

BASEMENT VENTILATION COVER LETTER

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## 1.1 INTRODUCTION

This application seeks Planning Permission and Listed Building Consent for the removal of a small section of pavement lights at street level on Tonbridge Walk, behind a low wall and inaccessible to public, and the subsequent erection of an external wall at basement. The proposals are associated with works granted under approval of LBC application reference 2024/0464/L dated 21.05.24 for Camden Town Hall's Camden Centre demise.

## 1.2 STATEMENT OF NEED

Under the approved scheme, the Camden Centre is being refurbished and upgraded to become a world class events venue with associated MEP services installed.

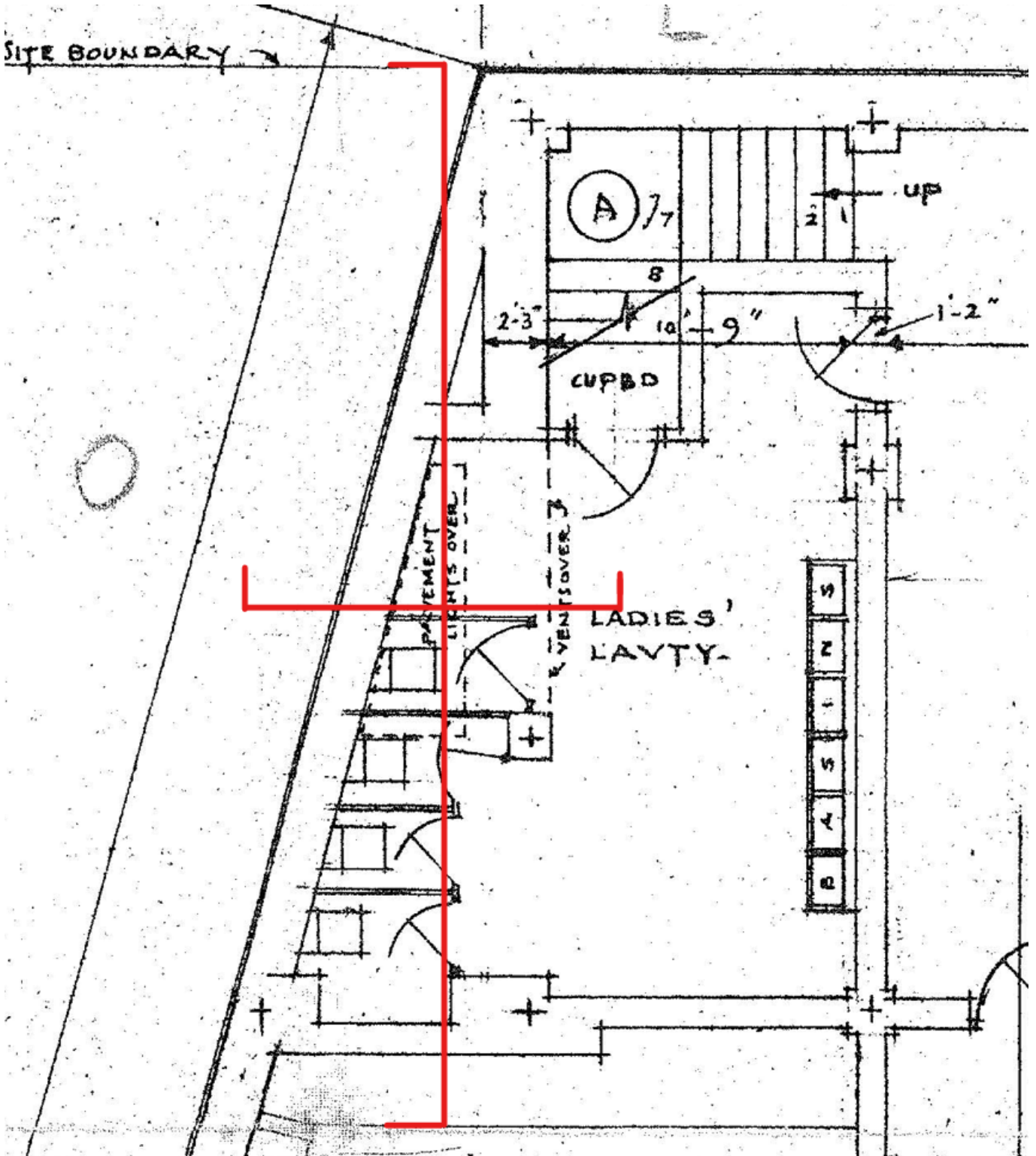
During the development of the scheme, the introduction of expanded ventilation plant work has caused need for ductwork to terminate at fresh air. During the previous phase of works under applications 2019/2238/P and 2019/2257/L, this principle was agreed through introduction at plenums that rise from basement to street level for fresh air intake and return air exhaust. Given the sensitivity of the spaces at ground and first floor, plant serving the Camden Centre is located almost entirely within the basement as it has always been historically.

