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DESIGN&ACCESS AND HERITAGE STATEMENT

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INTRODUCTION

This document is in support of our Planning and Listed Building Consent Application for the proposed refurbishment works at **Flat D, 38 Delancey Street, London NW1 7NH**. It was prepared on behalf of the current property owners, who intend to use the flat as their primary residence and, to that end, improve its conditions, layout and energy efficiency.

1. EXISTING CONTEXT

Flat D is on the top floor of a mid-XIX-century, grade II listed building on the corner between Delancey Street and Albert Street and within the Camden Town Conservation Area (Fig.1).

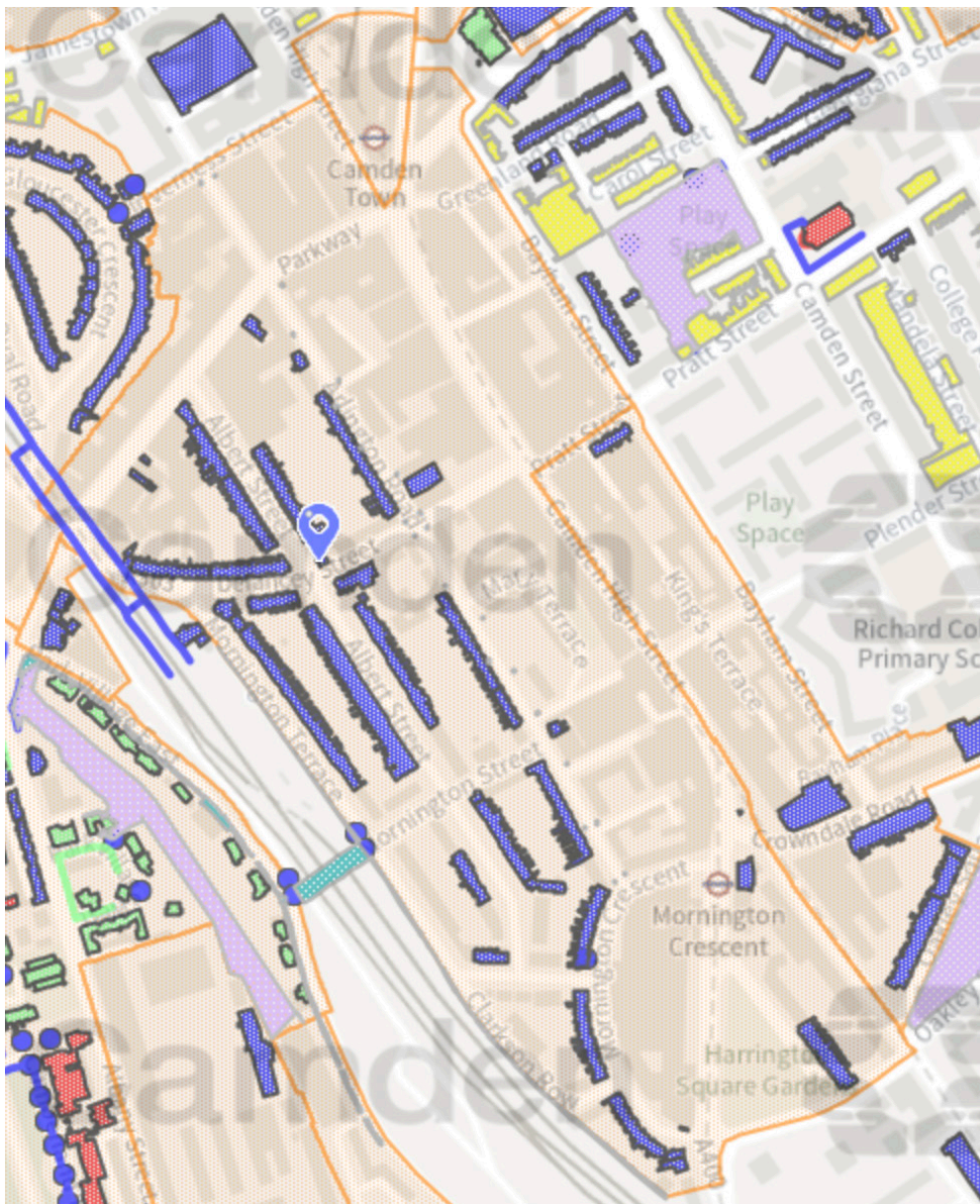


Fig.1: 38 Location of Delancey Street within the Camden Town Conservation Area

The building was listed in 1999 and deemed ‘notable for its use of artificial stone blocks’ in its official list entry. Other external features include its cast-iron window guards and railings, its stucco details, as well as its three-centred arch openings on the ground floor and blocked windows on the south-western facade (Fig.2 and 3).



