

London Borough of Camden
Planning Department
(submission via the planning portal)

12/12/2024

Dear Sir or Madam,

Re: P00901– Flat 1, 18 Platts Lane, London NW3 7NS

On behalf of the applicant, please find enclosed a planning application for the following development at Flat 1, 18 Platts Lane, London NW3 7NS.

‘Construction of a single-storey front extension at ground floor level’

The application is accompanied by the following:

- Site location plan
- Planning, Design and Access Statement (this covering letter)
- Heritage Statement by Aurora Heritage Planning
- Arboricultural Impact Assessment by Greenwood
- Existing elevations and ground floor plan
- Proposed elevations and ground floor plan
- Block Plan
- Payment of the Council’s planning application fee
- Completed planning application form
- Completed Community Infrastructure Levy (CIL) form

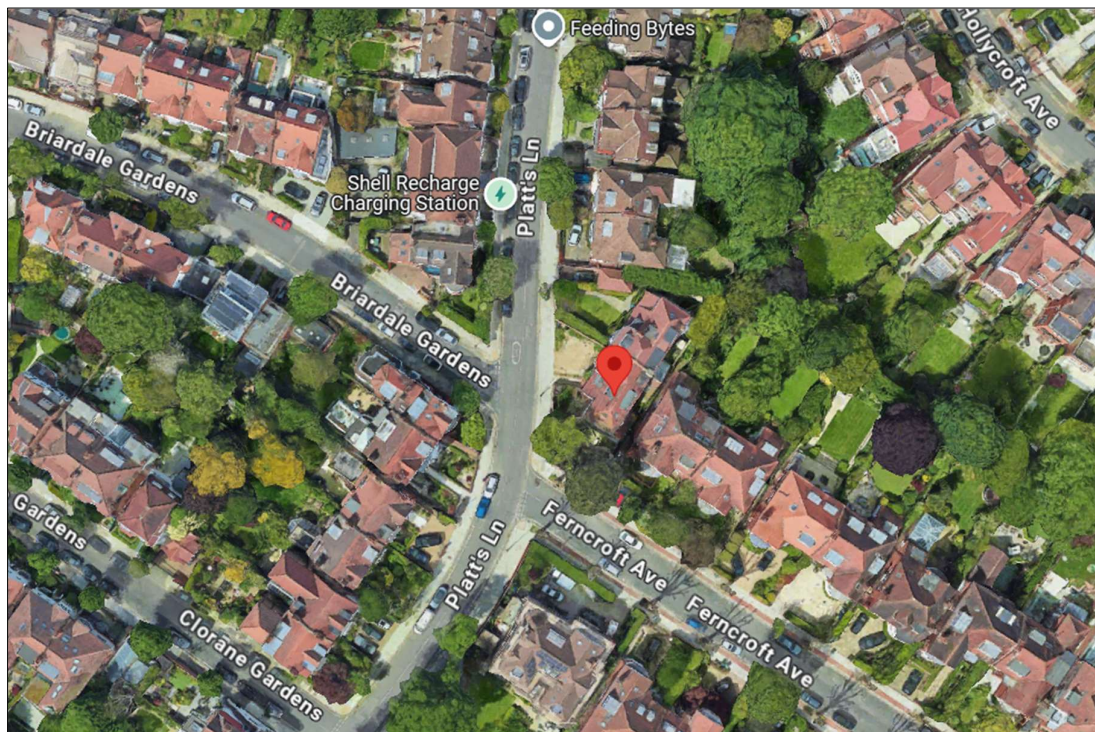
Site and Surroundings

The application site comprises a semi-detached three-storey property located on the east side of Platt’s Lane at the junction with Ferncroft Avenue in the London Borough of Camden. The building has been converted into flats and the application site involves a ground floor flat, known as Flat 1. The building occupies a broadly square footprint on a roughly triangular shaped plot. It is brick built and has a slate pitched roof. It has a driveway to the front and a garden to the front and side. The building is accessible to vehicles and pedestrians via Platt’s Lane to the west.

A site location plan, aerial photograph a site photograph is provided below.



