

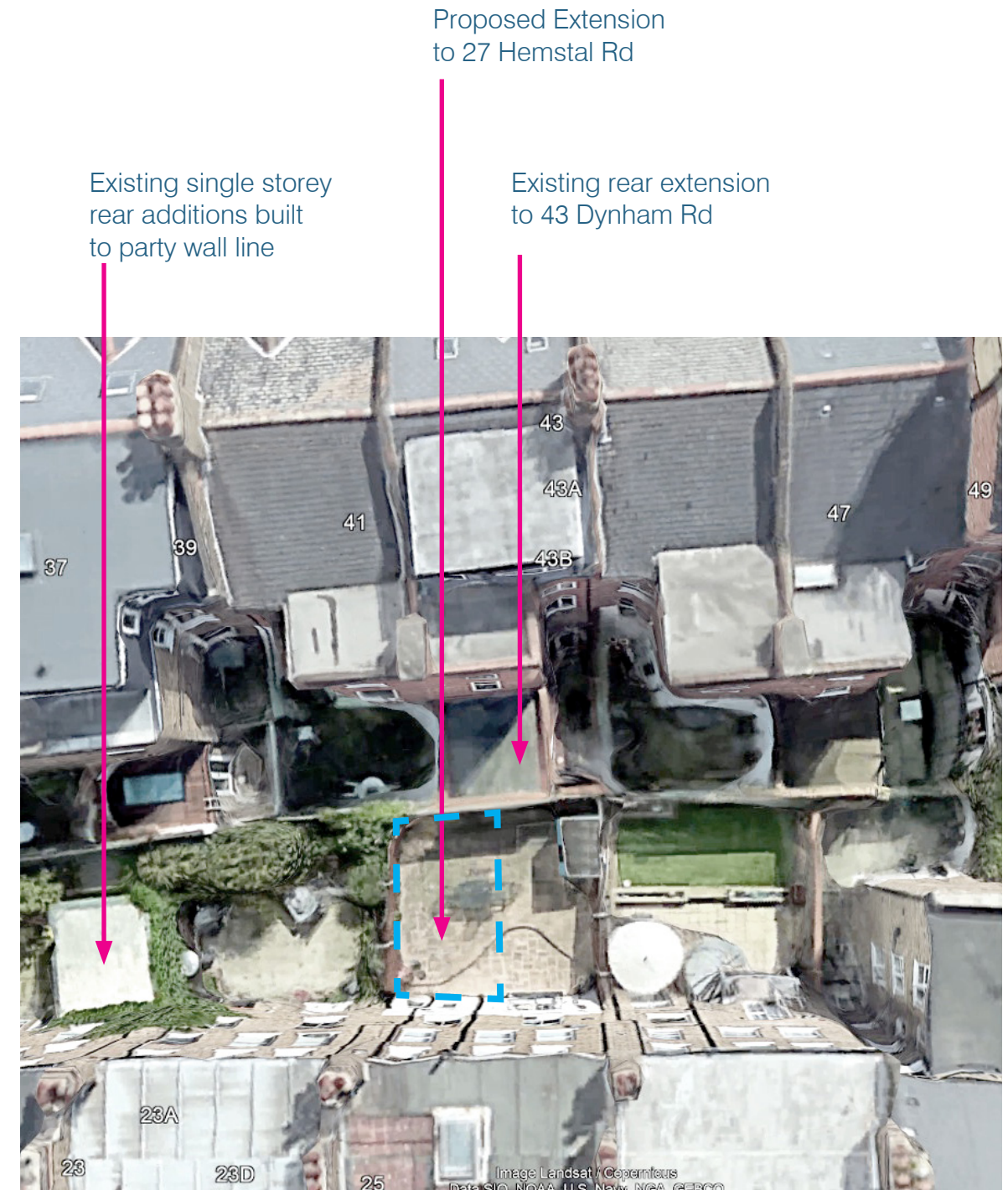
Design & Access Statement

Location & Adjacencies

- The proposal considers the context and the adjacent massing

Relevant History

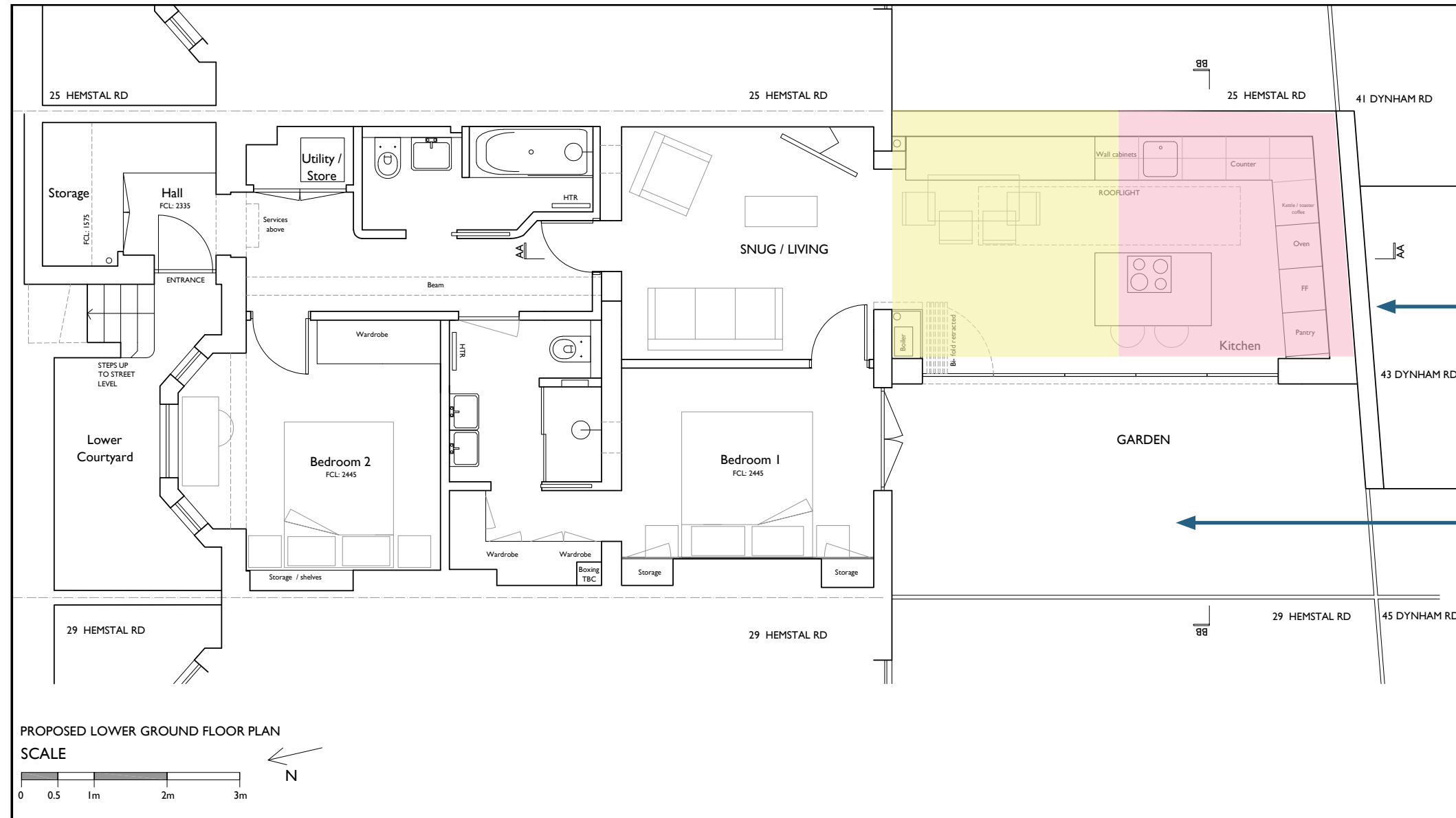
- Existing single storey rear additions built to party wall line to 23 Hemstal road.(14464)
- Existing rear extension to 43 Dynham Rd
- Existing rear extension to 11a Hemstal Rd (2021/3308/P)
- Existing three storey projection to 31 Hemstal Rd



Design & Access Statement

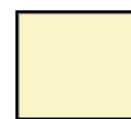
Scale & Massing

- Proposed Massing with consideration to permitted development rights (which would be applicable if the property was a house)



Rear extension to 43 Dynham Rd which extends to the rear boundary line and occupies circa two thirds of the external space

A good sized external amenity space remains



Proposed volume up to 3m high and 3m from the rear elevation would be permissible if the property was a house and Permitted Development Rights applied

