

INTENTIONALLY BLANK PAGE

NO BALCONIES (1-2 ST GILES PASSAGE)

FLOOR	ROOM	PROPERTY TYPE	ROOM USE	VSC (WINDOW)				VSC (ROOM)				AFSH (WINDOW)				AFSH (ROOM)							
				EX. %	PR. %	LOSS %	EX. %	PR. %	LOSS %	EX. %	PR. %	LOSS %	EX. %	PR. %	LOSS %	EX. %	PR. %	LOSS %	EX. %	PR. %	LOSS %		
				ANNUAL		WINTER		ANNUAL		WINTER		ANNUAL		WINTER		ANNUAL		WINTER		ANNUAL		WINTER	
1-2 ST GILES PASSAGE (PENDRELL HOUSE)																							
100	R1	RESIDENTIAL	UNKNOWN	26.6	24.3	2.3	8.6	26.6	24.3	2.3	8.6	50	9	46	6	80	33.3	50.0	9.0	46.0	6.0	80	33.3
	R2	RESIDENTIAL	UNKNOWN	26.4	24.0	2.4	9.1	26.4	24	2.4	9.1	49	7	44	4	102	42.9	49.0	7.0	44.0	4.0	102	42.9
	R5	RESIDENTIAL	UNKNOWN	24.6	22.1	2.5	10.2	18.6	16.8	1.8	9.7	45	5	40	4	111	20.0	48.0	6.0	44.0	5.0	8.3	16.7
				22.0	19.5	2.5	11.4					44	4	38	3	136	25.0						
				18.0	15.9	2.1	11.7					41	4	35	3	146	25.0						
				14.5	13.1	1.4	9.7					38	5	32	4	158	20.0						
				11.9	11.3	0.6	5.0					28	2	24	1	143	50.0						
	R6	RESIDENTIAL	UNKNOWN	10.3	10.1	0.2	1.9	10.3	10.1	0.2	1.9	17	1	16	0	5.9	100.0	17.0	1.0	16.0	0.0	5.9	100.0
	R7	RESIDENTIAL	UNKNOWN	10.1	9.9	0.2	2.0	10.1	9.9	0.2	2	18	1	17	0	5.6	100.0	18.0	1.0	17.0	0.0	5.6	100.0
	R8	RESIDENTIAL	UNKNOWN	9.9	9.7	0.2	2.0	9.9	9.7	0.2	2	17	2	15	0	11.8	100.0	17.0	2.0	15.0	0.0	11.8	100.0
101	R1	RESIDENTIAL	UNKNOWN	28.3	25.8	2.5	8.8	28.3	25.8	2.5	8.8	54	12	49	8	93	33.3	54.0	12.0	49.0	8.0	9.3	33.3
	R2	RESIDENTIAL	UNKNOWN	28.0	25.5	2.5	8.9	28	25.5	2.5	8.9	53	11	49	8	7.5	27.3	53.0	11.0	49.0	8.0	7.5	27.3
	R3	RESIDENTIAL	UNKNOWN	17.8	15.3	2.5	14.0	17.8	15.3	2.5	14	34	6	29	4	14.7	33.3	34.0	6.0	29.0	4.0	14.7	33.3
	R4	RESIDENTIAL	UNKNOWN	17.9	15.4	2.5	14.0	17.9	15.4	2.5	14	35	7	30	5	14.3	28.6	35.0	7.0	30.0	5.0	14.3	28.6
	R5	RESIDENTIAL	UNKNOWN	26.2	23.7	2.5	9.5	20.1	18.2	1.9	9.5	49	7	44	5	10.2	28.6	52.0	8.0	47.0	6.0	9.6	25.0
				23.7	21.1	2.6	11.0					49	6	45	5	8.2	16.7						
				20.0	17.8	2.2	11.0					47	6	43	5	8.5	16.7						
				16.5	15.0	1.5	9.1					42	6	38	5	9.5	16.7						
				13.9	13.3	0.6	4.3					31	3	27	2	12.9	33.3						
	R6	RESIDENTIAL	UNKNOWN	12.5	12.3	0.2	1.6	12.5	12.3	0.2	1.6	22	3	20	1	9.1	66.7	22.0	3.0	20.0	1.0	9.1	66.7
	R7	RESIDENTIAL	UNKNOWN	12.0	11.9	0.1	0.8	12	11.9	0.1	0.8	22	4	20	2	9.1	50.0	22.0	4.0	20.0	2.0	9.1	50.0
	R8	RESIDENTIAL	UNKNOWN	11.7	11.6	0.1	0.9	11.7	11.6	0.1	0.9	20	3	18	1	10.0	66.7	20.0	3.0	18.0	1.0	10.0	66.7
102	R1	RESIDENTIAL	UNKNOWN	29.8	27.3	2.5	8.4	29.8	27.3	2.5	8.4	57	14	51	9	10.5	35.7	57.0	14.0	51.0	9.0	10.5	35.7
	R2	RESIDENTIAL	UNKNOWN	29.5	27.0	2.5	8.5	17.8	16.4	1.4	7.9	56	13	52	10	7.1	23.1	56.0	13.0	52.0	10.0	7.1	23.1
				10.8	10.1	0.7	6.5					32	10	28	7	12.5	30.0						
	R3	RESIDENTIAL	UNKNOWN	24.8	22.3	2.5	10.1	24.8	22.3	2.5	10.1	46	11	40	7	13.0	36.4	46.0	11.0	40.0	7.0	13.0	36.4
	R4	RESIDENTIAL	UNKNOWN	25.4	22.9	2.5	9.8	25.4	22.9	2.5	9.8	42	8	36	4	14.3	50.0	42.0	8.0	36.0	4.0	14.3	50.0
	R5	RESIDENTIAL	UNKNOWN	14.6	14.6	0.0	0.0	20.4	19	1.4	6.9	19	1	18	1	5.3	0.0	58.0	12.0	52.0	8.0	10.3	33.3
				28.0	25.4	2.6	9.3					53	10	48	7	9.4	30.0						
				25.7	23.0	2.7	10.5					52	7	48	6	7.7	14.3						
				22.3	20.1	2.2	9.9					50	7	46	5	8.0	28.6						
				19.1	17.6	1.5	7.9					46	8	41	5	10.9	37.5						
				16.6	15.9	0.7	4.2					37	7	32	4	13.5	42.9						
	R6	RESIDENTIAL	UNKNOWN	15.0	14.8	0.2	1.3	15	14.8	0.2	1.3	26	6	23	3	11.5	50.0	26.0	6.0	23.0	3.0	11.5	50.0
	R7	RESIDENTIAL	UNKNOWN	14.5	14.3	0.2	1.4	14.5	14.3	0.2	1.4	27	7	25	5	7.4	28.6	27.0	7.0	25.0	5.0	7.4	28.6
	R8	RESIDENTIAL	UNKNOWN	14.1	13.9	0.2	1.4	14.1	13.9	0.2	1.4	27	6	26	5	3.7	16.7	27.0	6.0	26.0	5.0	3.7	16.7
103	R1	RESIDENTIAL	UNKNOWN	31.1	28.6	2.5	8.0	31.1	28.6	2.5	8	61	18	56	13	8.2	27.8	61.0	18.0	56.0	13.0	8.2	27.8
	R2	RESIDENTIAL	UNKNOWN	30.9	28.3	2.6	8.4	19.9	18.4	1.5	7.5	58	15	54	11	6.9	26.7	61.0	17.0	55.0	11.0	6.9	26.7
				12.7	11.9	0.8	6.3					36	12	31	7	13.9	41.7						
	R3	RESIDENTIAL	UNKNOWN	26.2	23.6	2.6	9.9	26.2	23.6	2.6	9.9	49	12	45	8	8.2	33.3	49.0	12.0	45.0	8.0	8.2	33.3
	R4	RESIDENTIAL	UNKNOWN	26.8	24.2	2.6	9.7	26.8	24.2	2.6	9.7	44	10	37	4	15.9	60.0	44.0	10.0	37.0	4.0	15.9	60.0
	R5	RESIDENTIAL	UNKNOWN	15.9	15.8	0.1	0.6	22.6	21.1	1.5	6.6	19	1	18	1	5.3	0.0	65.0	16.0	59.0	11.0	9.2	31.2
				29.6	26.9	2.7	9.1					57	14	52	10	8.8	28.6						
				27.7	25.0	2.7	9.7					58	11	54	8	6.9	27.3						
				24.9	22.5	2.4	9.6					56	11	51	7	8.9	36.4						

* Inclined Windows. ** Rooms deeper than 5m. *** Kitchens less than 13sqm



FLOOR	ROOM	PROPERTY TYPE	ROOM USE	WINDOW	VSC (WINDOW)			VSC (ROOM)			APSH1 (WINDOW)			APSH1 (ROOM)			LOSS %	PR	ANNUAL	WINTER	ANNUAL	WINTER	ANNUAL	WINTER	ANNUAL	WINTER						
					EX. %	PR. %	LOSS %	EX. %	PR. %	LOSS %	EX. %	PR. %	LOSS %	EX. %	PR. %	LOSS %											EX. %	PR. %	LOSS %			
1-2 ST GILES PASSAGE (PENDRELL HOUSE) (CONTINUED)																																
103	R5	RESIDENTIAL	UNKNOWN	W10/103	22.0	20.3	1.7	7.7	22.6	21.1	1.5	6.6	4.9	10	45	7	8.2	30.0	65.0	16.0	59.0	11.0	9.2	31.2								
				W11/103	19.4	18.8	0.6	3.1					42	10	38	7	9.5	30.0														
	R6	RESIDENTIAL	UNKNOWN	W12/103	17.8	17.6	0.2	1.1	17.8	17.6	0.2	1.1	32	9	31	8	3.1	11.1	32.0	9.0	31.0	31.0	8.0	31.0	3.1	11.1						
	R7	RESIDENTIAL	UNKNOWN	W13/103	17.2	17.0	0.2	1.2	17.2	17	0.2	1.2	31	8	30	7	3.2	12.5	31.0	8.0	30.0	30.0	7.0	32.0	3.2	12.5						
	R8	RESIDENTIAL	UNKNOWN	W14/103	16.7	16.5	0.2	1.2	16.7	16.5	0.2	1.2	29	7	28	6	3.4	14.3	29.0	7.0	28.0	28.0	6.0	34.0	3.4	14.3						
104	R1	RESIDENTIAL	UNKNOWN	W1/104	32.4	29.9	2.5	7.7	32.4	29.9	2.5	7.7	62	18	58	14	6.5	22.2	62.0	18.0	58.0	14.0	14.0	6.5	22.2							
	R2	RESIDENTIAL	UNKNOWN	W2/104	32.2	29.6	2.6	8.1	22.5	21	1.5	6.7	62	18	58	14	6.5	22.2	67.0	19.0	62.0	14.0	7.5	26.3								
				W3/104	16.1	15.3	0.8	5.0					46	17	41	12	10.9	29.4														
	R3	RESIDENTIAL	UNKNOWN	W4/104	28.7	26.1	2.6	9.1	28.7	26.1	2.6	9.1	55	14	50	9	9.1	35.7	55.0	14.0	50.0	9.0	9.1	35.7								
	R4	RESIDENTIAL	UNKNOWN	W5/104	29.2	26.6	2.6	8.9	29.2	26.6	2.6	8.9	49	10	45	6	8.2	40.0	49.0	10.0	45.0	6.0	8.2	40.0								
	R5	RESIDENTIAL	UNKNOWN	W6/104	18.6	18.6	0.0	0.0	25.3	23.6	1.7	6.7	19	1	16	1	5.3	0.0	69.0	16.0	65.0	13.0	5.8	18.8								
				W7/104	31.2	28.5	2.7	8.7					58	15	54	12	6.9	20.0														
				W8/104	29.9	27.0	2.9	9.7					64	15	60	12	6.2	20.0														
				W9/104	27.6	25.1	2.5	9.1					64	15	60	12	6.2	20.0														
				W10/104	25.1	23.4	1.7	6.8					59	15	55	12	6.8	20.0														
				W11/104	22.9	22.1	0.8	3.5					51	14	47	11	7.8	21.4														
	R6	RESIDENTIAL	UNKNOWN	W12/104	21.1	20.8	0.3	1.4	21.1	20.8	0.3	1.4	41	14	39	12	4.9	14.3	41.0	14.0	39.0	12.0	4.9	14.3								
	R7	RESIDENTIAL	UNKNOWN	W13/104	20.4	20.1	0.3	1.5	20.4	20.1	0.3	1.5	38	11	36	9	5.3	18.2	38.0	11.0	36.0	9.0	5.3	18.2								
	R8	RESIDENTIAL	UNKNOWN	W14/104	19.6	19.4	0.2	1.0	19.6	19.4	0.2	1	34	10	34	10	0.0	0.0	34.0	10.0	34.0	10.0	0.0	0.0	0.0							