Site location plan



Aerial photograph (Source: Google maps)



Front elevation of dwellinghouse (Source: Google streetview)

In terms of its surroundings, the site is paired with a semi-detached residential property (20 Platt's Lane) to the north and lies adjacent to a further residential property to the east (2 Ferncroft Avenue). Further dwellinghouses on Ferncroft Road and Platt's Lane are located opposite the site to the south and west respectively.

The site is within the Redington Frogmal Conservation Area and is not listed. The closest listed buildings to the site comprise some properties to the south, and therefore are not within the immediate vicinity.

Planning History

The site has the following relevant planning history according to the Council's website. The history includes other tree applications however these are not considered relevant to the determination of the current proposal.

- **2018/3995/INVALID** - Basement extension to create 1x2bed flat. Withdrawn. No public documents available.
- **2023/5413/P** - Erection of single storey rear extension, replacement of existing windows with double glazed casement windows, and changes to boundary treatment including landscaping. Approved 21 October 2024.

Planning Policy Context

Section 38(6) of the Planning and Compulsory Purchase Act (2004) requires that proposals should be determined in accordance with the Development Plan unless material considerations indicate otherwise.

The Development Plan consists of the London Plan (2021), the Camden Local Plan (2017) and the Redington Frognal Neighbourhood Plan (2021). The relevant policies in the Development Plan are set out below.

London Plan (2021)

- Policy D3 Optimising site capacity through the design-led approach
- Policy D4 Delivering good design
- Policy D5 Inclusive design
- Policy HC1 Heritage conservation and growth

Camden Local Plan (2017)

- A2 Open space
- A4 Noise and Vibration
- A3 Biodiversity
- D1 Design
- D2 Heritage

Redington Frognal Neighbourhood Plan (2021)

- SD1 Refurbishment of Existing Building Stock
- SD2 Redington Frognal Conservation Area
- SD4 Redington Frognal Character
- SD5 Dwellings: Extensions and Garden Development

The following Supplementary Planning Documents (SPD) and guidance are also relevant:

- National Planning Policy Framework (NPPF)
- National Planning Policy Guidance (NPPG)
- Camden Planning Guidance - Design (2019)
- Camden Planning Guidance - Amenity (2018)
- Camden Planning Guidance - Home Improvements (2021)
- Redington Frognal Conservation Area Character Appraisal and Management Plan (December 2022)

Emerging Local Plan Policy

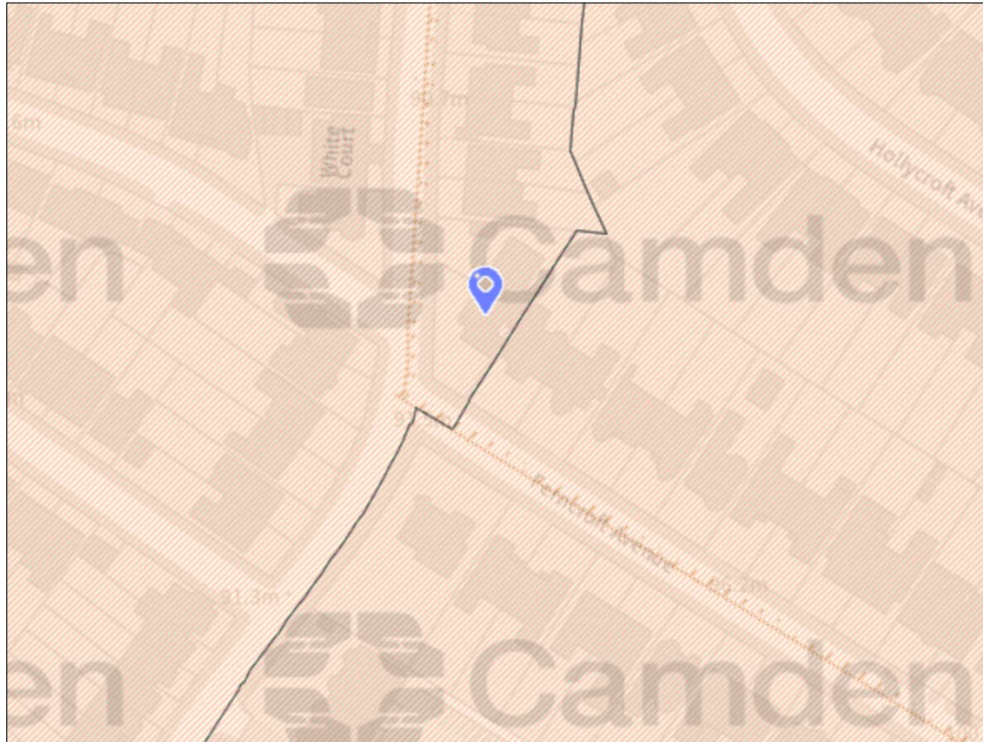
The Council is currently preparing a new Draft Camden Local Plan. The draft local plan is a material consideration and can be considered in the determination of planning applications however it has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated Summer 2026 according to the Council's latest Local Development Scheme which sets out the timescale for the adoption of the new Local Plan).