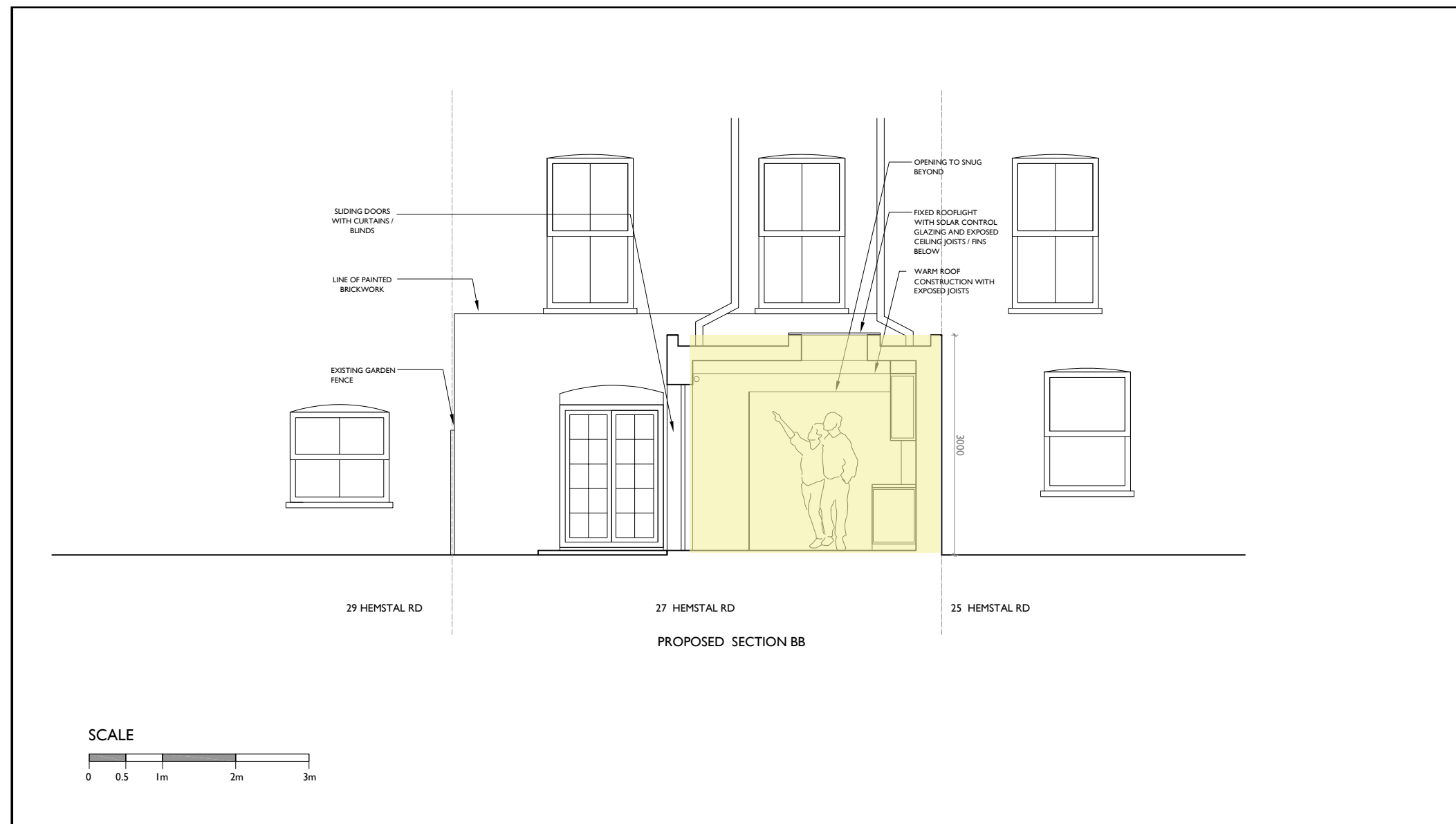



Proposed additional volume up to 3m high and 6m long from existing rear elevation which would be permissible if the property was a house and prior approval for a larger home extension applicable

Design & Access Statement

Scale & Massing

- Proposed Massing with consideration to permitted development rights (which would be applicable if the property was a house)



 Proposed volume up to 3m high which would be permissible if the property was a house and Permitted Development Rights applied

Design & Access Statement

Site Photo



Rear extension
to 43 Dynham Rd

Patio doors to remain

New opening between
proposed extension
and existing property