* Inclined Windows. ** Rooms deeper than 5m. *** Kitchens less than 13sqm

APPENDIX 05
FLOOR PLANS

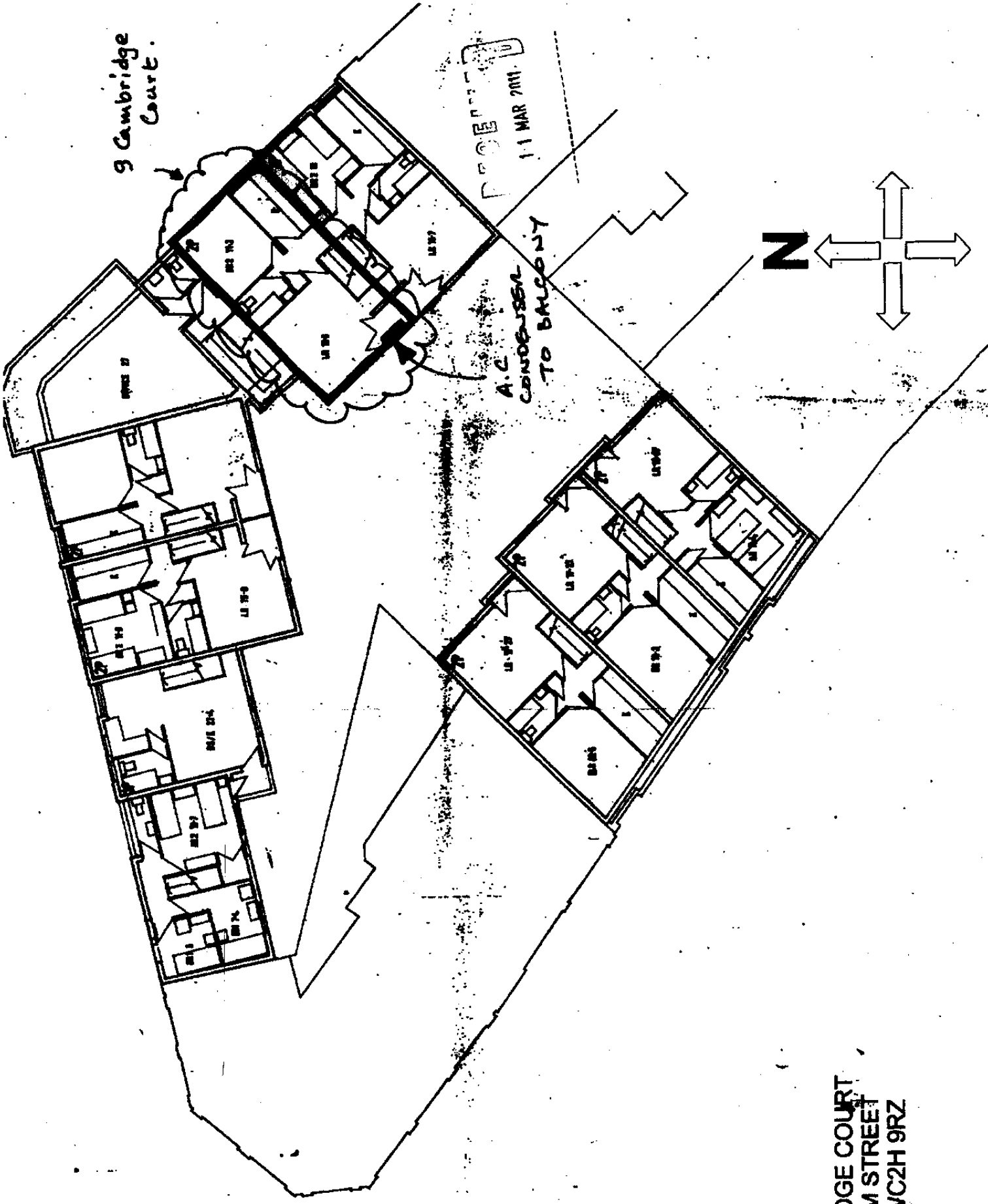
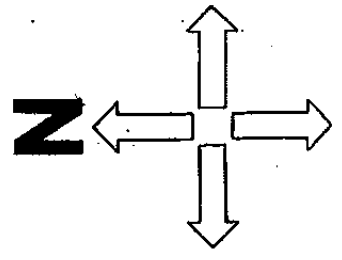
APPENDIX 05
FLOORPLANS:

2-8 EARLHAM STREET

9 Cambridge Court.

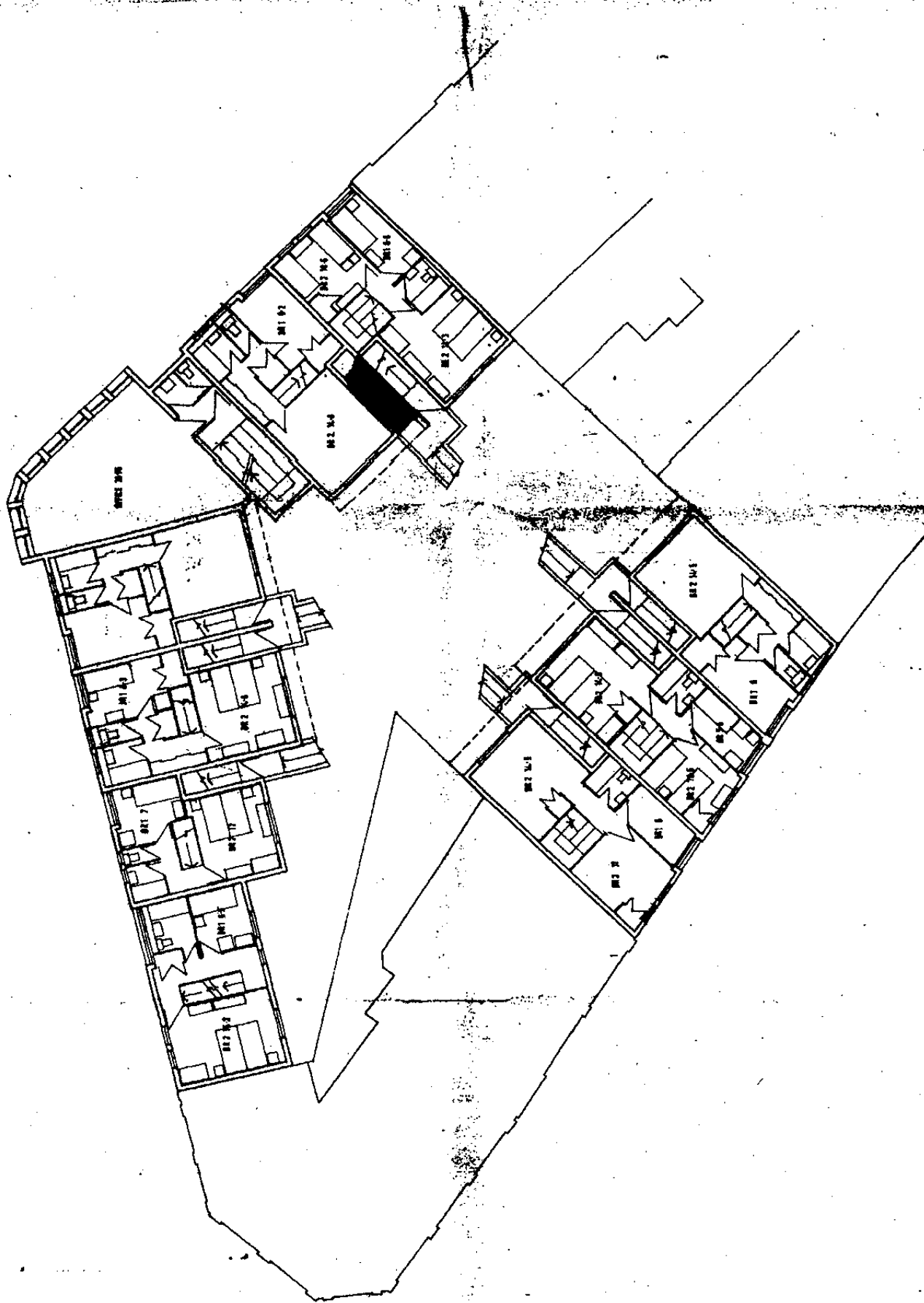
PROPOSED
11 MAR 2011

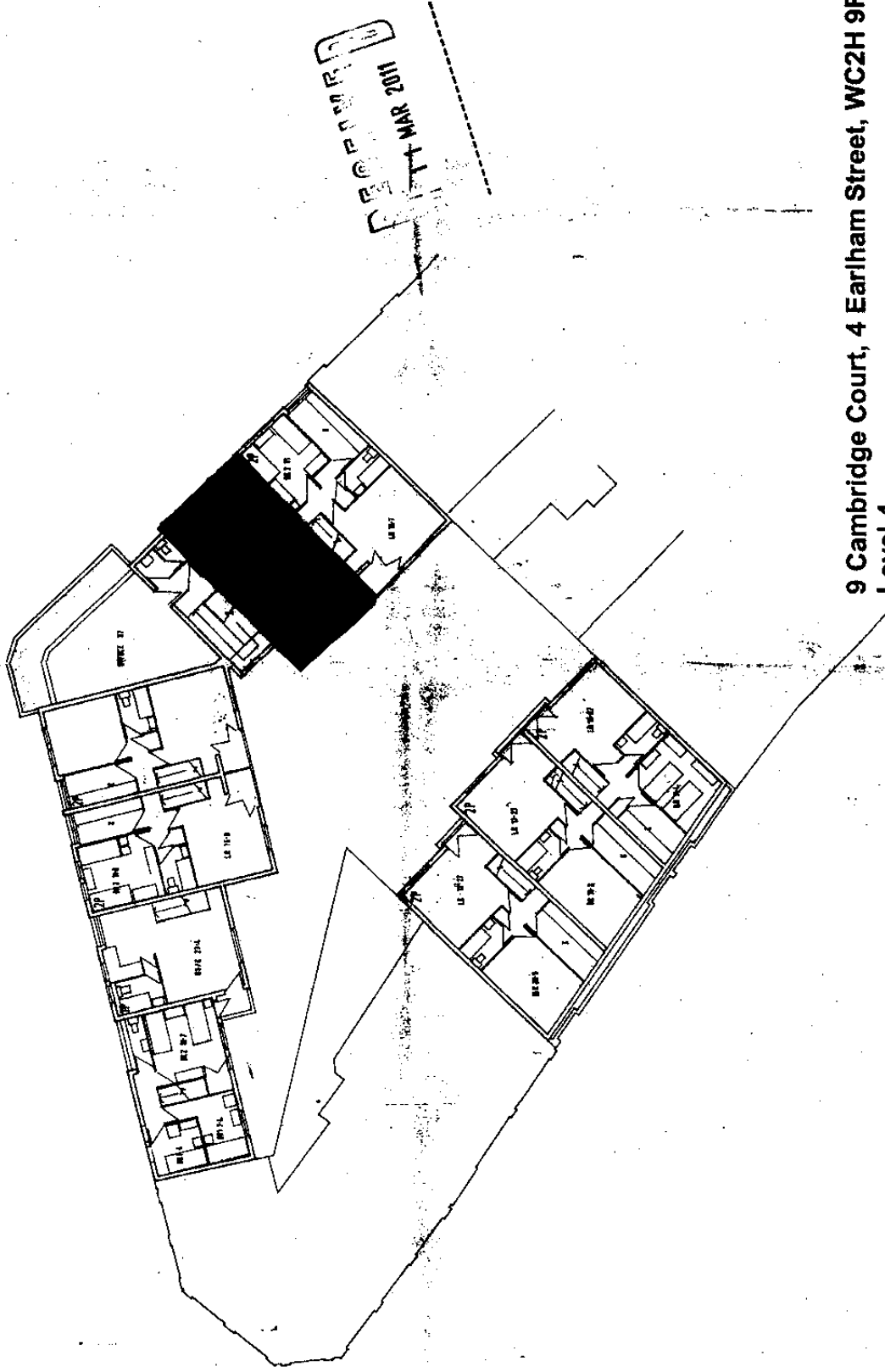
A.C.
CONDENSER
TO BALCONY



9 CAMBRIDGE COURT
4 EARLHAM STREET
LONDON WC2H 9RZ

SCALE: NTS





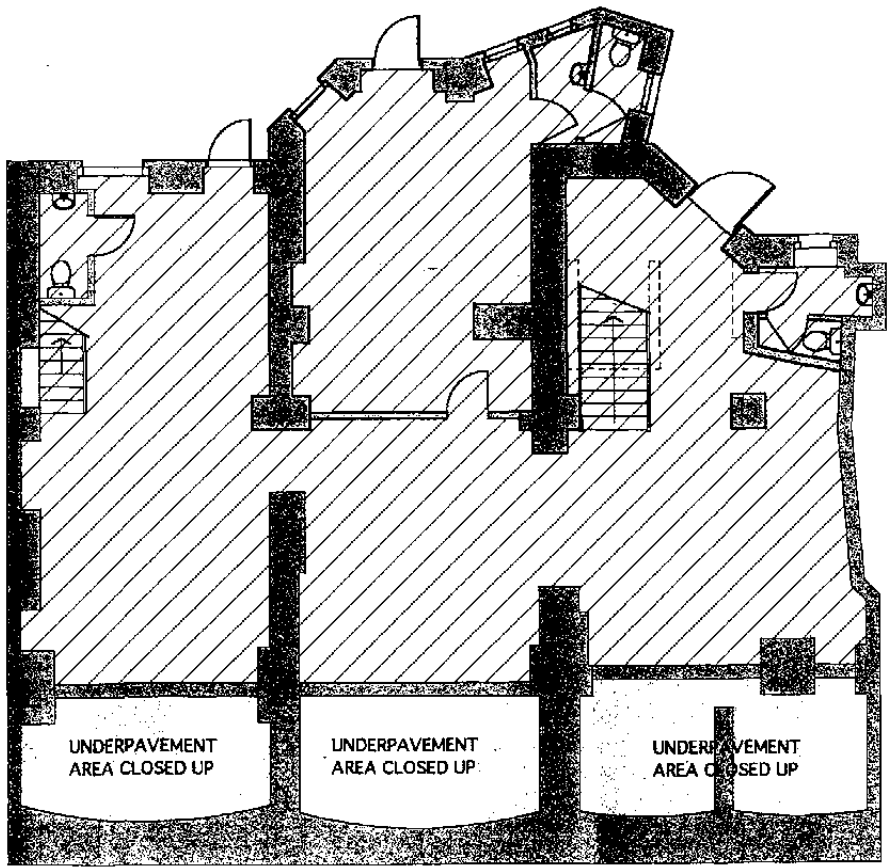
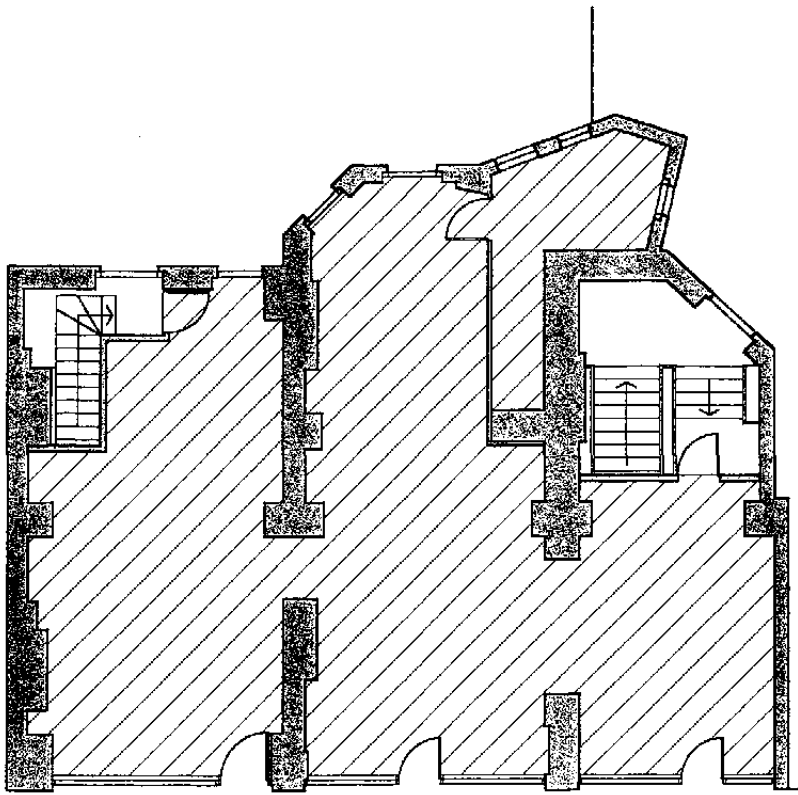
9 Cambridge Court, 4 Earham Street, WC2H 9RZ
Level 4
NOT TO SCALE

