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DESIGN & ACCESS STATEMENT

Supporting the planning submission for
retrospective approval of a roof dormer at 3 Frognal Lane.

December 2024 – Rev P2

1.0 INTRODUCTION

1.1 The Project

This report has been prepared by Carbogno Architects on behalf of the client to accompany an application for the retrospective approval of the installation of a roof dormer at the property 3 Frognal Lane.

This statement should be read in conjunction with the following documents submitted as part of the application:

- 2406/S001: Ordnance Survey
- 2406/S101: Pre-existing Plans
- 2406/S201: Pre-existing Elevations and Detail
- 2406/P101: As Built Plans
- 2406/P201: As Built Elevations and Detail

2.0 CONTEXT

2.1 Site Surroundings

Numbers 1 and 3 Frognal Lane are situated close to the junction of Frognal Lane and Finchley Road, located between Frognal St Andrew's Church and the Bracknell Gate development of three residential blocks on the corner of the junction of Frognal Lane and Bracknell Gardens.

The immediate locality along Finchley Road, Frognal Lane, and Bracknell Gardens is dominated by low-rise development of Victorian mansion blocks of flats, 1930s mansion blocks of flats, 1930s flats above shops, more contemporary blocks of flats, and large dwelling houses. The dwelling houses along Frognal Lane appear to be Victorian, giving way to 1920s and 1930s development along Bracknell Gate.

Aerial imagery available online shows that many of the houses along Bracknell Gate have undergone development with roof alterations, including dormers, and rear extensions evident on many properties. Indeed, Nos. 1 and 3 Frognal Lane were created by the division of a single house.

The building constituting Nos. 1 and 3 is set back further from the road than many houses in the area, including the blocks forming Bracknell Gate which are four storeys tall (3 storeys plus mansard) on land that rises from Finchley Road. Tall brick walls are found on the boundary with Frognal Lane with large, mature trees behind and as a result the property cannot be seen from the road.

The property has undergone developments in the past including rear elevation changes at No.1 to the rear replacing a conservatory, plus a large almost full-width conservatory at No.3..

The orientation of the site means that Nos. 1 and 3 face roughly south with small gardens backing onto that of the houses along Bracknell Gardens. Mature, often large, trees and other planting line the boundaries on all sides.



Fig 2.1_Aerial view of the local area. Frognal St Andrews Church is the large building to the bottom centre of the image, with Nos. 1 and 3 Frognal Lane adjacent to the right. Bracknell Gate is the trio of blocks on the corner junction of Frognal Lane (running bottom centre of the image to the right) and Bracknell Gardens (running from the right to the top centre of the image). Finchley Road runs beside the church to the left of the image.

2.2 Historical Context

Neither Nos. 1 or 3 are nationally or locally listed, but the property is within the Redington / Frognal Conservation Area, as is the Frognal St Andrews Church on the adjacent site, which is Grade II listed.

The Redington / Frognal Conservation Area Character Appraisal and Management Plan (The Appraisal) describes the area as predominantly domestic residential developed in the late 19th and early 20th centuries, with buildings set out along informal, leafy lanes lined with now mature trees.

A variety of architectural styles are present, including contemporary development in places, however the Appraisal focuses on the contribution buildings and other elements of the public realm (such as gates and railings, post boxes, poor design, loss of front gardens, etc) make to the streetscapes.

Frognal Lane is appraised in chapter 4.10 but the consideration is brief and focussed on elements that affect the streetscape. Nos. 1 and 3 are not mentioned.

2.3 Planning Context and Design response to policies

From the Camden Local Plan, the development adheres to the following key policies as follows:

- **D1 Design:** The dormer design is of high quality and complements the existing architectural character of the property.

- **D2 Heritage:** The dormer is discreet and does not detract from the character or significance of the Redington and Frognal Conservation Area.
- **Policy A1 Managing the impact of development:**

As a subordinate addition to the building, and owing to the orientation of the main building, any potential adverse effects are avoided.

From the Redington and Frognal Conservation Area Appraisal and Management Strategy, the design respects the area's special architectural and historic interest through the following design considerations:

- **Scale and Proportion:** The dormer is subordinate to the volume of the main roof, thereby maintaining appropriate scale and proportion.
- **Materials:** Materials have been used that are in keeping with the existing building.
- **Visual Impact:** The dormer is in a location this is not visible from the street, and is only visible from a handful of properties, thus preserving the conservation area's roofscape.

2.4 Camden's Design CPG 2021

The as built dormer to the rear of 3 Frognal Lane is in line with the guidelines set in the Camden's Design CPG 2021. The proposed dormer responds positively to the existing context, integrating well with the character of the surrounding area. It has been designed with careful consideration of scale, massing, and height to respect adjoining buildings and the general pattern of heights in the vicinity.

Materials for the dormer are contextual, durable, and sustainable and relate to the character and appearance of the area, particularly in relation to the conservation area. The chosen materials should be robust and weather well, ensuring longevity and minimal maintenance. By adhering to these principles, the proposed dormer aims to enhance the property while respecting and not detracting from the local context and character of Frognal Lane.

