

## Heritage Statement

For

**7 St Georges Terrace  
London  
NW1 8XH**

On behalf of

**Clarion Housing Association**

Prepared by

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## 1 Introduction

This heritage statement has been prepared in support of an application to carry out a variety of works to 7 St Georges Terrace.

### 1.1 Nature of proposal

Central heating and hot water installation to Flat D  
 Bathroom adaptation to Flat D  
 Mechanical ventilation to Flat D  
 Flat entrance door replacement to Flats B, C, and D  
 Renewal of the asphalt covering to the front elevation access steps

### 1.2 Designation records for the asset

This building is Grade II and listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest, list entry number 1245862 for numbers 1-11 and attached railings.

### 1.3 References in the local Historic Environment Record

7 St Georges Terrace is listed in the local environment record:

Terrace of 11 houses c1852. Pale yellow stock brick with channelled stucco ground floors and quoins and dressings. 3 storeys and basements. Nos 3 & 9 slightly recessed and originally of 2 storeys.

*Camden Historic Environment Records*

### 1.4 Planning history

The proposals do not form part of a previous planning application. There are six previous planning applications for 7 St George's Terrace:

28/09/1972-Conversion of dwelling at 7 St. George's Terrace, N.W.1 into 5 self-contained units incorporating installation of new front and rear dormer windows and alterations to roof structure at rear (Conditional)

25/11/2021-External alterations including refurbishment of all windows, existing painted surfaces to be redecorated including railings and front door, installation of a door entry system and roof repairs using like-for-like materials (Granted)

25/11/2021-Internal and external alterations including. refurbishment of windows, painted surfaces to be redecorated including railings and front door, redecoration of internal communal areas with fire safety paint and new floor coverings, installation of a door entry system and roof repairs using matching materials (Granted)

23/03/2023-Overlay flat roof coverings with felt overlay system. Renew carpets to communal areas (Granted)

05/11/2024-Erection of a single storey rear extension (Registered)

05/11/2024-Erection of a single storey rear extension and internal alterations (Registered)

## 1.5 Consultation undertaken

The following publications were reviewed:

- Primrose Hill Conservation Area appraisal – *Camden Council*
- Heating Systems for Historic Buildings – *Historic England*
- Installing New Services – *Historic England*
- Tackling Condensation – *Building Research Establishment*
- Investigation of moisture and its effects on traditional buildings – *Historic England*

## 2 The heritage asset and its significance

### 2.1 The form and history of the heritage asset

St. George's Terrace is a listed group of 11 terrace houses that front onto St. George's Terrace Gardens and Primrose Hill. These properties are originally five storeys high (many now with an added 6th storey) with raised ground floors and basements with lightwells surrounded by ornate railings.

The terrace is of symmetrical composition that is stepped in accordance with the slope of the land and has two mid terrace properties recessed to the main elevation. The buildings are constructed in London yellow stock brick with tripartite windows to each floor and highly decorative stucco work to porches, balustrades at first and second floor levels, window surrounds, and parapets. Projecting quoins frame the row of properties between 4 and 9, within which number 7 lies.

### 2.2 Architectural and historical interest of the heritage asset

Brick is the predominant building material used across the Conservation Area as it was the cheapest locally available material. London yellow stock brick is seen in some of the earlier brick-built developments of the Tudor and Georgian period, whereas London stock was used from circa 1800.

Brick, stone and stucco are all used as contrasting detailing in the articulation of frontages within the Conservation Area. The use of stucco is seen more commonly in buildings dating from the early 18th century, initially at ground floor level to mimic rusticated stone, and from the 1820s over entire facades of a classical design.

## 3 Impact on the significance

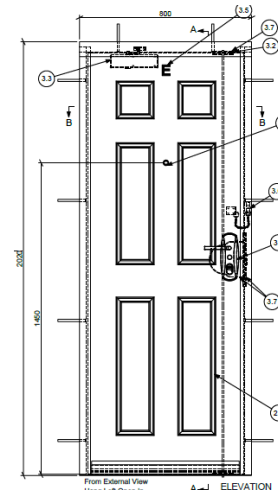
Insufficient heating and ventilation are contributing to damp within the property. Installation of a suitable heating system and ventilation system are required to prevent the occurrence of damp, and reduce the risk of damp affecting the fabric of this heritage asset. Security and fire risks are presented by the poor condition of flat entrance doors.

Externally, the proposed works necessitate the installation of a flue for the boiler, and a vent for the mechanical ventilation system. These items will be accommodated to the rear elevation of the property, and will not be visible from the street. They will be installed through drilled holes avoiding impact to the wall. Should damage occur this will be made good by using matching second hand stock bricks.

Internally, there is nothing that is of historical significance to be affected by the works:

The existing flat front entrance doors are a modern installation.

The design of the proposed flat entrance doors are of an appropriate appearance for a Victorian property.



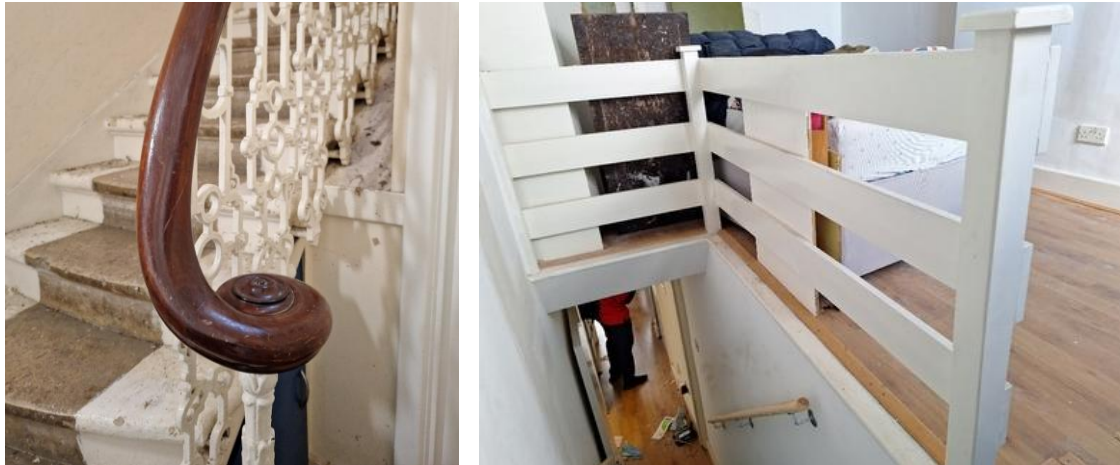
The removal of water tanks from the bedroom and the replacement of bathroom fittings does not require the removal of any items that were original to the property.

All items that are to be removed during the works are modern installations.

The proposed works to renew the asphalt covering will not alter the appearance of the property.

**4 Avoid harmful impacts**

Original features remain in the communal area, and these will be unaffected by the works. Within Flat D all original features have been lost in the conversion, no original covings, skirtings or architraves remain. The images below show the original balustrade to the communal area, and the modern balustrade installation within Flat D:



**5 Justification of harmful impacts**

The works are required for safety and modern occupation by a less able person.