INTENTIONALLY BLANK PAGE

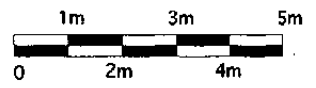
3-5 CAXTON WALK

NOTE:
 Do not scale off this drawing.
 Any errors or omissions to be reported to Space Architecture Ltd immediately.
 This drawing and design is the copyright of Space Architecture Ltd and is not to be used for any purpose without their consent.

Note: Although every effort has been made to ensure accuracy, please note that due to shop fixtures and fittings it was not always possible to measure to the walls directly.

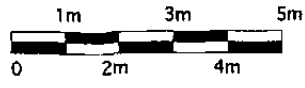


GROUND FLOOR / SHOP PLAN
 110.1sqm / 1185sqft



3 to 5 Caxton Walk
 92/94 Charing Cross Road

BASEMENT FLOOR PLAN
 135sqm / 1453sqft



3 to 5 Caxton Walk
 92/94 Charing Cross Road

S	Underpavement areas	10 400
A	General dimension	04 04
Rev	0000	000
SPACE ARCHITECTURE LIMITED 26 STANICE GARDENS 100 QUEENSDALE ROAD WIMBORNE BHAS 27Y TEL: 01202 340100 FAX: 01202 340116 WWW.SPACEARCHITECTURE.CO.UK WWW.SPACEARCHITECTURE.COM		
Project		
SPORTING PAGES		
62-64 Charing Cross Road		
Client		
ROWAN ASSET MANAGEMENT		
Drawn		
PLANS		
AJ ELLIOTT		
Date		
May 2004		
Scale		
1:100		
Drawing number		
SAL/02/SK/01B		

GROUND FLOOR PLAN
110.1sqm / 1185sqft



3 to 5 Caxton Walk
92/94 Charing Cross Road

CAXTON WALK



NOTES:
Do not scale off this drawing.
Any errors or omissions to be reported to Space Architecture Ltd immediately.
This drawing is not valid for planning purposes without the consent of Space Architecture Ltd and without their consent.

Note: Although every effort has been made to ensure accuracy, please note that due to shop covers and other factors it may not be possible to measure to the walls directly.

C	Section line added	30.06.09
B	Extract line removed	26.02.08
A	AP Handling Details added	12.04.08
Rev	Issue	Date

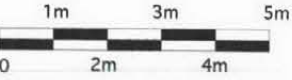
space architecture limited
201, 212/213, 214, 215, 216, 217
The Old Bank Buildings, 100, 111, 112, 113, 114
www.spacearchitecture.com

PROJECT NO: SA/02/SK/10C
PROJECT NAME: POTENTIAL RESTAURANT FIT-OUT PLANS
PROPOSED FLOOR PLAN
DATE: March 2008
SCALE: 1:100

Client: ROWAN ASSET MANAGEMENT
Drawing: POTENTIAL RESTAURANT FIT-OUT PLANS
Proposed Floor Plan
Date: March 2008
Scale: 1:100

SAL/02/SK/10C

BASEMENT FLOOR PLAN
135sqm / 1453sqft



3 to 5 Caxton Walk
92/94 Charing Cross Road



NOTES:
Do not scale off this drawing.
Any errors or omissions to be reported to Space Architecture Ltd immediately.
This drawing and design is the copyright of Space Architecture Ltd and is not to be used for any purpose without their consent.

Note: Although every effort has been made to ensure accuracy, please note that due to shop fixtures and fittings it was not always possible to measure to the walls directly.

C	Section line added	30.06.06
B	Extract Flue relocated	30.06.06
A	Air handling details added	10.04.06
rev	details	date

SPACE
space architecture limited
25 RLYSTONE GATE
WORTHINGTON, M6J 2PZ
Tel: 0115 8638 768 Fax: 0115 8638 763
www.spacearchitectures.co.uk
Project:
SPORTING PAGES
92-94 Charing Cross Road
Client:
ROWAN ASSET MANAGEMENT
Drawing:
POTENTIAL RESTAURANT
FIT-OUT PLANS
Basement As Proposed
Date:
March 2006 1.100

SAL/82/SK/11C

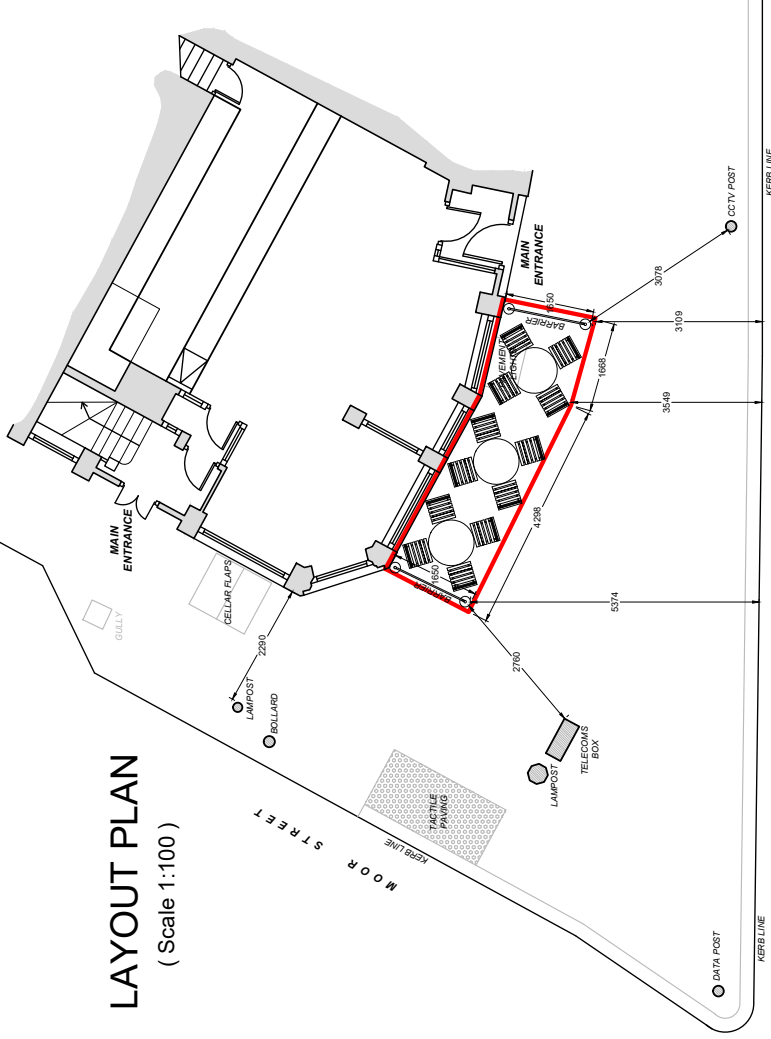
INTENTIONALLY BLANK PAGE

APPENDIX 05
FLOORPLANS:

93 CHARING CROSS ROAD

THE CAMBRIDGE - 93 Charing Cross Road, WC2

LAYOUT PLAN
(Scale 1:100)



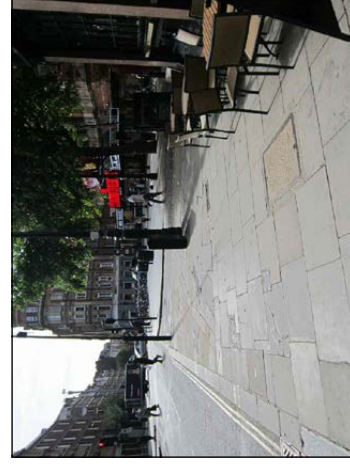
CH A R I N G C R O S S R O A D



PHOTOGRAPH A



PHOTOGRAPH B



PHOTOGRAPH C

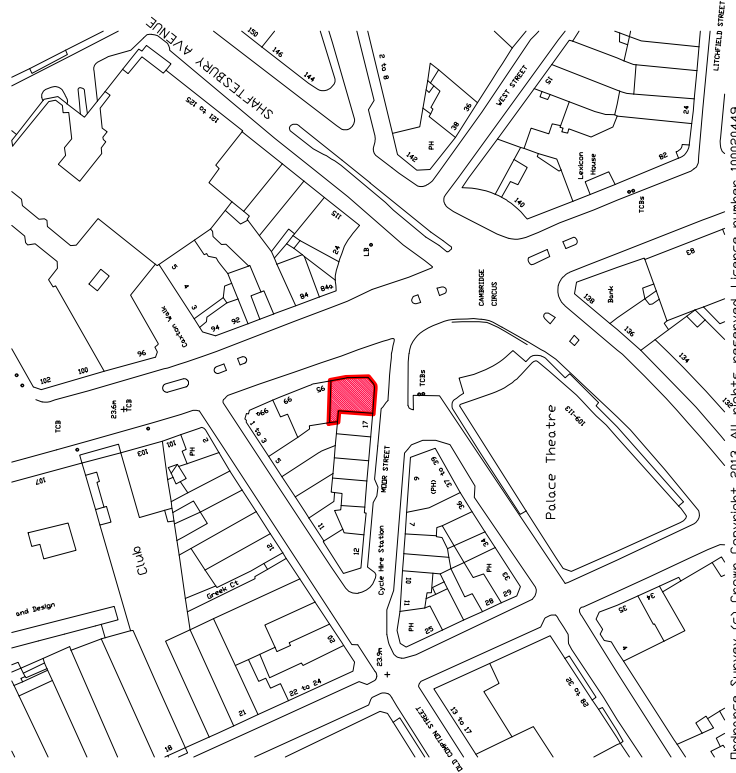


FURNITURE STYLE



BARRIERS STYLE
(Colour to be confirmed)

SITE LOCATION PLAN
(Scale 1:1250)



September 2013

Project :

The CAMBRIDGE

93 Charing Cross Road, London, WC2H 0DP

NOTE: CONTRACTORS ARE TO CHECK ALL SIZES AND DIMENSIONS BEFORE SETTING OUT ANY SITE OR SHOWWORK ANY AGENTS OR SURVEYORS TO BE REPORTED AND RESOLVED BY THE SITE SPECIFIC PROJECT DESIGNER / BUILDER AND RESPECTIVE AGENTS

Scale: 1:100
@A3
Drawing Number: 2753-01
Rev: A

INTENTIONALLY BLANK PAGE

95-99 CHARING CROSS ROAD

NOTE: SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. DO NOT ASK TO BE ARCHITECTED AT. REFER TO RELEVANT BUILDING REGULATIONS AND BRITISH STANDARDS. DRAWINGS TO BE READ IN CONJUNCTION WITH I.F.F. DRAWINGS AND SPECIFICATION.

THERE IS A 70mm BUILDUP SHOWN ON ALL WALLS OTHER THAN ACoustic WALLS. ALL INTERIOR FINISHES TO BE FINISHED WALLS OR ACoustic WALLS. ALL SHUNT DUCTS TO BE 40mm FIRE RATED AND ACoustically SEALED WITH FLUSH ACCESS PANEL. SHUNT DUCTS TO BE IDENTIFIED BY FINISH OR APPLIANCE. ALL EXTERNAL DOORS TO BE FLUSH WITH EXTERNAL FINISHED WALLS.

ALL EXTERNAL DOORS TO BE FLUSH WITH EXTERNAL FINISHED WALLS. ALL EXTERNAL DOORS TO BE FLUSH WITH EXTERNAL FINISHED WALLS. ALL EXTERNAL DOORS TO BE FLUSH WITH EXTERNAL FINISHED WALLS.