This particular application is for the exhaust from the kitchen supply fan to separate clean intake air and used return air. The location of the works required is B.24 which is a bin store under the current consented scheme

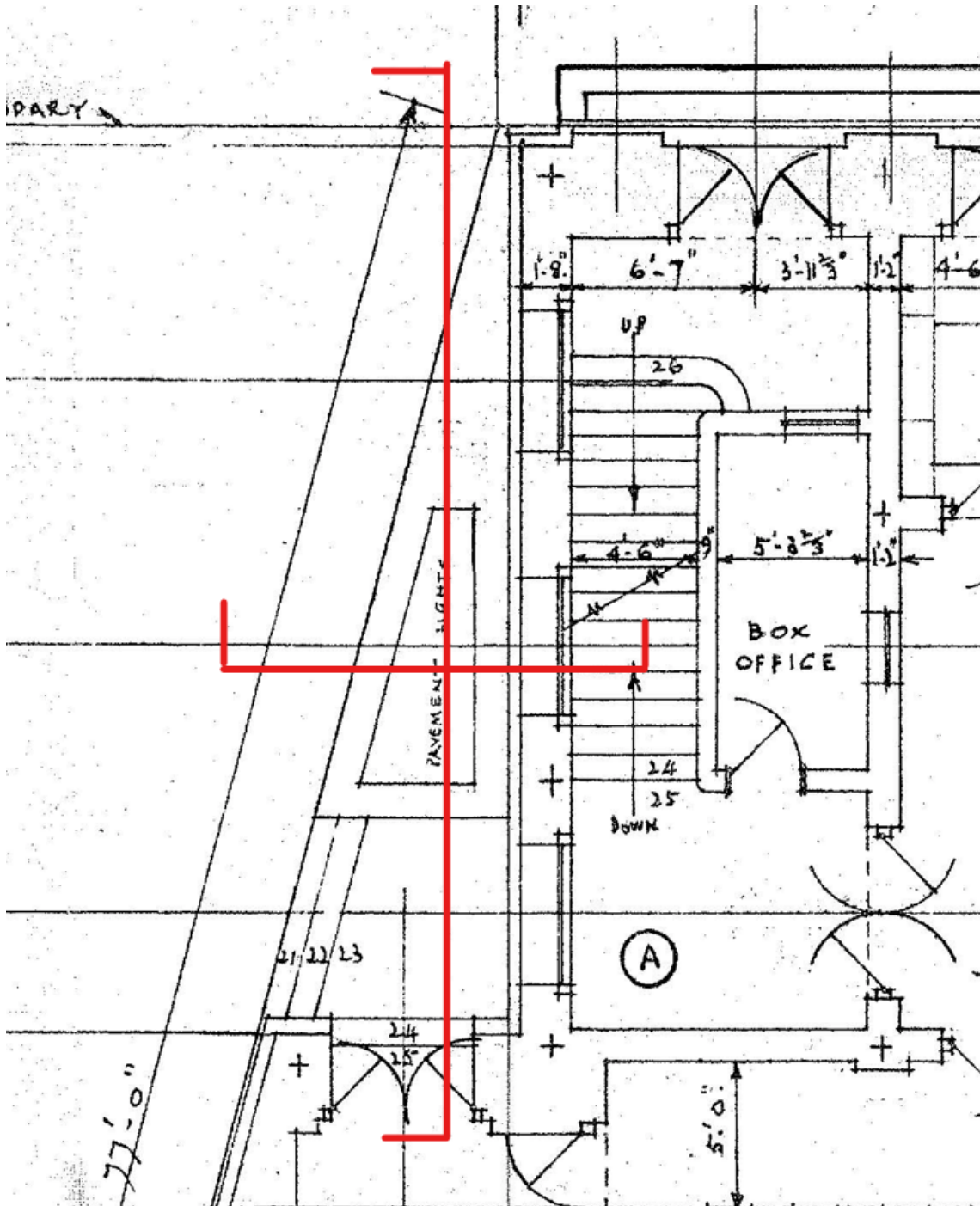
1.3 HISTORIC CONDITION

B.24 was originally WCs prior to the 2019 consented schemes. Ventilation from these WCs was