Planning Designations

According to the Council's adopted Policies Map (see map extract below), the site has the following designation:

- Within the 'Redington Frogmal Conservation Area'

According to the Council's Redington Frogmal Conservation Area Guidance, the building at the application site is a '**positive contributor**' to the Conservation Area.



Extract from the Council's adopted Policies Map

The site is in Flood Zone 1 (area of low flood risk) according to the government's flood maps for planning.

The Development

The application seeks full planning permission for:

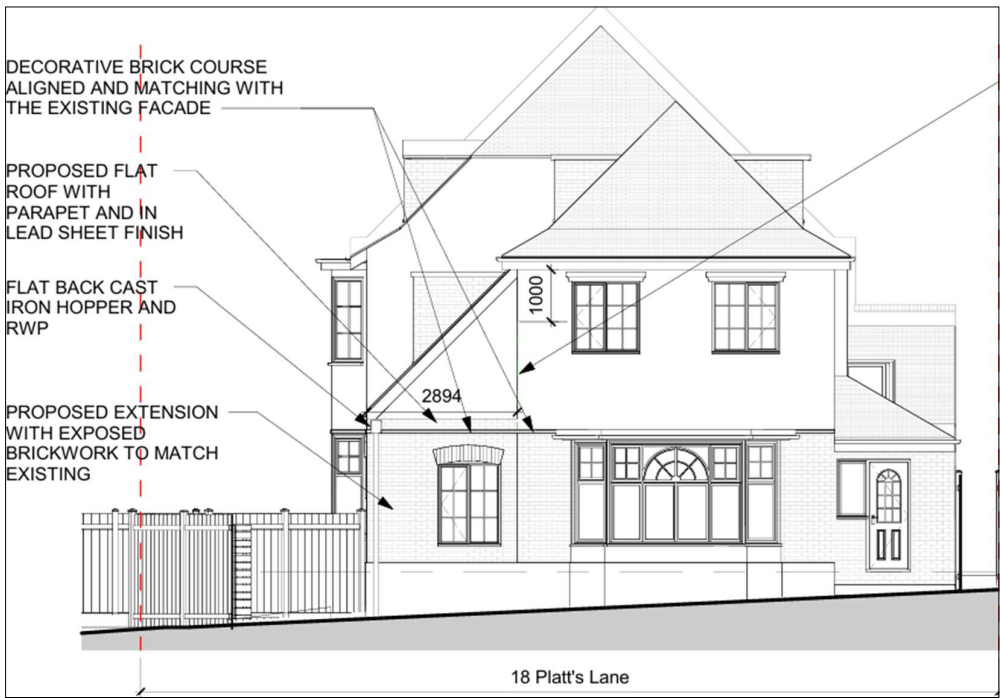
'Construction of a single storey front extension at ground floor level'

This involves the construction of a single storey extension with flat roof that will be finished in exposed brickwork to match the existing building. The extension includes a decorative brick course aligned with existing, and new roofing materials comprise a parapet in lead sheet finish. It includes windows on the front and side elevations to match the design and proportions of existing windows at the property.