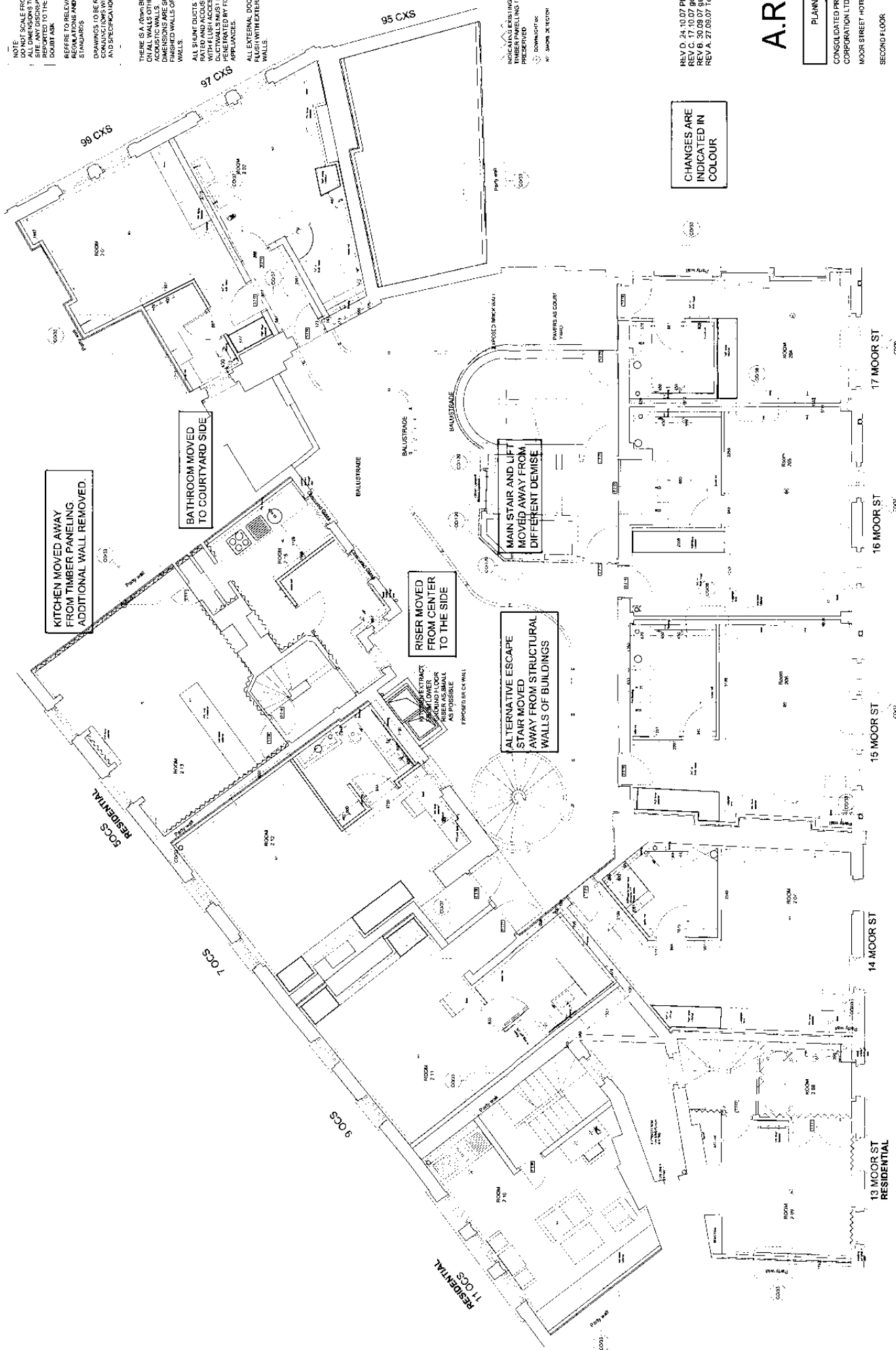
CITY OF WESTMINSTER
15.12.17 7-87112
REV D 24.10.07 PLANNING
REV B 30.09.07 structural
REV A 27.09.07 TOWER 201

A.R.T.

PLANNING
CONSOLIDATED PROPERTY CORPORATION LTD
MOOR STREET HOTEL

SECOND FLOOR 2

SCALE 1:100 @ A3 / 1:50 @ A1
SEPTEMBER 2018
DWG GA/100 2D
A.R.T. Property Developments Ltd.
100, The Quadrant, London W1 1AA
020 7461 1111
www.art-property.com
ALL RIGHTS RESERVED. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF A.R.T. PROPERTY DEVELOPMENTS LTD.



KITCHEN MOVED AWAY FROM TIMBER PANELING. ADDITIONAL WALL REMOVED.

BATHROOM MOVED TO COURTYARD SIDE

RISER MOVED FROM CENTER TO THE SIDE

ALTERNATIVE ESCAPE STAIR MOVED AWAY FROM STRUCTURAL WALLS OF BUILDINGS

MAIN STAIR AND LIFT MOVED AWAY FROM DIFFERENT DEWIS

CHANGES ARE INDICATED IN COLOUR

FOUR HOTEL ROOMS INSTEAD OF SIX ALONG MOOR STREET

7 OCS

9 OCS

13 MOOR ST RESIDENTIAL

14 MOOR ST

15 MOOR ST

16 MOOR ST

17 MOOR ST

99 CXS

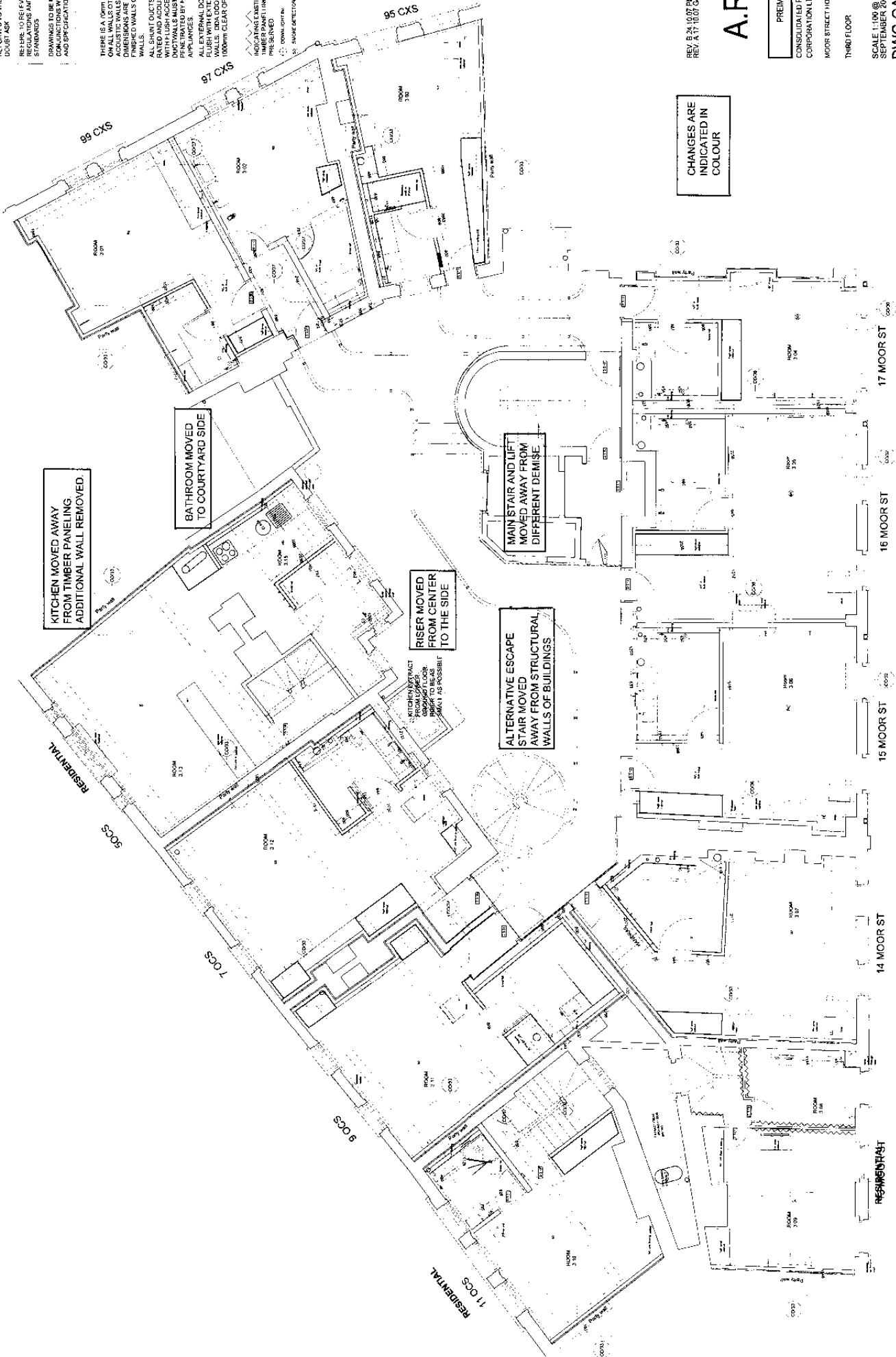
97 CXS

95 CXS

NOTE: ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE CHECKED ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. DRAWINGS TO BE MADE IN ACCORDANCE WITH THE ARCHITECT'S REGULATIONS AND BRITISH STANDARDS. DRAWINGS TO BE MADE IN ACCORDANCE WITH THE ARCHITECT'S REGULATIONS AND BRITISH STANDARDS.

THERE IS A 100mm BUILD UP SHOWN ON ALL WALLS UNLESS OTHERWISE SPECIFIED. DIMENSIONS ARE GIVEN FROM FINISHED WALLS OR ACoustic WALLS. ALL LIGHT FIXTURES TO BE 60 WATT FIRE RATED AND ACCIDENTALLY SEALED WITH FLUSH ACCESS PANEL. SHUNT SWITCHES TO BE 10Amp 250V OR APPLIANCES. ALL EXTERNAL DOORS TO BE FLUSH WITH EXTERNAL FINISHED SURFACE. ALL EXTERNAL DOORS TO BE 1000mm CLEAR OPENING.

INDICATING EXISTING TIMBER PAINTINGS TO BE PRESERVED. DOWN LIGHTS. SMOKE DETECTOR.



KITCHEN MOVED AWAY FROM TIMBER PANELING. ADDITIONAL WALL REMOVED.

BATHROOM MOVED TO COURTYARD SIDE

RISER MOVED FROM CENTER TO THE SIDE

ALTERNATIVE ESCAPE STAIR MOVED AWAY FROM STRUCTURAL WALLS OF BUILDING

MAIN STAIR AND LIFT MOVED AWAY FROM DIFFERENT DEMISE

CHANGES ARE INDICATED IN COLOUR

FOUR HOTEL ROOMS INSTEAD OF SIX ALONG MOOR STREET

CITY OF WESTMINSTER
1972-73 - 87/1022

REV. B 24.10.07 PLANNING
REV. A 17.10.07 General Revision

A.R.T.

PREMIARY CONSOLIDATED PROPERTY CORPORATION LTD

MOOR STREET HOTEL

3

SCALE 1:100 @ A3 | 1:300 @ A1
SEPTEMBER 2007

DWG GA/100_3B

A.R.T. Property Developments Ltd.

11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

NOTE: SCALE FROM THIS DRAWING IS TO BE USED FOR ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS TO BE CHECKED ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IN WRITING. DRAWINGS TO BE READ IN CONJUNCTION WITH M.C. DRAWINGS AND SPECIFICATION.

THERE IS A FORM BUILD-UP SHOWN FOR THE RISER. THE RISER SHALL BE 90mm FRP RATED AND ACCoustICALLY SEALED WITH FLUSH ACCESS PANEL. SHUNT PENETRATED BY FIXINGS OR APPLIANCES. ALL EXTERNAL DOORS TO BE 1000mm CLEAR OPENING. WALLS 100mm CLEAR OPENING.

INDICATING EXISTING WALLS SHALL NOT BE PRESERVED. DO NOT SCALE TO THIS DRAWING. DO NOT SCALE TO THIS DRAWING.

CITY OF WESTMINSTER
11 07 - 0711822
CITY OF WESTMINSTER

REV A 24/10/21 PLANNING

A.R.T.

PLANNING

CONSOLIDATED PROPERTY CORPORATION LTD
MOOR STREET HOTEL

FOURTH FLOOR 4

SCALE: 1:100 @ A3 / 1:50 @ A1

DWG GA100_4A

ART Property Developments Ltd.
100, Abchurch Lane, London EC4N 3DF
Tel: 020 7460 1000
www.artproperty.com
© 2021 ART Property Developments Ltd. All Rights Reserved.

CHANGES ARE INDICATED IN COLOUR.

KITCHEN MOVED AWAY FROM TIMBER PANELING. ADDITIONAL WALL REMOVED.