through an opening in the slab that directed air out onto street level above a section of pavement lights as shown in the original hand drawn section below taken from the archives. A cross section and basement and ground floor plans has been included to help locate the opening.

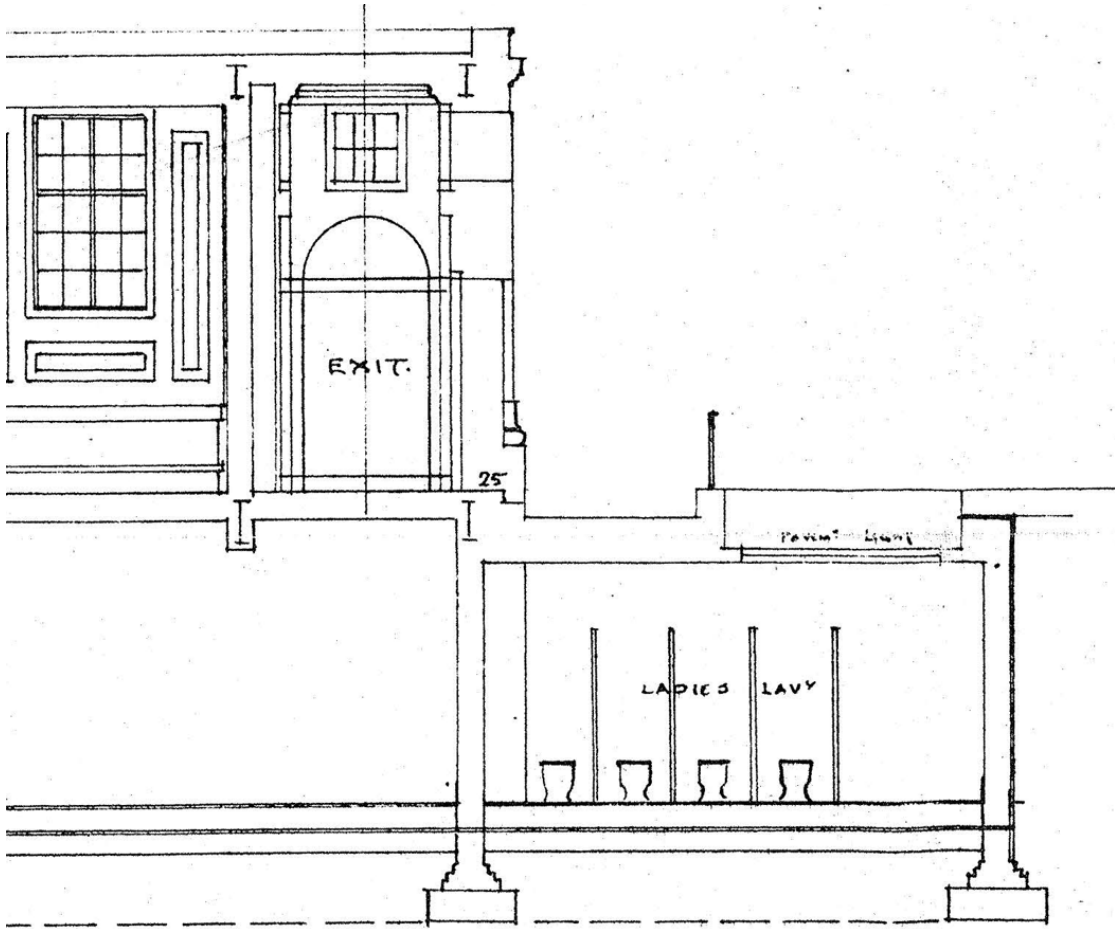
Basement Plan showing 'pavement lights over' and 'vents over'