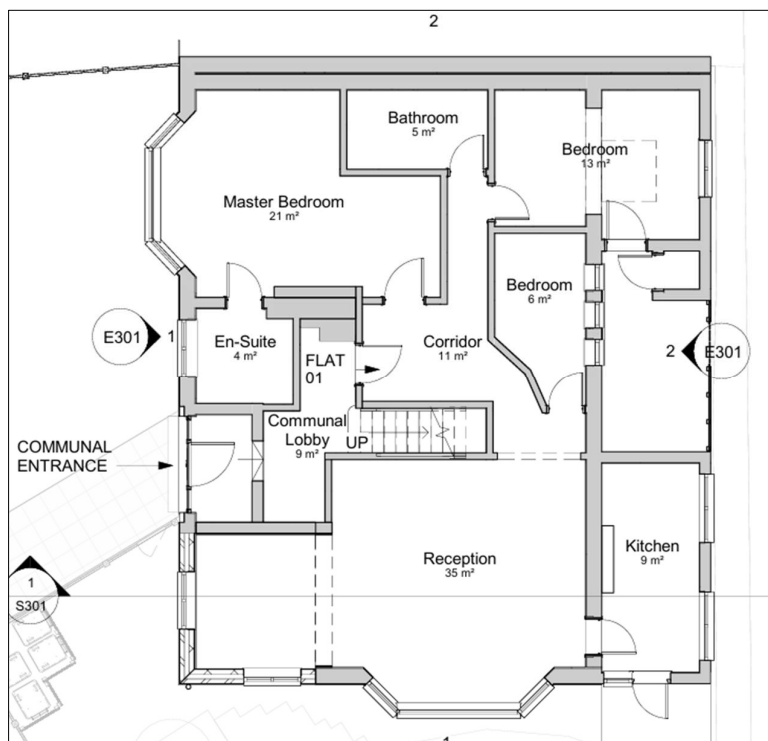
The extension will facilitate the creation of an enlarged reception room at the existing flat and therefore will provide an improved standard of accommodation for existing and prospective occupants of the flat.