2.4 Planning History of the property

The property has limited planning history. The only applications submitted in the recent years are associated to pruning work of trees.

Address	Reference	Date	Description
3 Frognal Lane London NW3 7DY	2023/0769/T	03.04.2023	REAR GARDEN: 1 x Apple (T2) - Reduce by about 20%, removing no more than 2m growth all round forming the tree into a rounded shape leaving appropriate growth points at the ends of branches. Reduce over-extended limb overhanging neighbour's garden by about 50%, 4m.
3 Frognal Lane London NW3 7DY	2023/0755/T	03.04.2023	FRONT GARDEN: 1 x Lime (T1) - Re-pollard back to its previous pruning points.
3 Frognal Lane London NW3 7DY	2003/0221/P	17.10.2003	The erection of a single storey rear conservatory extension

The adjacent property had works carried out under permitted development rights for the alteration of the rear elevation introducing several contemporary elements including big format glazing units as per application reference below.

Address	Reference	Date	Description
1 Frognal Lane London NW3 7DY	PWX0103377	14.05.2001	Certificate of lawfulness for Proposed development for: Demolition of rear conservatory addition and installation of patio doors at rear ground floor level, and alteration of windows at rear first floor level.

Several planning applications were granted permission for works associated to dormers in the proximity of the site. Some are listed below.

Address	Reference	Date	Description
38 Frogna Lane London NW3 6PP	2018/5502/P	13.12.2018	Two storey rear extensions, first floor side extensions, installation of three dormer windows to the front elevation and one to the rear elevation, conversion of garage into habitable use and alterations to openings.
44 Frogna Lane, London, NW3 6PP	2014/6999/P	14.11.2014	Alterations to include; Changes to the design of the two front elevation dormers; Installation of double rooflights and removal of two first floor windows; Alteration of the design of ground floor bay window; Kitchen and dining room to have to be leaded critall windows; Etc
8 Bracknell Gardens London NW3 7EB	2018/0166/P	11.10.2018	Roof extension to provide 1 x 1 bed flat including alteration to side roof dormer including 1 x rooflight; extend and infill roof valley with flat roof addition with 5 x rooflights; and installation of 2 x rooflights to both front and rear roofslopes.
21 Bracknell Gardens, London, NW3 7EE	2015/4643/P	05.10.2015	Enlargement of existing dormer window and insertion of flat roof light
4 Bracknell Gardens London NW3 7EB	2013/1473/P	29.05.2013	Extending existing side dormer window on south side roof slope of dwelling house (Class C3)

2.5 Physical context

The aerial views below illustrate that dormers are a common feature of the roof landscape along Frogna lane and Bracknell Gardens, both to the front and rear of these properties.

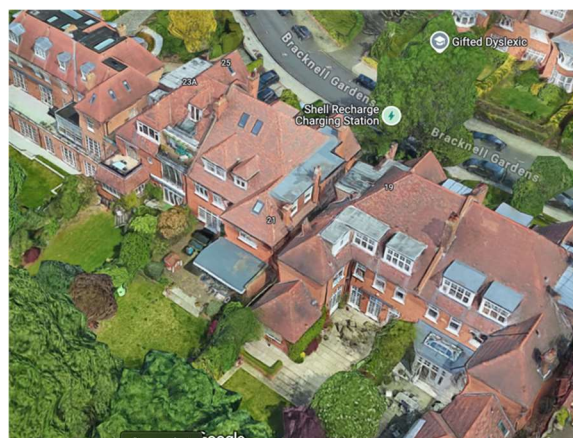


Fig 2.5 Aerial views of the local area showing similar dormers on nearby properties. Top left: Nos. 5 and 7 Bracknell Gardens, part of Bracknell Gate visible to the right of the image. Top right: 17 to 27 Bracknell Gate. Right: flats at 254 Finchley Road

3.0 PROPOSAL

A small dormer was added to the rear pitched roof of No.3 in 2022 as described in the drawings included with the application. The dormer features 3no. small windows each approximately 800x800mm, in white, with glazing bar-like elements added to the glass.

The dormer cheeks feature slate tiles to match the main roof, and the dormer roof has a slim, neat profile giving an overall effect of the dormer appearing somewhat flat.



Fig 3.0_Rear elevation view of the as built small dormer in context showing partially the rear of 1 Frogmal Lane and the works granted permission in 2021.

3.1 Design rationale

The dormer as installed is fully in keeping with the traditional and historical nature of the host building with materials chosen to reflect the existing roof plus windows and elements of the rear elevation. It is sized to be subordinate to the roof volume and that of the host building, and to be in keeping with dormers installed on properties along Finchley Road and Bracknell Gardens.

3.2 Detail design

The design and installation of the dormer was undertaken by others it has not been possible to confirm specifications. This statement thus considers only the external appearance.

3.3 Materials

The materials used to build the dormer are all matching the existing.