Fig.2: Photograph of the south-western facade



Fig.3: Photograph of the south-eastern facade

2. EXISTING INTERIORS

The interiors of 38 Delancey Street are only described as ‘not inspected’ in the building’s official list entry. Flat D has been significantly altered in recent times: the existing floor finishes are not original and of very poor quality (i.e. laminate floors, late-XX/early-XXI-century tiles and carpet). The walls and ceilings are painted white and do not present any original decoration. The original internal layout has been severely compromised by the construction of stud walls forming an irregularly-shaped bathroom and bedroom, where a double bed and small wardrobe can barely fit (Fig.4, 5, 6). These alterations were the subject of a listed building consent and retrospective Planning Application submitted in 2010 (2010/3932/L).

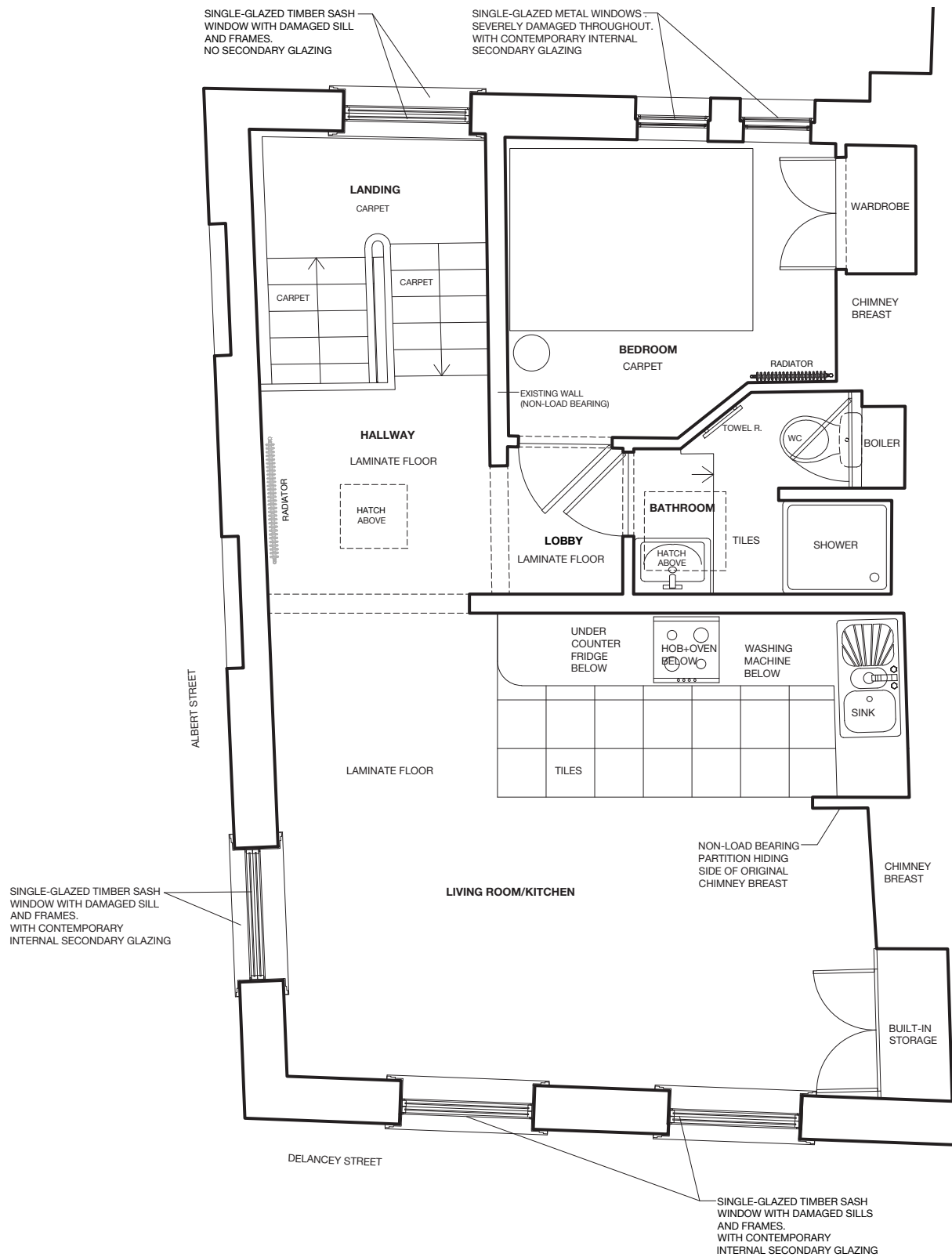


Fig.4: Existing third floor plan (not to scale)



Fig.5 and 6: Photographs of the existing bedroom showing its current space, finishes and bedroom radiator, and the non-original partition between the bedroom and bathroom.

