

Heritage Statement

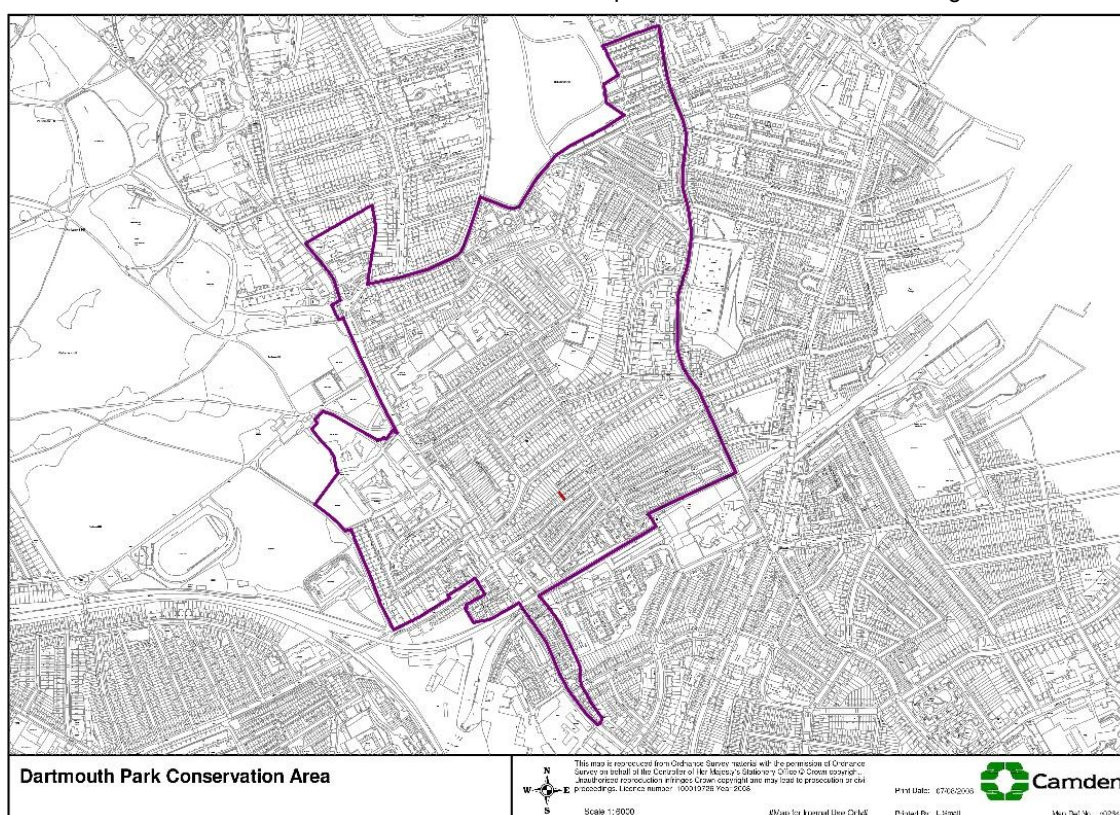
Conservation Area Consent

Gr fl flat, 37 Chetwynd Road
London NW5 1BX

This proposal is for the rear extension to the ground floor flat at number 37 Chetwynd Road. The site is in the Dartmouth Park Conservation Area and therefore this statement will consider the proposal in terms of its possible impact on the application property, the rear elevation on Chetwynd Road and the wider locality as part of a conservation area setting, in the context of national and local planning policy, together with Camden's Dartmouth Park Conservation Area Appraisal and Management Statement Adopted 22 January 2009

Dartmouth Park Conservation Area

The conservation area was redesignated in 2009 in order to maintain the special and historical character of the area. (first designated in 1992) Chetwynd Road is not listed nor does it have any specific listed building along it. The zone of the conservation area can be seen in the map below with the red dot showing the site location.



The points of notable interest about Chetwynd road are as follows :

7.46 Chetwynd Road (east): Rising to the east and beyond the shopfronts at York Rise there is a steep climb to the crest of the hill. This section is unique in the conservation area for its diverse range of house styles varying in size and scale.

7.48 The gaps on both sides of the road between buildings give important glimpses of rear gardens and break up the densely developed built form of the street.

7.49 The eastern end has front garden areas on both sides that become narrower as the road descends. Low walls form the front boundary, staggered downhill with a variety of treatments and materials echoing the houses behind.

The only specific reference to the site is in the Appendix 2 – Buildings that make a positive contribution include :

Chetwynd Road : 1-5 Chetwynd Villas, 1-67 (odd), 69-119 (odd), 2-62 (even), 64-114 (even)

History of the Area

The conservation area has variety of domestic architecture from the late 18th century to the present day. Late 18th century terraces contrast with contemporary housing estates; tiny cottages, large mansion blocks and Victorian villas, all exist together in Dartmouth Park. For the most part groups of similar houses correspond to speculative developments. The area is known for its semi rural feel, with the numerous trees in private gardens. It is an area of housing and is a part of Camden where there is little public open space. Despite this, the area's close proximity to heath and hills contributes a sense of greenness, with glimpses of open land beyond.