BATHROOM MOVED TO COURTYARD SIDE

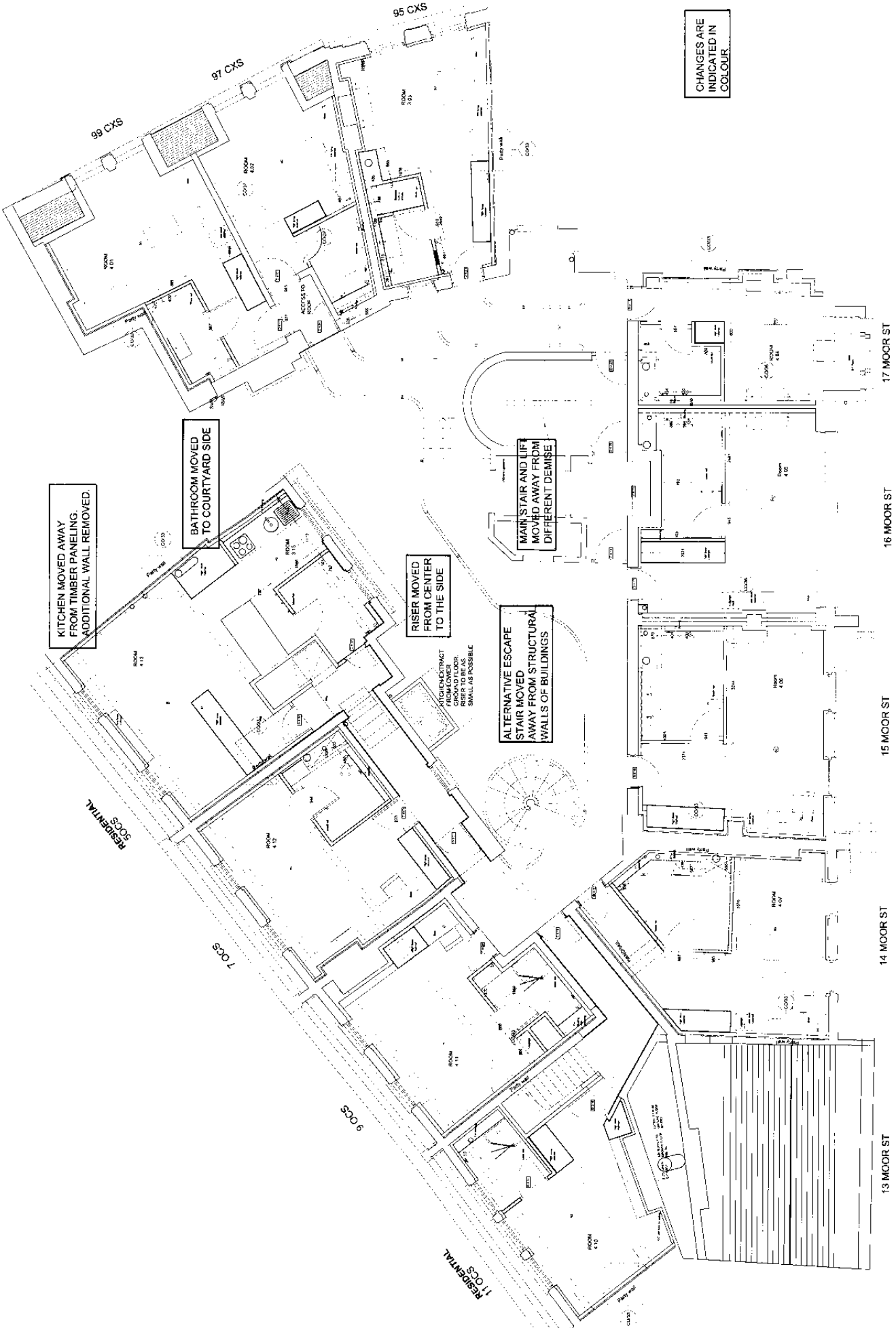
RISER MOVED FROM CENTER TO THE SIDE

ALTERNATIVE ESCAPE STAIR MOVED AWAY FROM STRUCTURAL WALLS OF BUILDINGS

MAIN STAIR AND LIFT MOVED AWAY FROM DIFFERENT DEMISE

KITCHEN EXTRACT RISER TO BE AS SMALL AS POSSIBLE

FOUR HOTEL ROOMS INSTEAD OF SIX ALONG MOOR STREET



NOTE: NOT SCALE FROM THIS DRAWING
 ALL DIMENSIONS TO BE CHECKED ON
 SITE AND DISCREPANCIES TO BE
 REPORTED TO THE ARCHITECT IN
 WRITING.
 REFER TO RELEVANT BUILDING
 REGULATIONS AND BRITISH
 STANDARDS
 DRAWINGS TO BE READ IN
 CONJUNCTION WITH THESE DRAWINGS
 AND SPECIFICATION.

1. ALL COLUMNS AND BEAMS TO BE CLAD
 WITH ALUMINIUM PANELS TO MATCH
 EXISTING AND FRAMELESS ACCESS
 PANELS ON EACH FLOOR.
 2. ALL GLASS PARTS TO BE FRAMELESS IN
 FRAMELESS FINISH ACCESS
 PANELS TO BE PROVIDED FOR
 MAIN ENTRANCE.

- KEY
1. CHECK WORK WALL
 2. DAMP PROOF LINING
 3. PLASTERBOARD LINING AS K10
 4. CEILING LINING AS K10
 5. CEILING AS K10
 6. CEILING PARTITION AS K10
 7. FLOOR
 8. FLOOR
 9. MAJOR CLADDING AS K13
 10. EXPOSED BRICK
 11. EXPOSED BRICK
 12. EXPOSED BRICK
 13. FLOOR DOORS ON FIELD SERVICE
 14. TOILET CUBICLES
 15. TOILET CUBICLES
 16. TOILET CUBICLES
 17. DESK COUNTER
 18. BLANKET
 19. BLANKET
 20. BEAM LINE
 21. FIRE MARKER
 22. FIRE MARKER
 23. FIRE MARKER
 24. FIRE MARKER
 25. SINK AS N13
 26. SINK AS N13
 27. SINK AS N13
 28. TELEPHONE
 29. SWITCH
 30. SWITCH
 31. BOARD TRUCKER
 32. ENTRANCE MAT

COPY COPY
 TP: 101010
 RN: 01/10/2008

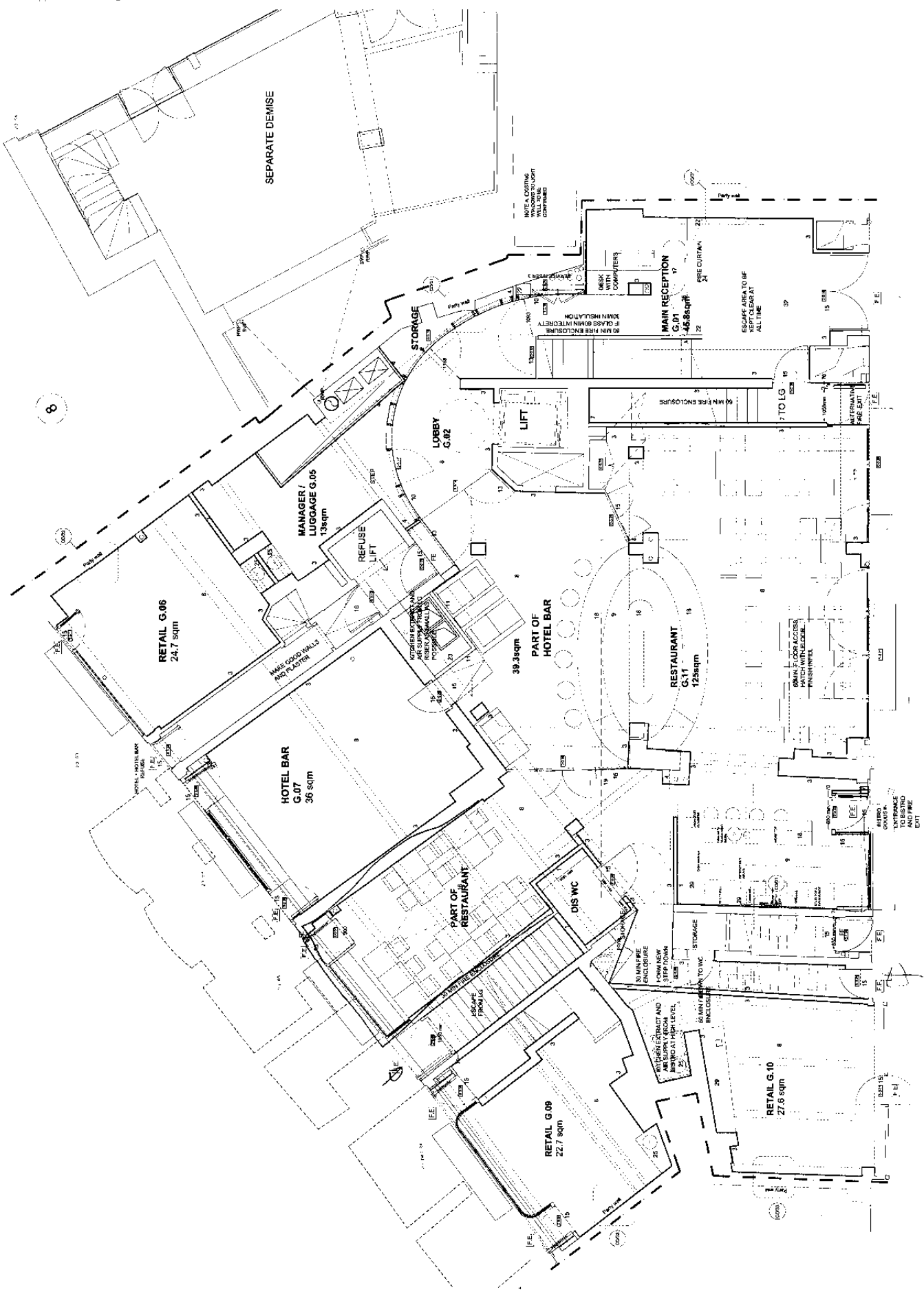
REV: 5 25/08/08
 REV: 6 04/11/07
 REV: 7 08/10/07
 REV: 8 08/10/07

A.R.T.

PLANNING
 CONSOLIDATED PROPERTY
 CORPORATION LTD
 MOOR STREET HOTEL

OG
 SCALE 1:100 @ A3 / 1:50 @ A1
 SEPTEMBER 2007

DWG GA/100_00E
 A.R.T. Property Developments Ltd
 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000



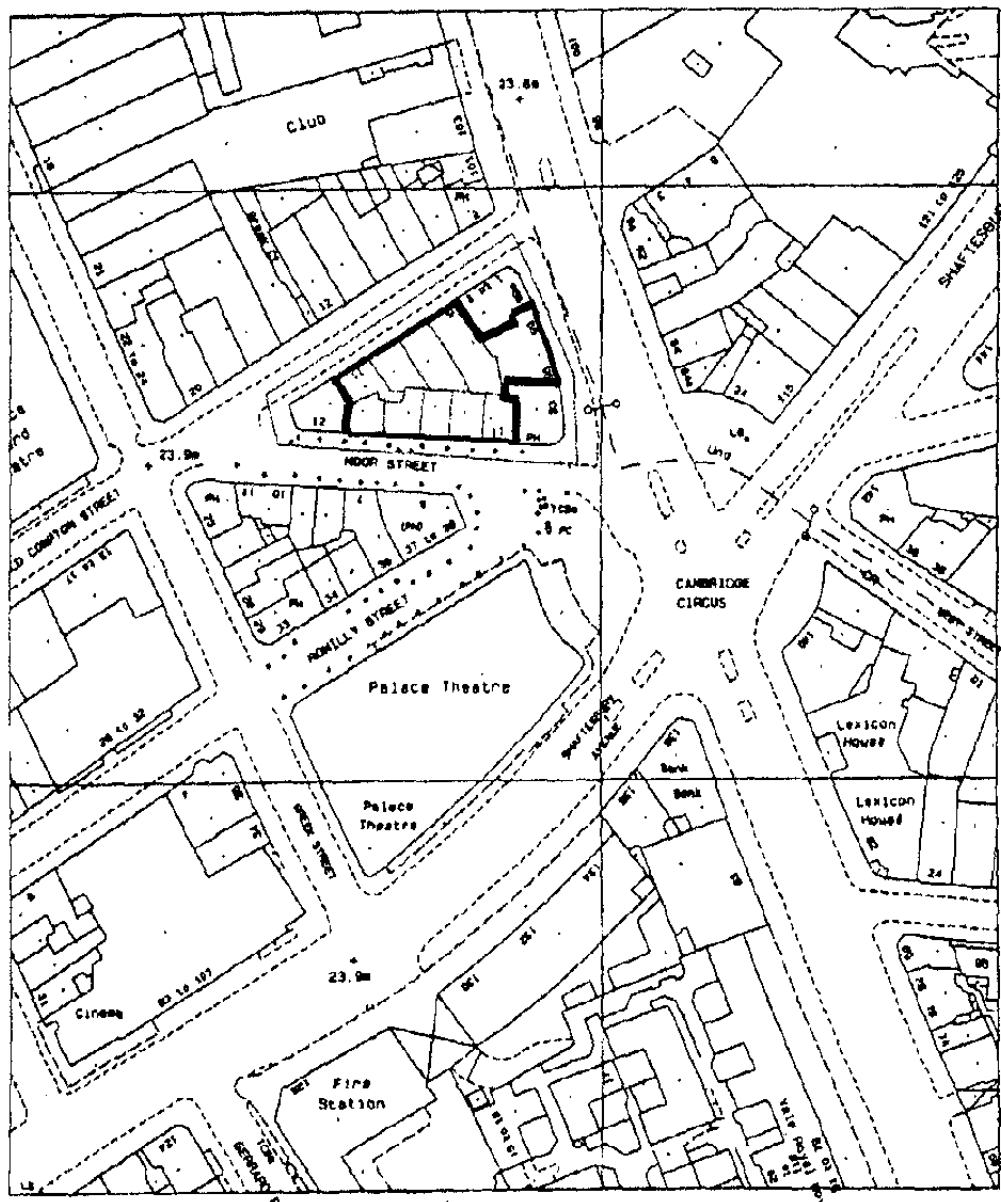
ENTRANCE
 ENTRANCE
 AND FIRE
 EXIT

CITY OF WESTMINSTER
 19 12 07 - 0 7 1 1 0 2 2
 DEPARTMENT OF PLANNING AND CITY DEVELOPMENT

298

299

181100m



181000m

180900m

298

299

22966m

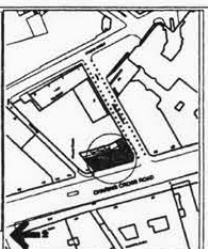
MOOR ST. TRIANGLE SITE - LOCATION

1:1250

104-110 CHARING CROSS ROAD

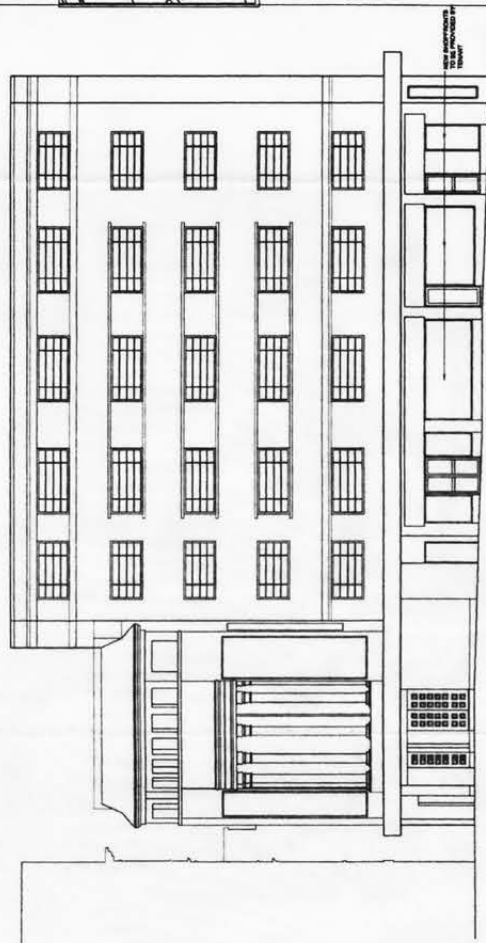
NOTES:

The general arrangement is indicated by the location of all new construction. The existing structure is shown in grey. Do not scale from this drawing. Use figures wherever applicable.