The flat has also been considerably neglected over the years: large mould stains have not been removed and the window sills and frames have not been adequately treated and maintained, with the result that all are either rotten or significantly damaged. Water ingress through the current cracks and peeled-off finish of the windows sills and frames is likely to generate more wall stains, damp and damages if left untreated. All the original single-glazed windows are partially concealed by uPVC secondary glazing with sliding panes, which are aesthetically unsuitable for the property and fail to keep the flat warm (Fig.7-14).

The condition and single glazing of the existing windows, as well as the lack of radiators, prevent the flat from being adequately insulated and heated, to the detriment of its current and future occupiers.



Fig.7, 8, 9, 10: Photographs of the existing windows, sills and uPVC secondary glazing.



Fig.11, 12, 13, 14: Photographs of the existing windows, sills and uPVC secondary glazing.

3. PROPOSED ALTERATIONS

The proposed alterations (Fig. 15, 16, 17, 18) include:

- Windows and sills:

Repair of all damaged window sills and/or replacement of all rotten sills with new, like-for-like, hardwood sills, painted to match the existing.

Replacement of the three single-glazed sash windows on the south-eastern and south-western facades with new, hardwood sash windows (W_01, W_02, W_03) with like-for-like frames painted to match the existing. With slim, conservation-grade double glazing to increase the property's energy efficiency and comfort.

Retrofitting of the original sash window on the stair landing (W_04) with slim conservation-grade double-glazing.

Repair of the severely damaged metal casement windows in the bedroom, which would then be repainted to match the existing (W_05 and W_06).

- Internal Partitions:

Removal of the late-XX/early-XXI-c. bathroom partitions (non-load bearing) and installation of stud walls with acoustic insulation to improve circulation, and the shape and use of the bathroom and bedroom.

- Heating, Plumbing and Electrics:

Removal of the existing radiators and towel rail (non-original, late-XX/early-XXI-c.) and installation of new cast iron radiators and a towel rail where shown.

Rewiring/new electrical points and plumbing works to accommodate the proposed layout.

- Finishes:

Removal of the existing laminate floor, carpet and tiles (all non-original, late-XX/early-XXI-c.). Installation of new floor finishes (engineered timber and microcement in shower and WC) over a new acoustic mat.

Replacement of the existing carpet in the staircase area with a new fixed runner.

Replacement of the low-quality, non-original, built-in kitchen, bathroom, furniture and the like with new (bespoke designs, made of higher-quality materials and finishes).

Making good/painting and decorating works.