Proposed front elevation



Proposed side elevation

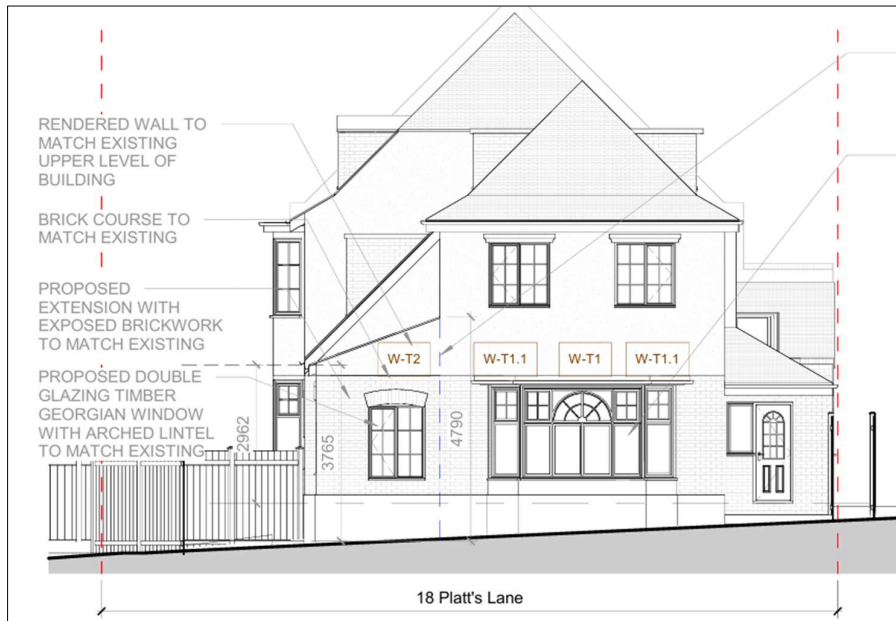


Proposed ground floor plan

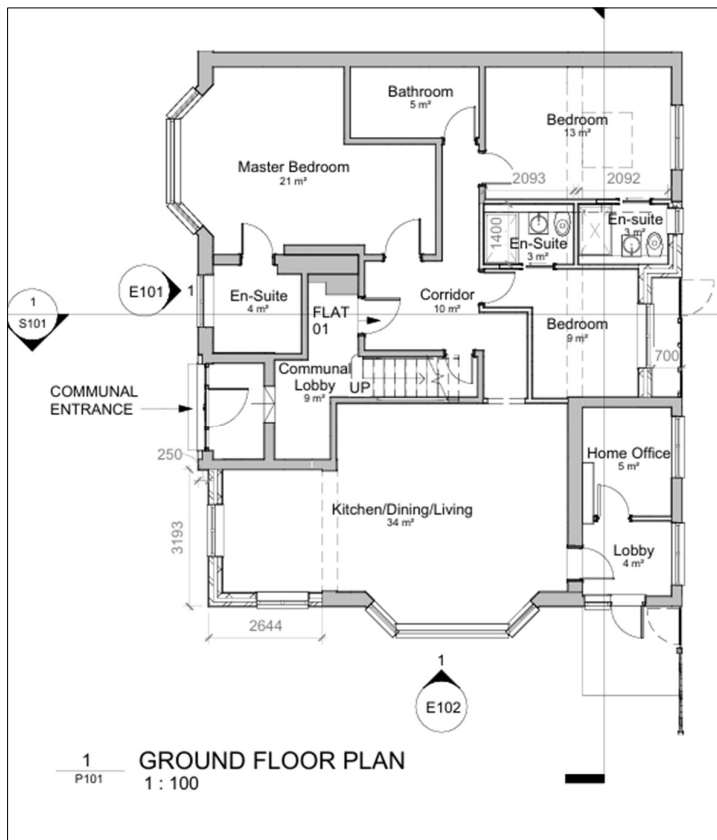
The extension follows a previously proposed front extension in application reference **2023/5413/P** approved in October 2024. However, in response to concerns raised by the Council, the proposed front extension was removed from this application. The current application seeks to overcome the Council's previous concerns by proposing a flat roof extension that has a reduced visual impact, and results in less infilling which will further safeguard the angle between the catslide roof and the side wing of the building.



Proposed front elevation plan showing previously proposed front extension which was withdrawn from the application proposals (application reference 2023/5413/P)



Proposed side elevation plan showing previously proposed front extension which was withdrawn from the application proposals (application reference 2023/5413/P)



Proposed ground floor plan showing previously proposed front extension at the property (application reference 2023/5413/P)