3.4 Assessment of relationship with neighbouring buildings and overlooking

The dormer is small and subordinate to the main building, which is oriented north north-west. From inside No.3, Bracknell Gate cannot be seen.

The rear of the properties at 5, 7 and 9 Bracknell Gate are visible but at a distance in excess of 18m. In addition, from No. 3 Froggnal Lane the two roads are angled acutely at approximately 50 degrees meaning occupants have a restricted view of the rear elevations of the other houses. The view of the gardens at Nos. 5 and 7 Bracknell Gate is severely restricted and obscured by mature planting and trees.

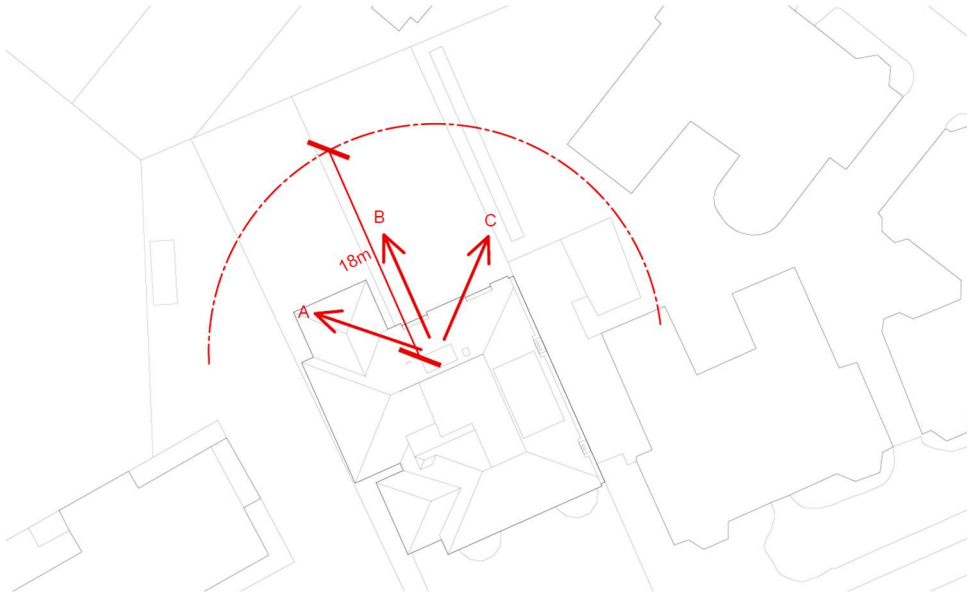


Fig 3.1_ Site plan / key showing 18m threshold from as built dormer.



Fig 3.2_ Views A, B and C from as built dormer window.

3.5 Heritage assessment of the proposal

The dormer is a minor addition to the property that is subordinate to the roof volume and that of the main building as a whole. The materials are in keeping with those of the main building and the roof, therefore the dormer appears as an appropriate addition.

In the immediate local area there are examples at a number of properties of similar size dormers, using materials that are in keeping with the main building. As such, precedent exists for such a development.

3.6 Impact on neighbouring amenity

Following from the description in Section 3.3, above, it is understood that there is no impact on the amenity of the neighbours at 5, 7 and 9 Bracknell Gardens – the only properties viewable from the dormer windows.

3.7 Access

Pedestrian and vehicle access to the property is unchanged.

3.7 Fire strategy

The fire strategy at the property is unchanged.

3.8 Bio-diversity Net Gain

The BNG is not applicable due to the scale of the project and because it is a retrospective application under section 73A of the 1990 TCPA.

5. SUSTAINABILITY

5.1 Thermal performance

For a minor addition to the property such as this, opportunities to improve sustainability are limited. Carbogno Architects understand that the dormer is insulated as well as possible and the windows are all double-glazed.

5.2 Cross ventilation

The new dormer enhances the possibility to have cross ventilation in the loft space hence minimizing overheating and any need for active cooling.

5.3 Natural light and wellbeing

Enhanced levels of natural light and view out on the garden landscape enhances the quality of life of the users of the property.

6. CONCLUSION

The application which this statement accompanies seeks retrospective approval for a roof dormer on the rear roof pitch of the building. The dormer is subordinate to the roof volume and to the main building and is constructed in materials that are in keeping with both.

In the immediate local area, all within the Redington / Frognal Conservation Area, several buildings feature similar dormers therefore precedent exists for this type of addition.

The dormer is discrete and not visible from the street and is only visible from a handful of properties to the rear of No.3, therefore it does not detract from the character of the local area nor from the amenity or privacy of occupants of neighbouring buildings.

The property at 1 Frognal Lane had works of contemporary nature carried out in 2001-02 as per certificate of lawfulness reference PWX0103377. The proposed dormer does not impose itself on the overall composition and balance of the rear elevation.

The dormer therefore meets local policies regarding design and heritage and Carbogno Architects trust that sufficient information is submitted with the application to demonstrate this. We seek to engage in a constructive manner with the planning process and will submit any additional information as required.