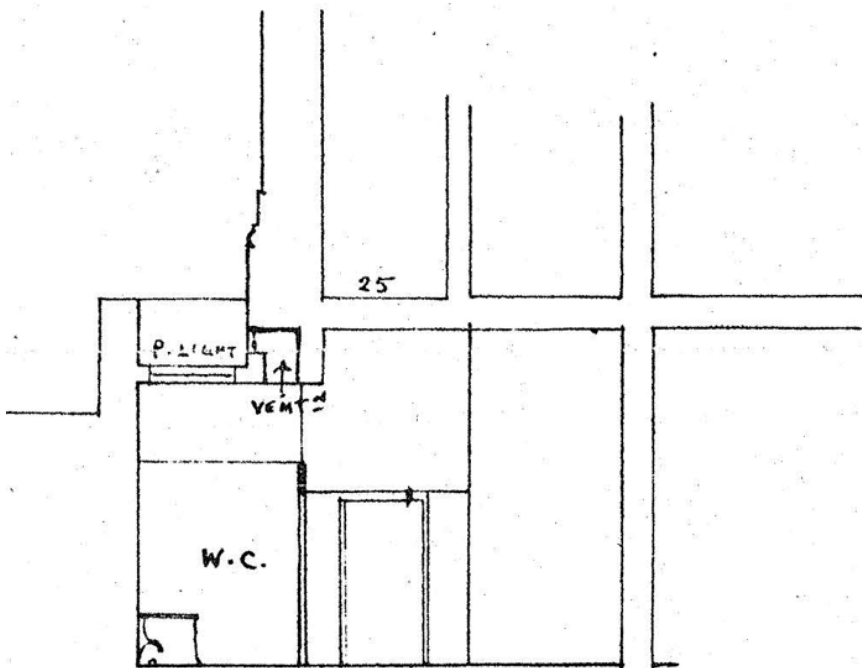
Ground Floor Plan showing location of pavement lights at street level



Long Section through pavement light



Cross Section





1.4 CURRENT CONDITION

Photos of the corner of Tonbridge Walk and Bidborough Street showing the low wall, railings and metal grating. The pavement light slab below is only visible from within the railings. The grating will be retained



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Photos from within the Bin Store B.24 looking up at the pavement light slab to be removed.



## 1.5 PROPOSALS

The proposal is to remove the existing pavement light slab below the metal gratings and then make the area below this external through the building of an insulated rendered blockwork wall at basement. Ductwork would terminate at louvered panels in both the existing stone wall below the metal grating and in the new blockwork wall. As the works are contained below the existing grating which is behind metal railings on top of a stone plinth wall, the proposals would not impact views of the building. This area was always designated as a route to ventilate the basement and the proposals will mirror the current form which has an external ventilation plenum below the metal grating on the Tonbridge Walk/Euston Road corner.

Please refer to the following drawings for further details of the proposals:

- Demolition and Proposed section/elevation: 242931-PUR-01-ZZ-DR-A-2014
- Detailed plan and section: 242931-PUR-01-B1-DR-A-6050