Planning Assessment

Design and character considerations

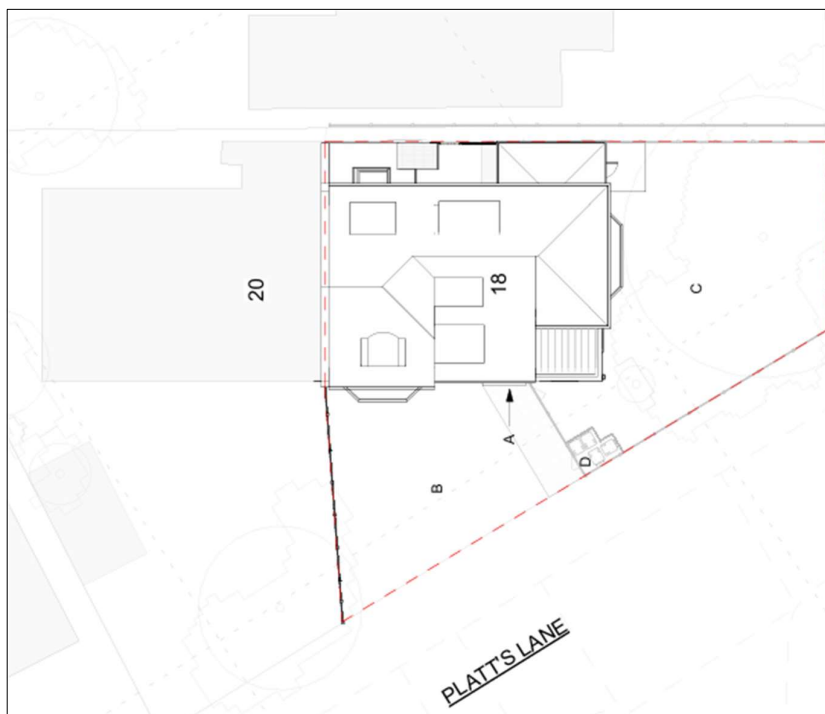
The Camden Local Plan (2017), the Redington Frogna! Neighbourhood Plan (2021) and the NPPF requires development to achieve a high standard of design. Specifically, Camden Local Plan policy D1 requires development to respect local context and character, to preserve or enhance the historic environment and heritage assets, to be sustainable in design and construction, be inclusive and accessible and be designed to minimise crime. Policy SD4 of the Neighbourhood Plan requires development to complement the distinctive character of the Redington Frogna! area in terms of its scale, massing and height. The plot coverage ratio of buildings to open space is also required to respond to the existing character of the area, including provision of extensive garden areas. Landscaping should be an integral part of the design and layout of development, and the spacing of development should retain the verdant, biodiverse character of the area by allowing views through the built frontages. A minimum gap of 2 metres will be appropriate between semi-detached or detached houses. Where the established character includes wider gaps, then this will be appropriate in the spacing of new development. Development should provide active frontages, including at ground floor level, so as to provide overlooking and surveillance. Policy SD5 requires extensions to buildings to be designed to complement the character of the original building and context. The massing, scale and set-back of the extension should ensure that it is subordinate to the main building. Similar to Local Plan Policy SD4, a minimum gap of 2 metres will be appropriate between semi-detached or detached houses.

The proposed front extension positively responds to the above planning policy requirements for the following reasons:

- Due to its limited size, measuring only single storey in height and due its limited footprint (it has a Gross Internal Area of only 9.28 sqm), the front extension is a modest addition to the building, particularly in the context of the spacious nature of the building itself which spans over three floors.
- The proposed front extension includes a flat roof and therefore limited bulk and massing at roof level when compared to the previously withdrawn proposed front extension under application reference 2023/5413/P. It is therefore a smaller extension and is a more visually sympathetic addition. The proposed flat roof ensures that the extension has no impact on the existing catslide roof on the front of the building.
- The extension will occupy a small part of front and side elevations of the building at ground floor level only and is less than half the width of the building. It does not affect the principal front elevation of the property to any significant degree, being located to the side of it and only at ground floor level. It is therefore clearly a subordinate addition to the host property.
- The extension will have a limited visual impact on the appearance of the building and wider street scene due to its modest size, sympathetic design and use of appropriate external materials. Due to the set back of the building from the Platt's Lane street scene, together with existing boundary treatment which includes fencing and vegetation providing screening to the site, the proposed

front extension will not be a dominant or visually intrusive addition to the property when viewed from the street. It should be noted that application reference 2023/5413/P approved in October 2024 includes further boundary planting including hedging which will further improve the setting and appearance of the proposed front extension in this application, once implemented.

- The extension will be finished in external materials to match existing and includes a decorative band of brickwork to match existing to ensure that it is sympathetic addition to the building and will seamlessly blend in.
- The proposed front and side windows in the extension will match the design, appearance and proportions of existing windows at the building and will also increase natural surveillance in this part of the site which is a planning benefit of the proposal.
- Due to its limited footprint, the proposed extension will maintain the plot coverage ratio of buildings to open space on the site and will not result in over development of the site. Similarly, its modest size ensures that it will not affect the spacing of buildings on Platt's Lane and will maintain the verdant, biodiverse character of the area.
- The proposal will not affect local views within the Conservation Area or any views between buildings due to the site being a corner property and due to the limited size of the extension. It maintains a gap between properties in excess of 2m as required by local planning policy.
- The existing building forms one of a pair of semi-detached properties (it is paired with 20 Platt's Lane). It is noted that 20 Platt's Lane benefits from a front extension, albeit one that is more visually prominent due to its pitched roof. The proposal will improve the symmetry of the pair of semis by adding a front extension to No. 18 as well.
- The extension due to its small size, limited bulk and appropriate finishes will not be highly visible from public views of the site.
- As indicated in the proposed block plan extract below, the proposal will introduce a squarer footprint to the building at No. 18, which is more reflective of the existing 'square' footprint at No. 20 Platt's Lane (the property it is paired with). The proposal therefore results in design improvements to the semis in this regard.