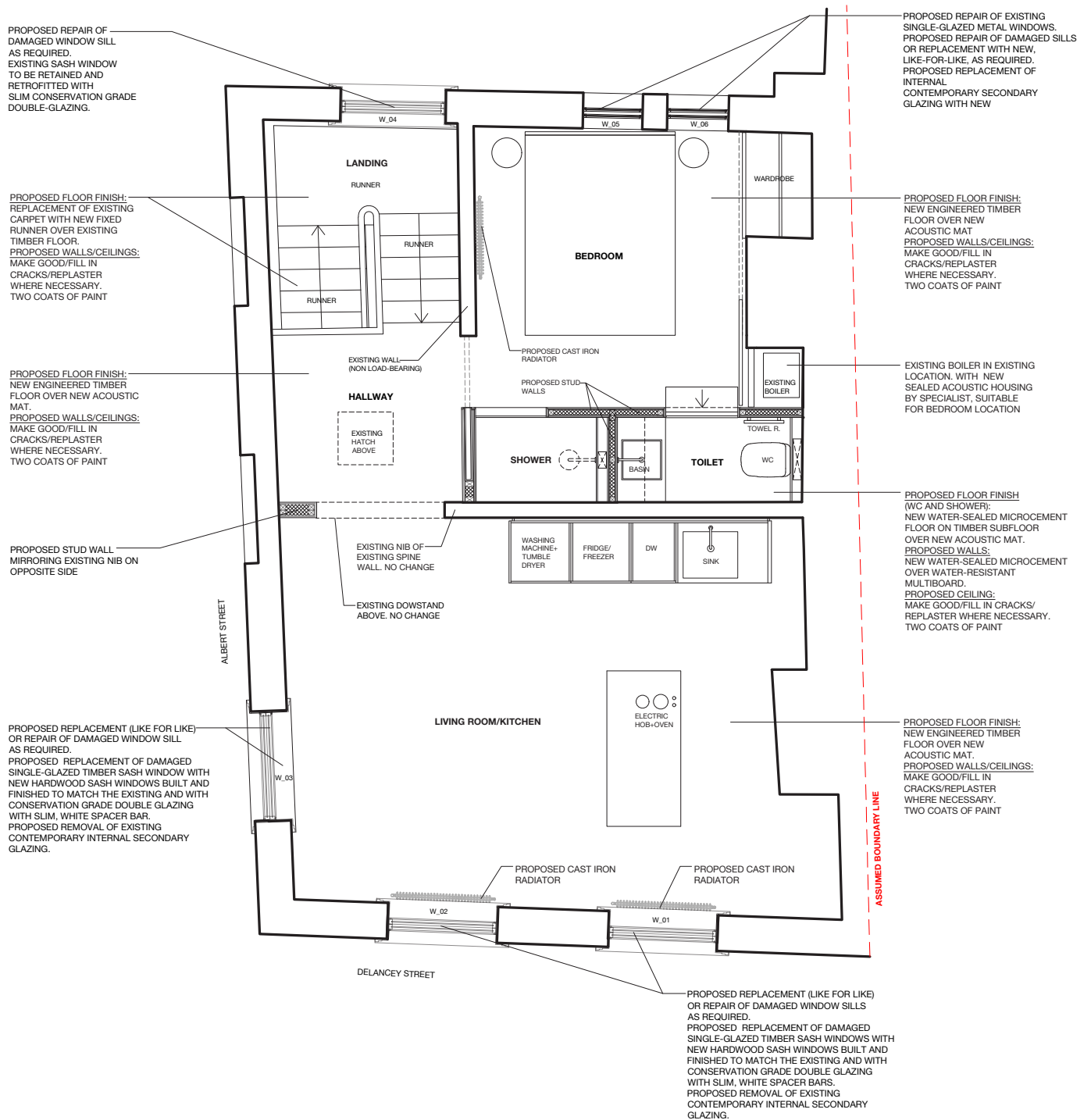


Fig.15: Proposed third floor plan (not to scale)



Fig.16: Proposed south-east elevation (not to scale)