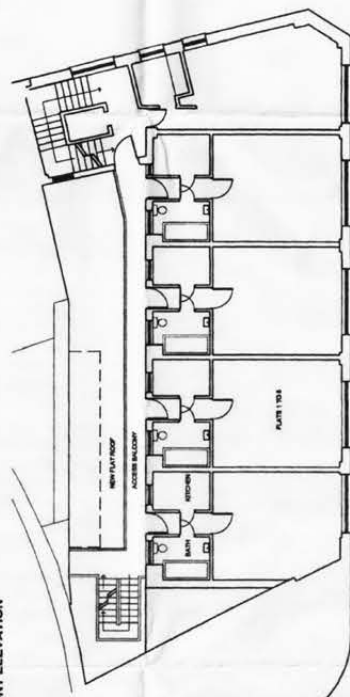


This drawing is the drawing attached to and approved under Planning Approval reference 2010/0241/P dated 2nd July 2010.

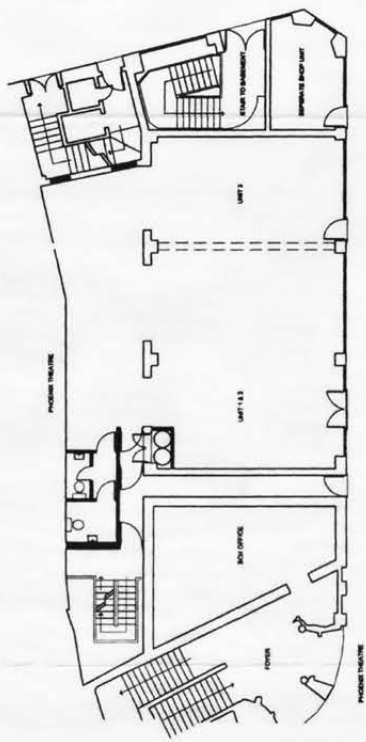
BRIAN JANDRY ASSOCIATES Chartered Building Surveyors 35 St. North Row London EC4A 3DF Tel: 020 7491 4622 Fax: 020 7491 4627 E-mail: info@bjandry.co.uk W: www.bjandry.co.uk	
PROJECT: 104-110, CHARING CROSS ROAD LONDON	
DRAWING TITLE: AS PROPOSED PLANS, ELEVATION (FRONT) & SECTION	
CLIENT: J0000000000	AUTOCAD FILE NAME: 104CHAS002
DRAWN BY: D.S.W.	SCALE: 1:100
CHECKED BY: DANIEL W.	DATE: 10/07/2010
DRAWING NO. 104/CHA/002	REV NO. A



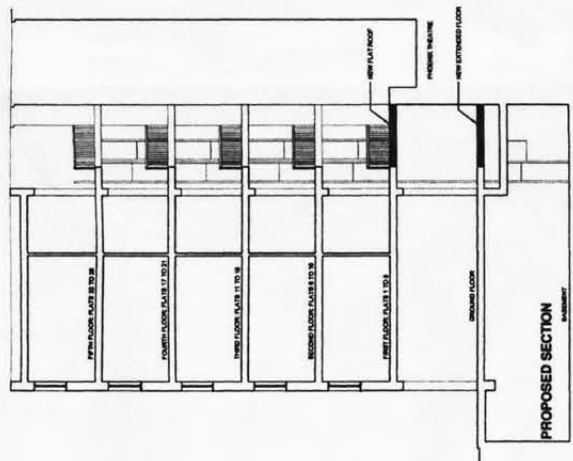
EXISTING FRONT ELEVATION



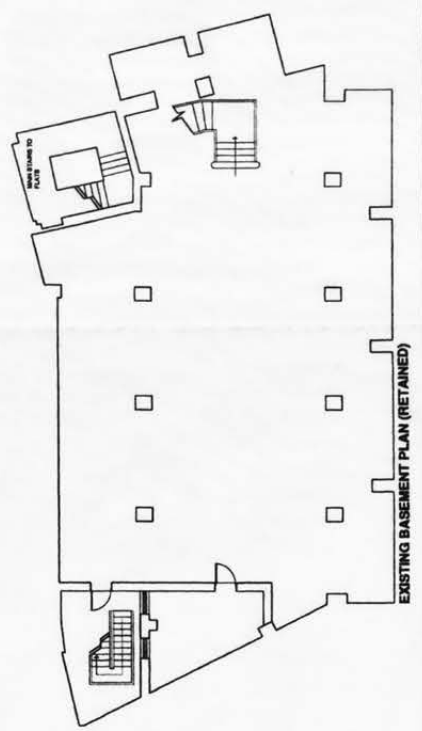
PROPOSED FIRST FLOOR PLAN, TYPICAL FOR FLOORS 1 TO 5



PROPOSED GROUND FLOOR PLAN



PROPOSED SECTION



EXISTING BASEMENT PLAN (RETAINED)

The 6th Floor

- entry hall, storage and laundry
- platform lifts and stairs, to the 7th floor
- 2 no. double bedrooms with en-suite bathrooms and wardrobe storage
- nominal balcony amenity space

Gross internal area flat 1 - 79 m²

Gross internal area flat 2 - 77 m²



6th Floor Plan

The 7th Floor

- platform lift and stairs to roof
- open plan living/dining space
- open plan kitchen
- access from flat 2 to roof top deck/amenity area above existing stair and lift core

Gross internal area flat 1 - 84 m²

Gross internal area flat 2 - 86 m²



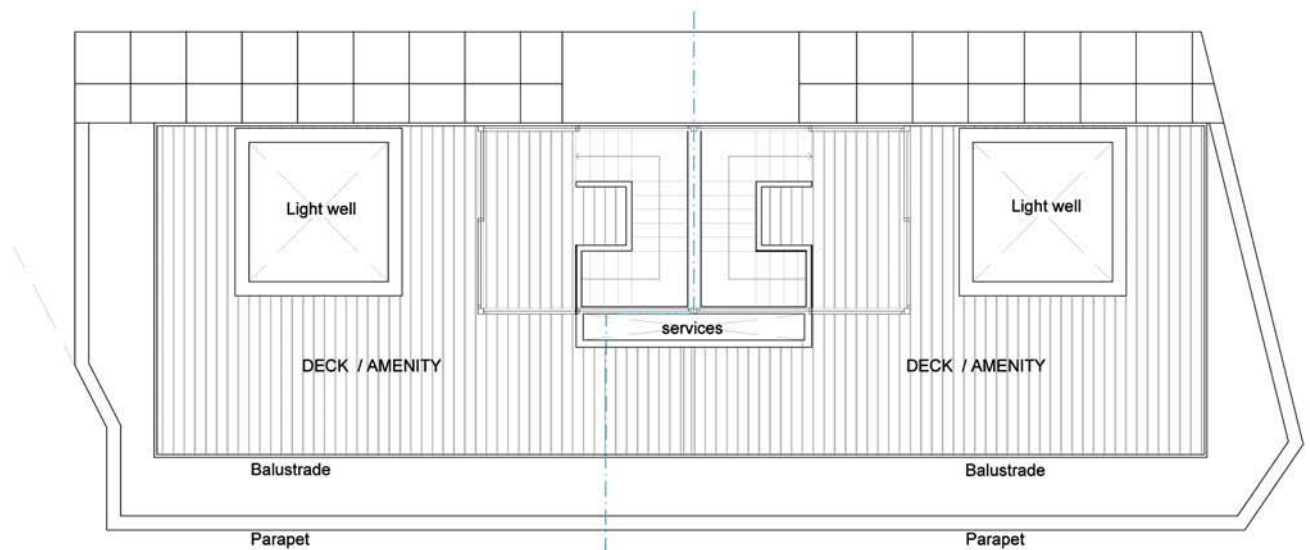
7th Floor Plan

The Roof

- Lightweight roof top access structure, deck and amenity space with perimeter balustrade.
- enclosed roof top services

Gross internal area flat 1 - 16 m²

Gross internal area flat 2 - 16 m²



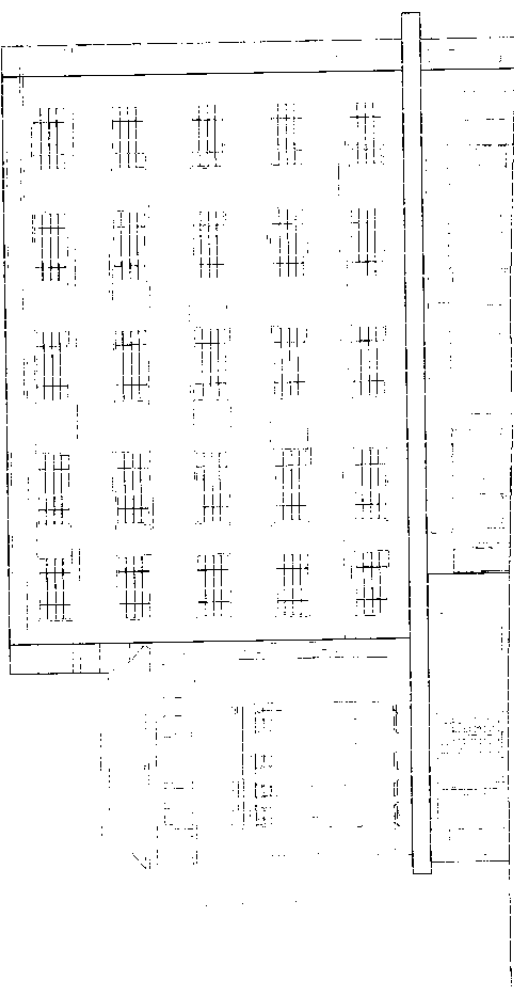
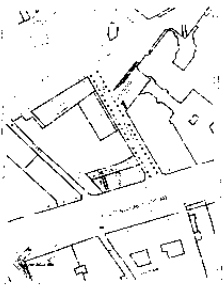
Roof top plan/amenity space

Total gross internal areas flat 1 - 179 m² (excl. amenity)

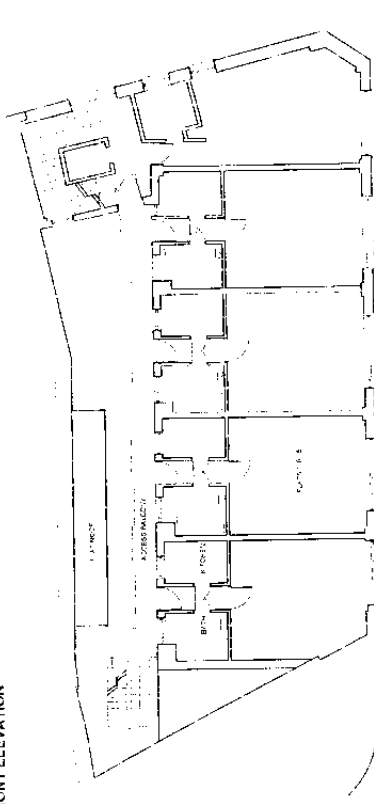
Total gross internal areas flat 2 - 179 m² (excl. amenity)

Notes

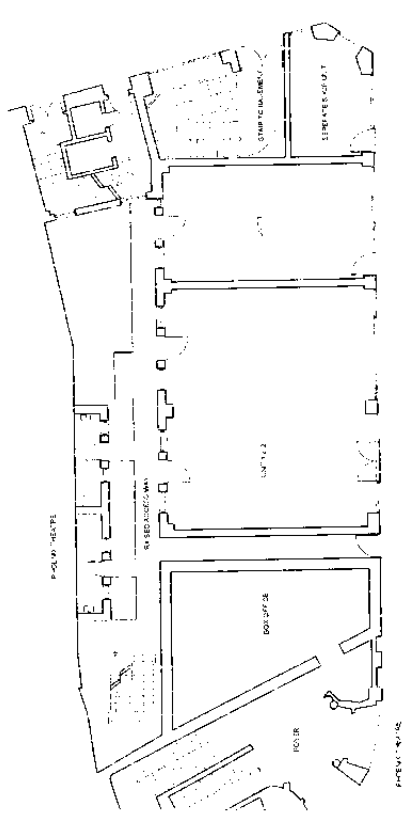
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING REGULATIONS AND THE NATIONAL BUILDING CODE OF AUSTRALIA.



