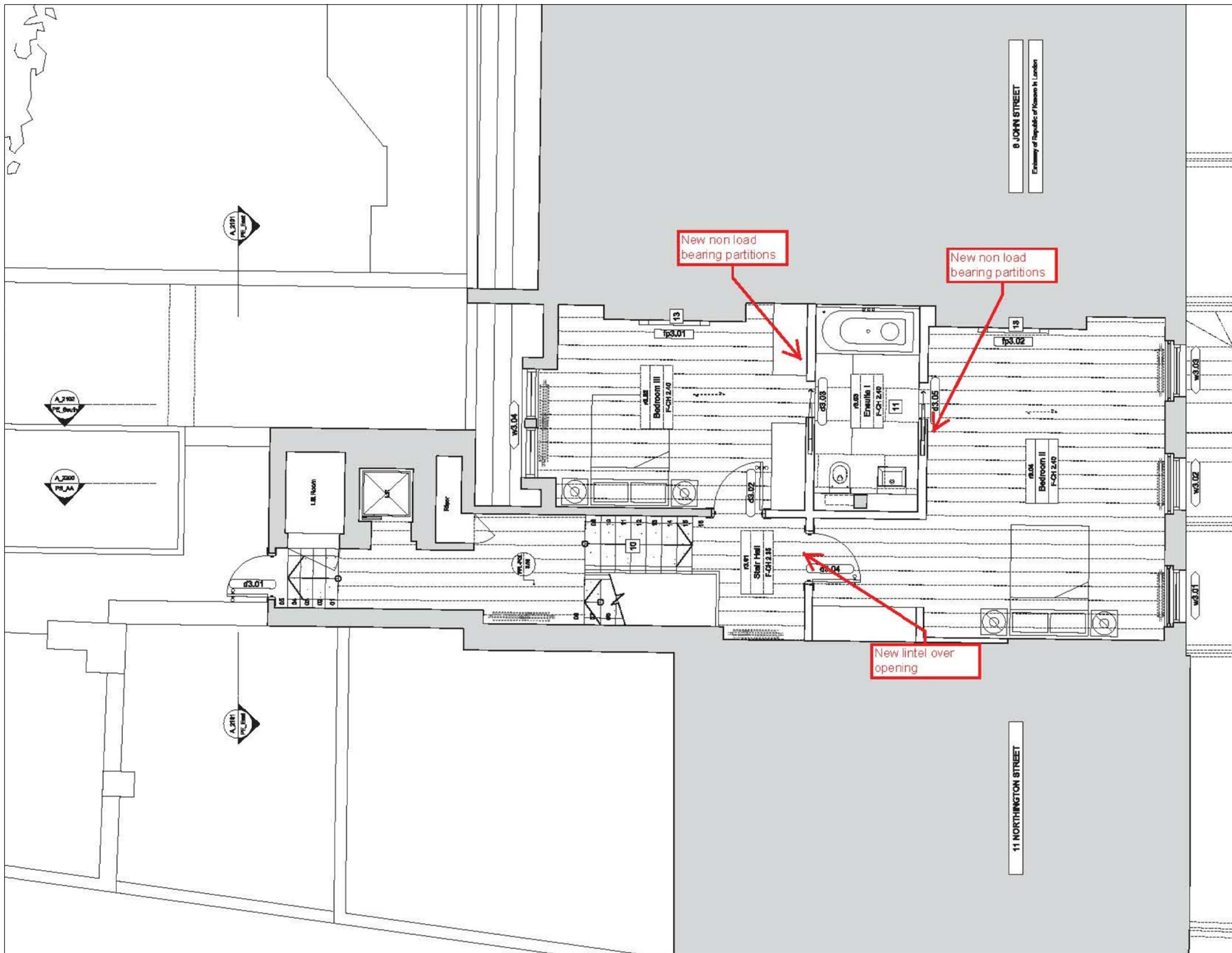
Project John Street
London
WC1N 2ES

Title PROPOSED SECOND FLOOR PLAN

C/A Threefold Architects



Scale	(A1)	AS SHOWN	Orig. No.	Rev.
Drawn	JGF	04/08/24	240408-	04
Chk'd	Eng	JGF	04/08/24	A
Approved	JGF	04/08/24		



- Notes:
1. This drawing is to be read in conjunction with all relevant architects, engineers & specialist sub-contractors drawings and the specification.
 2. Any discrepancies between the site conditions and these drawings to be reported to Quantum Engineer. Dimensions must not be scaled and should be checked on site.
 3. All dimensions are in millimetres, levels are in metres a.o.d. (above Ordnance datum).

FOR PLANNING

A		08/04/24	ISSUED FOR INFORMATION	JGF	JGF	JGF
Rev	Date	Description	by	ch'd	app	
Project						
John Street London WC1N 2ES						
Title						
PROPOSED THIRD FLOOR PLAN						
C/A						
Threefold Architects						
QUANTUM ENGINEER DESIGN IS IN THE DETAIL						
Scales (A1)		AS SHOWN		Fig. No.		Rev.
Drawn	JGF	04/08/24		240408-	05	A
Ch'd/Eng'd	JGF	04/08/24				
Approved	JGF	04/08/24				



Scales (A1)	AS SHOWN	Drg. No.	Rev.
Drawn JGF	04/08/24	240408- 06	A
Ch'd(Eng.)GF	04/08/24		
Approved JGF	04/08/24		

Appendix: B Photos.