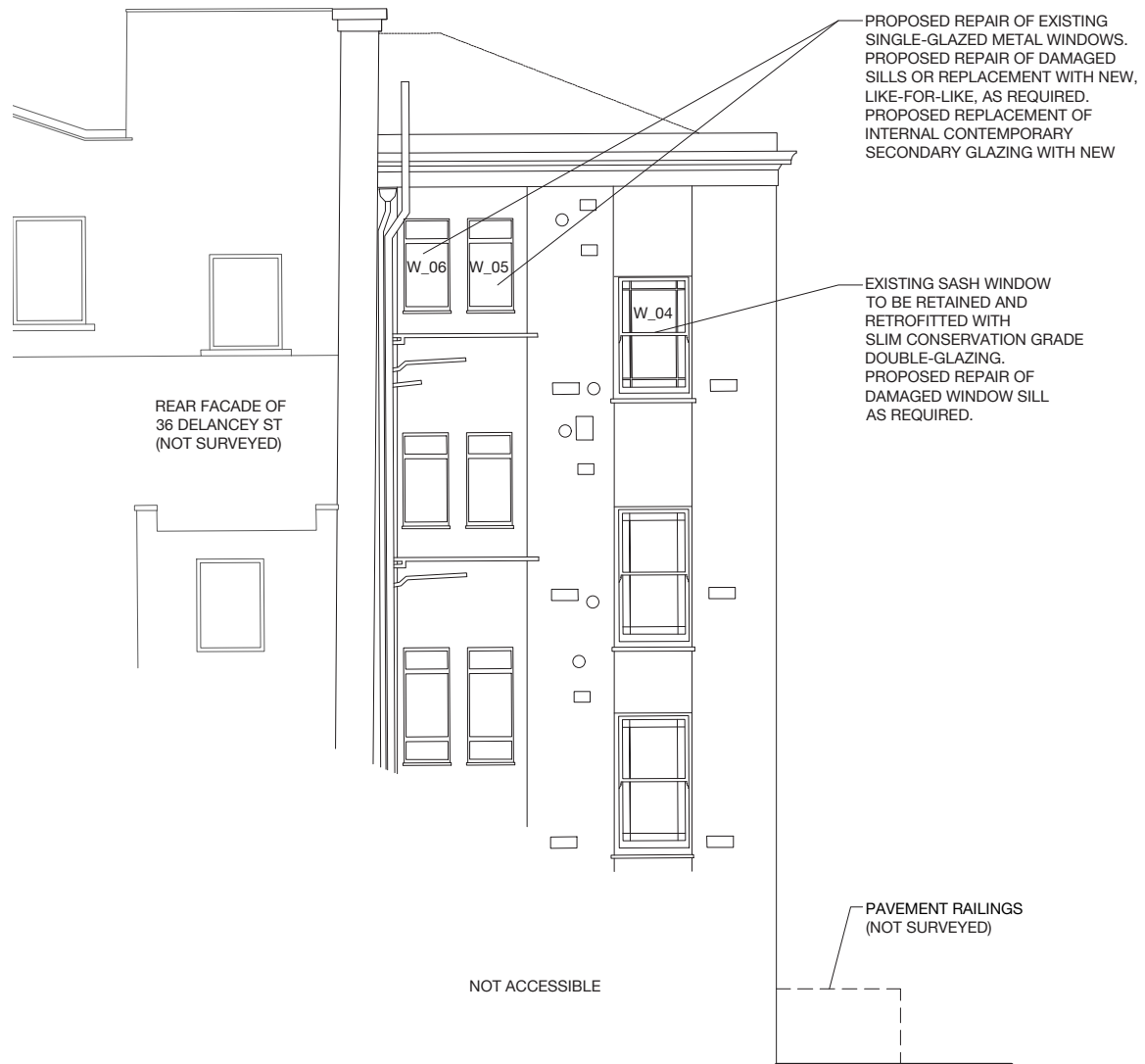


Fig.18: Proposed north-west elevation (not to scale)

4. PLANNING HISTORY

Application Number: 2010/3932/L

Development Type: Listed Building Consent

Proposal: Internal alterations to residential flat (Class C3) including the removal and addition of partitions and the widening of an existing internal opening (retrospective)

Decision: Granted 02-09-2010

5. POLICIES

5.1. NATIONAL PLANNING POLICY FRAMEWORK

16. Conserving and enhancing the historic environment

205. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

208. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

LONDON BOROUGH OF CAMDEN LOCAL PLAN (2017)

The Council will require that development:

- a. respects local context and character;
- b. preserves or enhances the historic environment and heritage assets in accordance with Policy D2 Heritage;
- c. is sustainable in design and construction, incorporating best practice in resource management and climate change mitigation and adaptation;
- d. is of sustainable and durable construction and adaptable to different activities and land uses;
- e. comprises details and materials that are of high quality and complement the local character;

CAMDEN PLANNING GUIDANCE, HOME IMPROVEMENTS, JANUARY 2021

Key Principles - Home Improvements:

- Respect and be complementary to the original character of the existing building;
- Design spaces to be functional and adaptable for a range of uses, such as social gatherings, rest and relaxation;
- Ensure rooms achieve a good quality internal environment that benefit from adequate natural daylight, outlook and ventilation;
- Ensure that the space is usable and accessible to people with varying abilities;
- Consider sustainable measures within the design that maintain and improve your living conditions;

Key Principles - Sustainability:

- The quality of materials contributes to the overall efficiency and long term cost savings, particularly important for insulation and new windows/doors

Key Principles - External Alterations:

A like-for-like replacement means that certain elements of the window or door are to be retained as indicated below, except for the glazing which could be changed from single to double glazing.

- Shape and dimensions of window opening;
- Frame material and dimensions to include frame profile width and depth;
- Fenestration pattern, to include the layout/pattern of glazing bars;
- Size and placement of structural glazing bars;
- Opening method, such as sliding sash, outward or inward opening casement window, tilt-and-turn etc.

If your property is in a Conservation Area you are encouraged to consider Historic Glass. New windows and doors should generally be designed and composed of materials and finishes sympathetic to the original window and/or doors to the building.

6. CONCLUSION

The proposal seeks to revert or mitigate the damages accumulated by the property over the years and to improve the energy efficiency, appearance and layout of Flat D. As a result, its current and future occupiers would benefit from a more functional, aesthetically pleasing and sensitively designed dwelling, and the listed building as a whole would be enhanced, without any harm to its character and appearance.

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