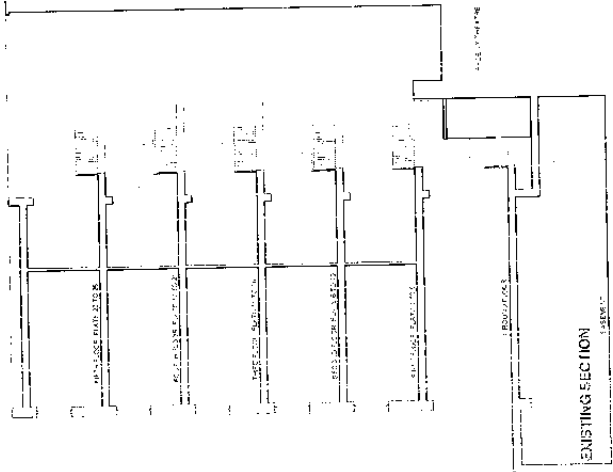
EXISTING FRONT ELEVATION



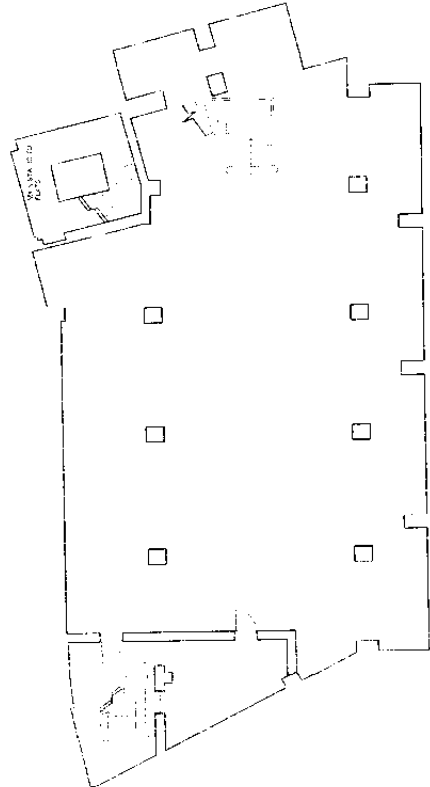
EXISTING FIRST FLOOR PLAN, TYPICAL FOR FLOORS 1 TO 5



EXISTING GROUND FLOOR PLAN



EXISTING SECTION

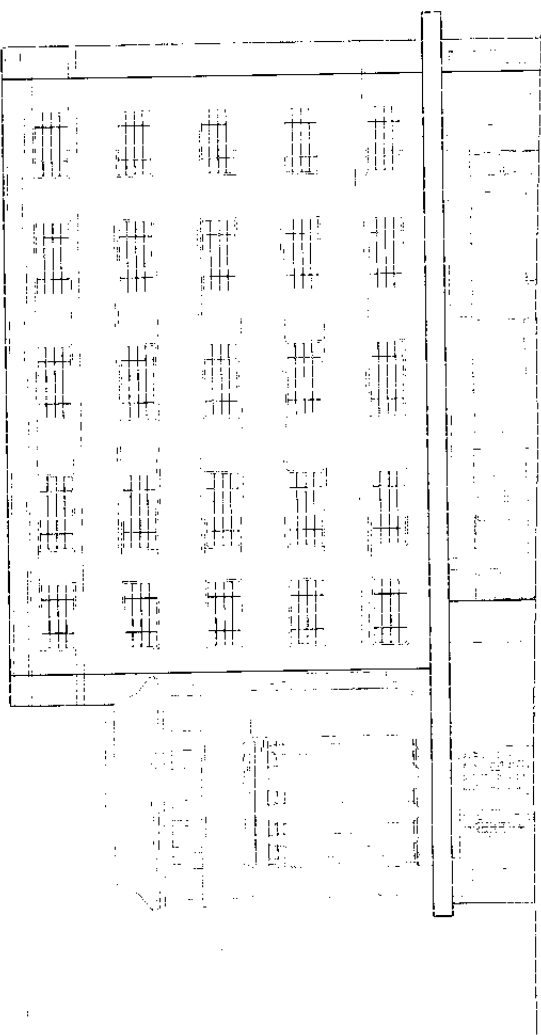
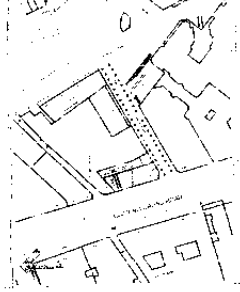


EXISTING BASEMENT PLAN

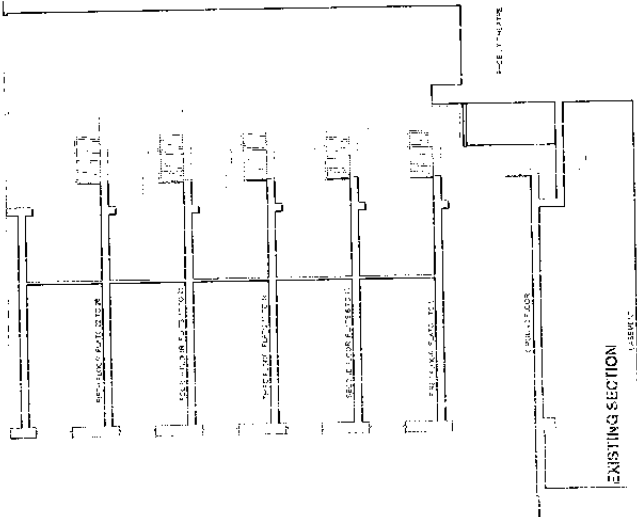
BRIAN LAMDEN ASSOCIATES Chartered Building Surveyors Level 10, 100 Market Street Sydney NSW 2000 Phone: (02) 9231 4333 Fax: (02) 9231 4337 Email: brian@brianlamden.com.au Website: www.brianlamden.com.au		PROJECT: 100-110, CHAPING CROSS ROAD LONDON DRAWING TITLE: AS EXISTING PLANS, ELEVATION (FRONT) & SECTION CLIENT: XXXXXXXXXXXXXXXX ALLOCATED FILE NAME: PROJECT NO: DRAWN BY: CHECKED BY: DATE: SCALE: 1:50 DRAWN BY: DANIEL W. BROWN CHECKED BY: DANIEL W. BROWN DATE: 10/01/2010	
DRAWING NO.: 104/CHA/001 SHEET NO.: A			

NOTES

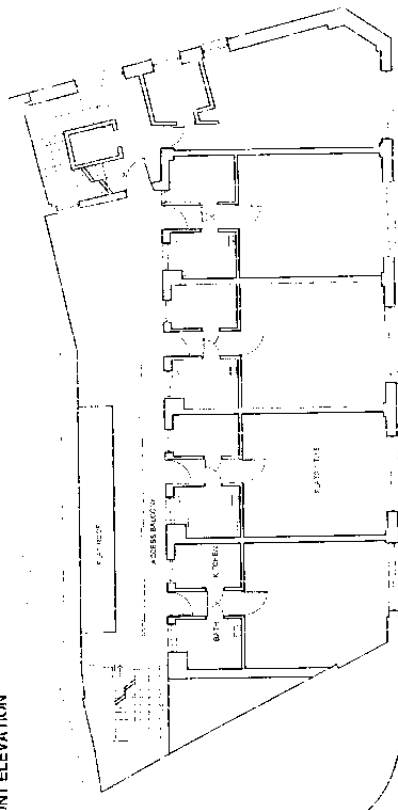
The owner represents that the information provided herein is true and correct to the best of their knowledge and belief. The architect assumes no responsibility for the accuracy of the information provided.



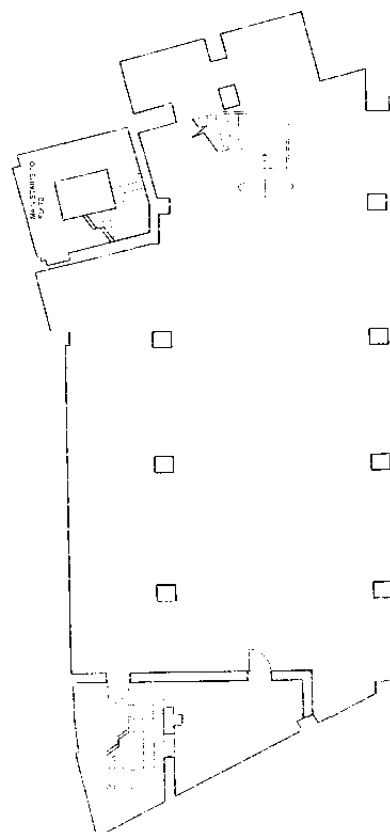
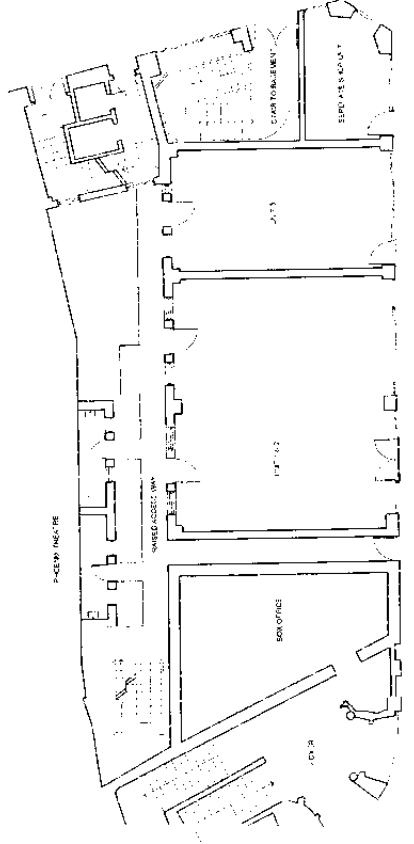
EXISTING FRONT ELEVATION



EXISTING SECTION



EXISTING FIRST FLOOR PLAN, TYPICAL FOR FLOORS 1 TO 5



BRYAN LANDIN ASSOCIATES
 Chartered Building Surveyors
 311, Cannon Row
 London
 Tel: 020 7461 4332
 Fax: 020 7461 4327
 e: b.lain@bryanlandin.co.uk
 w: www.bryanlandin.co.uk

PROJECT
 106 - 110 CHAFFING CROSS ROAD
 LONDON

CLIENT
 XXXXXXXXXXXXX

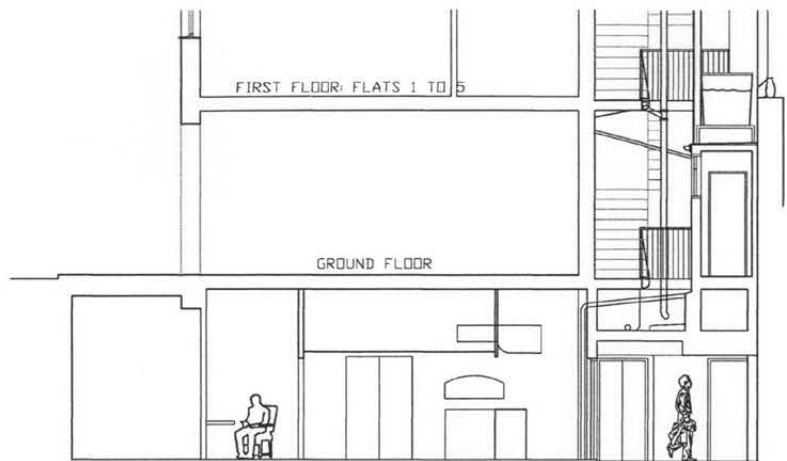
DATE
 10/06/2010

SCALE
 1:100

DATE
 10/06/2010

BY
 C. LAIN

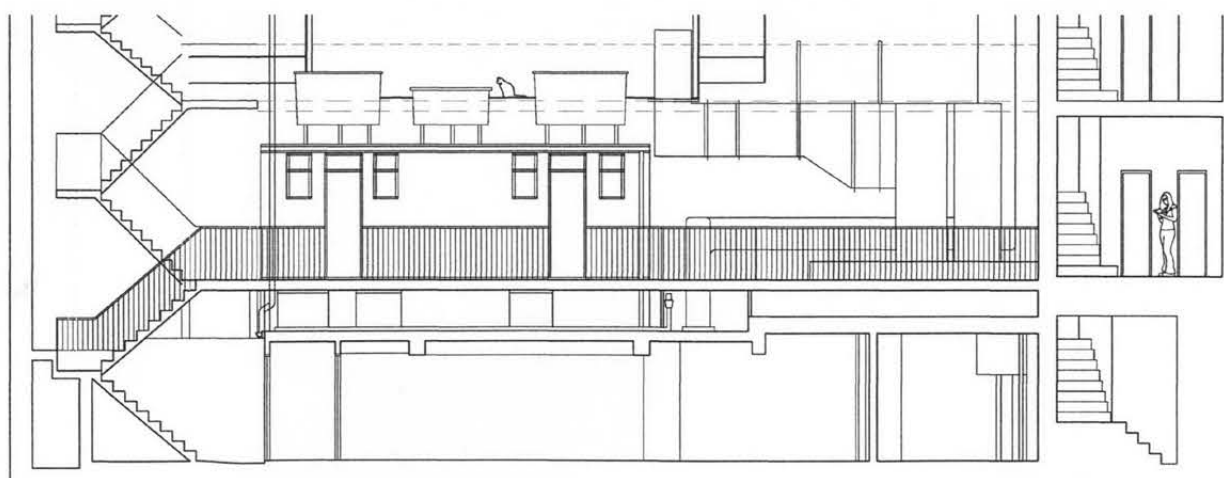
**AS EXISTING
 PLANS, ELEVATION (FRONT)
 & SECTION**