Proposed block plan

The site is therefore capable of accommodating the front extension without detrimentally affecting the visual amenity of the area and is therefore acceptable in terms of its impact on design and character.

Heritage impact

Policy D2 of the Camden Local Plan requires development to preserve and, where appropriate, enhance Camden's heritage assets and their settings, including conservation areas. The Council will not permit the loss of or substantial harm to a designated heritage asset, including Conservation Areas and Listed Buildings, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply

- the nature of the heritage asset prevents all reasonable uses of the site
- no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation
- conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible
- and the harm or loss is outweighed by the benefit of bringing the site back into use

The policy states that the Council will not permit development that results in harm that is less than substantial to the significance of a designated heritage asset unless the public benefits of the proposal convincingly outweigh that harm.

With regard to Conservation Areas, the policy states that the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within

Conservation Areas. The Council will require development within Conservation Areas to preserve or, where possible, enhance the character or appearance of the area.

Policy SD2 of the Neighbourhood Plan similarly requires development to preserve or enhance the green garden suburb character and appearance of the Redington Froggnal Conservation Area. This includes retention of buildings or features that contribute to that special interest, including gaps between buildings, trees, hedges and the open garden suburb character created by well-vegetated front, side and rear gardens.

The application is accompanied by a Heritage Statement which confirms that:

- The development will enhance the significance of the Conservation Area through use of symmetrical design, whilst also ensuring the new materials are clearly distinct in appearance in line with the Conservation Area guidance which “does not promote stylistic imitation and recognises the well-established conservation principle that buildings should be ‘of their age’”.
- The proposal is in keeping with the guidance as set out in the Council’s Conservation Area Character Appraisal and Management Plan and the design does not constitute an over development.
- Key architectural features of the building are being retained.
- The development will not affect any views in the Conservation Area
- The development will not be within and therefore have no material impact on the setting of any other designated heritage assets in the wider vicinity
- The development would not detract from the character and appearance of the street scene and area in a wider context.

The Heritage Statement confirms that overall, the development will result in a neutral/positive impact on the significance of the Conservation Area and no harm will be caused to the significance of any asset. There will be change, but overall that change will be neutral. As there is no harm there is no duty to prove public benefit. Overall, the proposal will represent an enhancement through use of complementary materials and considered design.

Impact on Residential Amenity

Local Plan policies A1 and A4 and the Amenity Camden Planning Guidance are relevant with regards to the impact on the amenity of residential properties in the area and require consideration of the impact of the development on light, outlook, privacy, odour and noise. In essence, the Council will grant permission for development unless there is unacceptable harm for amenity. Similarly, policy SD4 of the Neighbourhood Plan requires to cause no significant detriment through loss of light or increased shading to neighbouring properties and gardens.

Due to its small size and sympathetic siting on the front elevation of the dwellinghouse away from neighbouring properties, proposed extension does not result in any detrimental impact to neighbouring amenity.

Impact on Trees

Local Plan policy A3 seeks to protect and secure additional trees and vegetation. The policy resists the loss of trees and vegetation of significant amenity, historic, cultural or ecological value, and requires trees which are to be retained to be satisfactorily protected during the demolition and construction phase of development in line with BS5837:2012 'Trees in relation to Design, Demolition and Construction. The application is accompanied by an Arboricultural Assessment which confirms that the proposal will not result in any detrimental impact on trees.

Access

Vehicular and pedestrian access to the site will remain as existing. The proposal will therefore not result in any material impact on access arrangements to the site.

Conclusion

The proposed front extension is acceptable in terms of its design and character, heritage impact, impact on residential amenity and impact on trees. We therefore respectfully request that planning permission is granted.

Yours sincerely,



Kelly Anthony
Fuller Long Planning Consultants