"In the 1860s Lord Dartmouth developed land behind Grove Terrace to create Dartmouth Park Road and provide good quality houses set within spacious gardens that included landscaped layouts and street trees to give a semi-rural appearance. The 1874 O.S. map shows the western end of Dartmouth Park Road (then Dartmouth Road) and Boscastle Road (then Grove Road) had been built up. Land off Dartmouth Park Hill (Maiden Lane) and east of York Rise was acquired by Lord Ingestre (family name, Chetwynd) and Lord Alfred Spencer Churchill in the 1850s from Lord Dartmouth for the Conservative Land Society. Churchill, Spencer and Chetwynd Roads were laid out by them (shown on 1874 OS). The boundary of their land was the north side of Chetwynd Road, designed for middle-class housing, while the roads further south were essentially artisan."

Relevant planning policies

The NPPF (2021) states that "Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities", with the proposal purposefully designed to meet the objectives of paragraph 130, which requires developments to function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; whilst being visually attractive as a result of good architecture, layout and appropriate and effective landscaping, and sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change.

These aims are supported by Policy HC1 of the London Plan (2021) which states in Part C that "Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings."

The proposal has engaged with ensuring that the design has been considered as high quality, preserving the rhythm of the rear facades, being subordinate to the scale of the rear elevations and creating a positive new addition to this property.

In the Camden Planning Guidance (2006) rear extensions are described within the conservation area as having many interesting examples of historic rear elevations, many of which are exposed to public views from the surrounding streets. The original historic pattern of rear elevations within a street or group of buildings is an integral part of the character of the area and as such rear extensions will not be acceptable where they would diverge significantly from the historic pattern. See below the diversity at ground level of the rear elevations and types of outrigger. This property is one of the last to be extended to the rear ground floor. There does not appear to be anything of significant historic interest to this rear façade or the adjacent ones to be considered. The outrigger building was built later than the existing building and is not the same scale or depth and the one adjacent to it either.



(aerial map photo of rear elevations to Chetwynd road – site highlighted in red)

In the Camden Local Plan 2017, Design section 7.2, the policy D1 design states that ' Alterations and extensions to existing buildings, to be of the highest standard of design and will expect developments to consider the character, setting, context and the form and scale of neighbouring buildings; the character and proportions of the existing building. Where alterations and extensions are proposed; the prevailing pattern, density and scale of surrounding development; the impact on existing rhythms, symmetries and uniformities in the townscape; the composition of elevations; the suitability of the proposed design to its intended use; inclusive design and accessibility; and the wider historic environment and buildings, spaces and features of local historic value.

Please read the above statement in relation to the points made in the Design and Access statement which note the architectural quality of scale and materiality of the proposal. See below the plan view of the rear elevations showing the line of the project of the rear extensions. There is some kind of rhythm that has been followed with this proposal but there is no complete consistency to the rear elevations at present.



(aerial photo from google earth – red outline is the site, blue outline indicated the new and existing projection depths to the rear of the properties, the green outline shows rear conservatories present.

Sustainability

On a more general level in point 7.1 of the Camden Local plan, it states that developments are to be sustainable in design and construction, incorporating best practice in resource management and climate change mitigation and adaptation. In point 7.3 The Council will welcome high quality contemporary design which responds to its context. Point 7.10 states that schemes should incorporate materials of a high quality. The durability and visual attractiveness of materials will be carefully considered along with their texture, colour, tone and compatibility with existing materials. Alterations and extensions should be carried out in materials that match the original or neighbouring buildings, or, where appropriate, in materials that complement or enhance a building or area.

The other important area is health and in 7.11 it states that the way the area is designed and managed can have a significant impact on people's quality of life, health and wellbeing - access to open space and nature.

It states how important it is to preserve natural habitats including in private gardens.

These points are restated in Camden Planning Guidance 2021, Home Improvements, 2.1.1 rear extensions.

Additional points include considering the installation of green roofs/ walls and/or solar panels. Biodiverse green roofs with a substrate depth of 100mm are preferred rather than sedum roofs, as they provide a greater biodiversity value.

The above points are all aspects that have been incorporated to this design – refer to the Design and access statement for more detail.

Daylight

There are warnings to Respect and duly consider the amenity of adjacent occupiers with regard to daylight, sunlight, outlook, light pollution/ spillage, and privacy.

The new area of extension brings with it two areas of potential light spillage from roof glazed areas – the one to the rear of the property infilled with no 35, and the proposed conservatory. The rooflight could be seen as light spillage to the flat above, but actually is no different to the patio lighting that currently exists within this area. If anything, the light levels will be lower as this would be a smaller area of light exposure, and the light source would be directed downwards. The conservatory is positioned beyond the outrigger. There is only a bathroom window to the 1st floor and as such the conservatory would not result in any light pollution to the living accommodation to the flat above.

There does not appear to be any windows to the ground floor of no 39 which would be impacted by the extension. There is currently quite a tall large garden shed positioned on the boundary fence within no 39 garden which blocks any visibility into the neighbour's side. The new proposed conservatory slopes down and as such the height is considerate to the neighbour and lower than both the adjacent extensions. Any new conservatory extension would not result in any further loss of light to the adjacent property. The amount of enclosure is less than the enclosure resulted from the planning permission granted to no 35 onto no 37's property. This extension has been considered very carefully to ensure that this compliments and fits in with both adjacent properties currently constructed extensions with no lack of amenity to either property or flats above.