EXISTING SECTION B-B
SCALE 1:50

- ▽ 1st
- ▽ Ground Level
- ▽ Basement Roof Level
- ▽ Basement Level

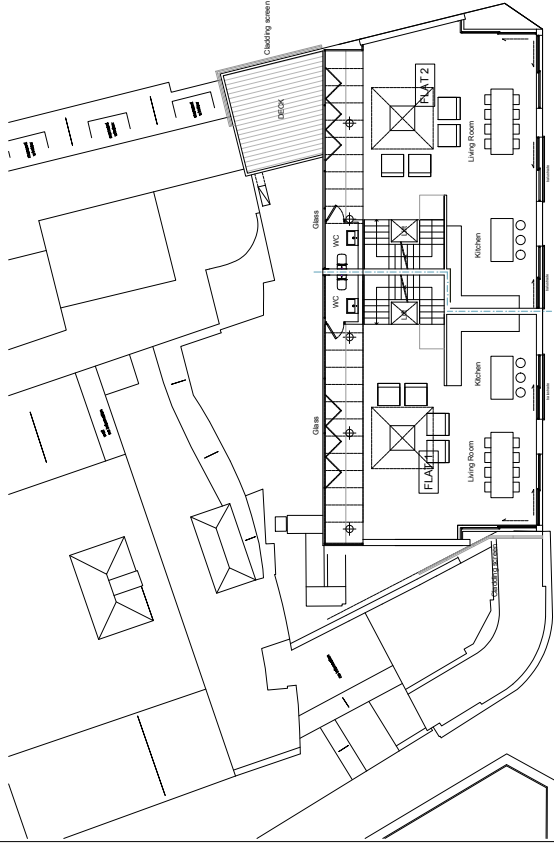
RECEIVED
08 DEC 2011



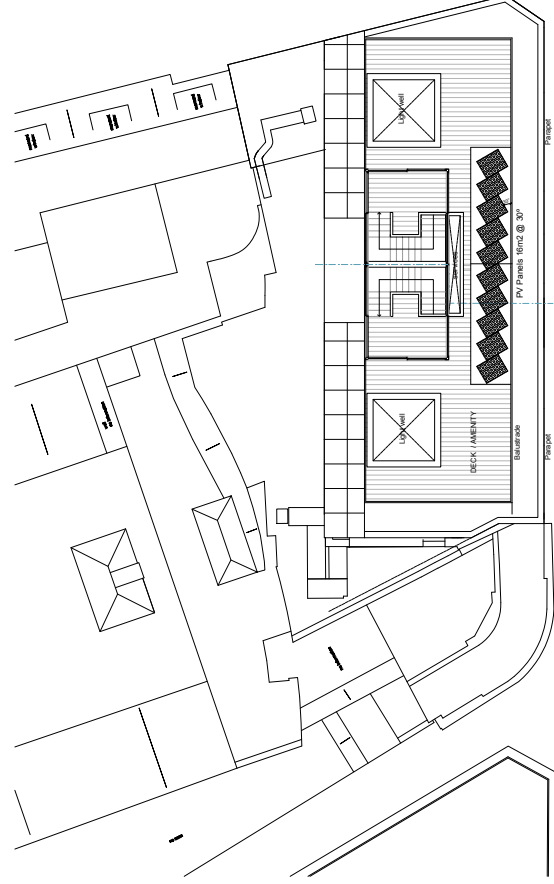
EXISTING SECTION A-A
SCALE 1:50

- ▽ 1st
- ▽ Ground Level
- ▽ Basement Roof Level
- ▽ Basement Level

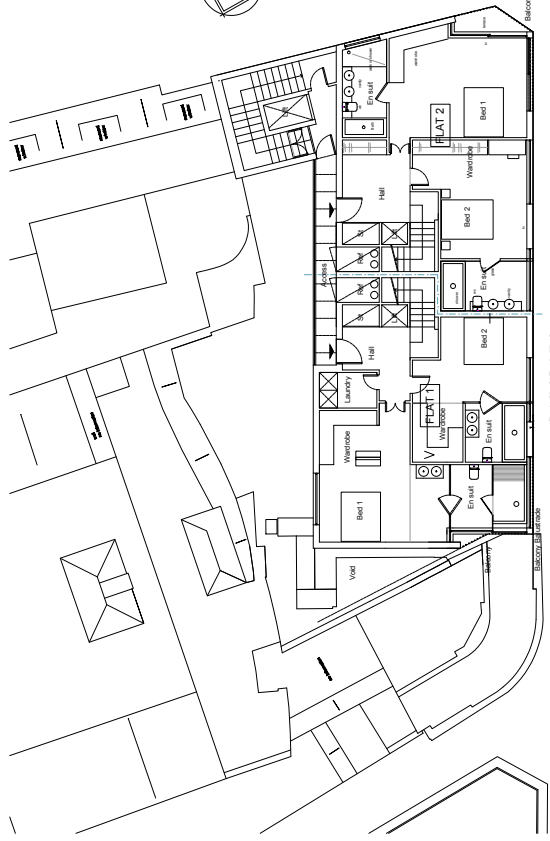
REVISIONS		MISC. ADJUSTMENTS	
No.	Date	By	Drawn
chartered building surveyors CWA cwa ltd			
19 ORANGERY LANE BELTAM LONDON EC2P 1JH Tel: 020 8820 8800 Fax: 020 8820 7000 Email: mail@cwa.ltd.uk Web: www.cwa.ltd.uk			
Client			
POWS STREET PROPERTIES			
Job Title			
106 - 110 CHARING CROSS ROAD LONDON WC2H 8EU			
Drawing Title			
EXISTING SECTIONS A-A & B-B			
Scale		Date	
AS SHOWN @ A1		01/08/11	
Drawing No.		Rev.	
F-0077-03		B	



PROPOSED LEVEL 7
 (Flat 1: 1.30m² / Flat 2: 0.81m²)



PROPOSED ROOF



PROPOSED LEVEL 6
 (Flat 1: 1.30m² / Flat 2: 0.77 m²)

This drawing is the property of Life Designs and is issued on the condition that it not be reproduced or copied to any unauthorised person in whole or part without prior written consent.
 No dimensions are to be scaled from this drawing all dimensions stated must be verified on site.
 The architect must be advised of any discrepancies prior to any item of work being put in hand.
 This drawing must be read together with the specification, bill of quantities and related drawings



Jillie Vinters, Ie
 Bendinat, 07181, Cayis
 Mallorca - Spain
 T +34 871 115 433
 m. +34 608 932 748
 aa_lifedesigns@gmail.com

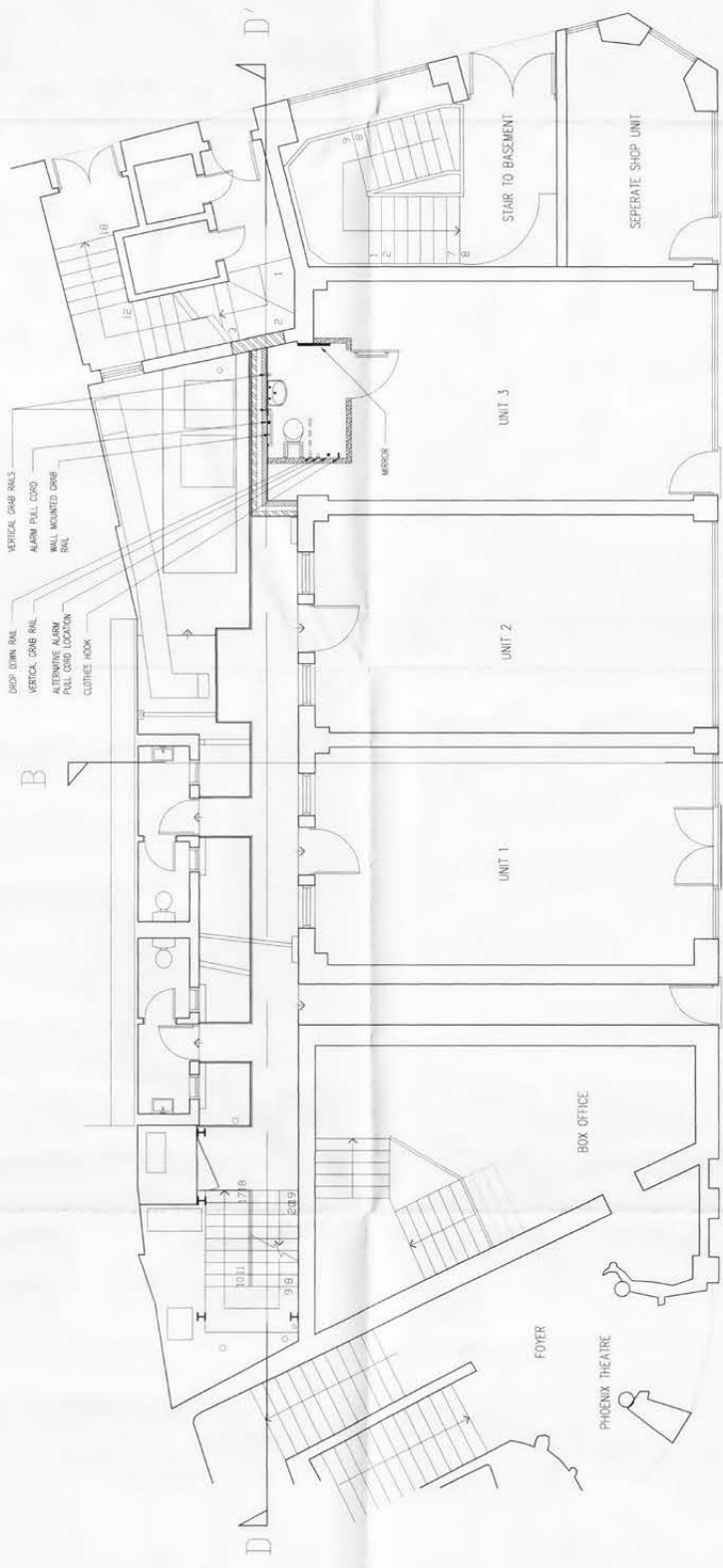
Project: Phoenix House 104-110 Charing Cross Road, London WC2 0J.P

Client: Mr. & Mrs H.S. Markham & The Hallam partnership LLP

Title: Proposed floor plans levels 6,7 & Roof

Situation: Planning

Project No: 259 Date: 09 / 2016 Scale: 1/100 (A1) Drawing No: (P) 004 Rev:



PROPOSED GROUND FLOOR PLAN
SCALE 1:50

C 12/07/11		AWOP MOMENTS	
B 12/07/11		AWOP MOMENTS	
Rev	Date	By	Drawn
 Charters building surveys cwa ltd			
10 CHANCERY LANE LONDON WC2N 8JL Tel: 020 880 8000 Email: info@cwa.co.uk Web: www.cwa.co.uk			
Client: POWIS STREET PROPERTIES Job Title: 106 - 110 CHANCERY CROSS ROAD LONDON WC2H 8BU Drawing Title: PROPOSED GROUND FLOOR PLAN Scale: AS SHOWN @ A1 Date: 01/08/11 Drawing No: F-0077-04 Rev: C			

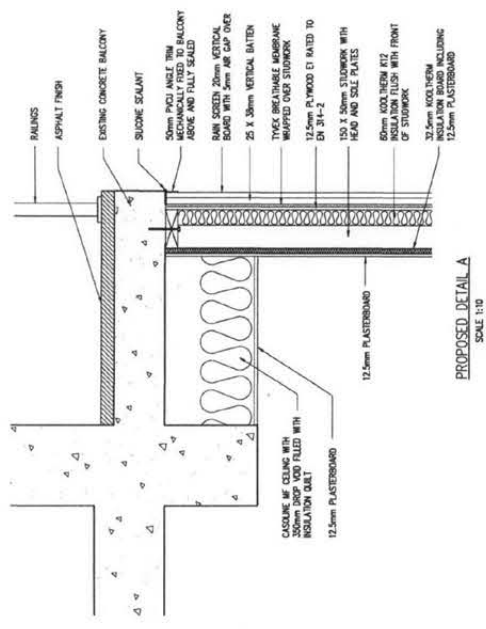
RECEIVED
08 DEC 2011

CWA
cwa ltd
19 CHANCERY LANE
LONDON
E8 3BN
Tel: 020 888 8828
Fax: 020 888 8829
Email: info@cwa.ltd.uk
Web: www.cwa.ltd.uk

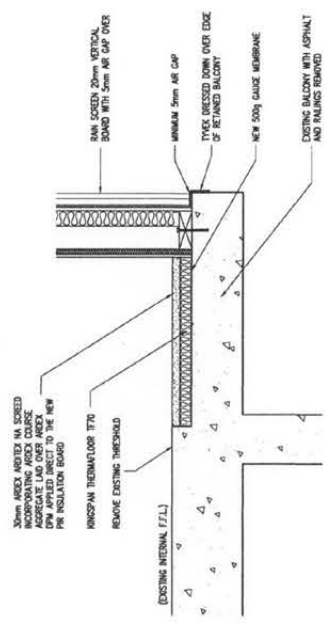
Client: POMS STREET PROPERTIES
Job Title: 106 - 110 CHARING CROSS ROAD
LONDON WC2H 8BU

Drawing Title: PROPOSED SECTIONS AND DETAILS
Scale: AS SHOWN @ A1
Date: 06/12/11

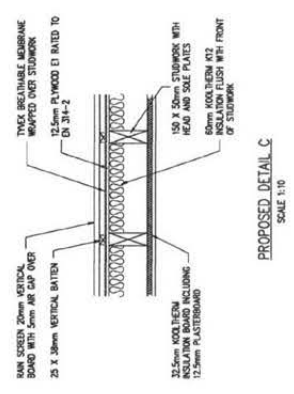
Drawing No: F-0077-06
Rev: A



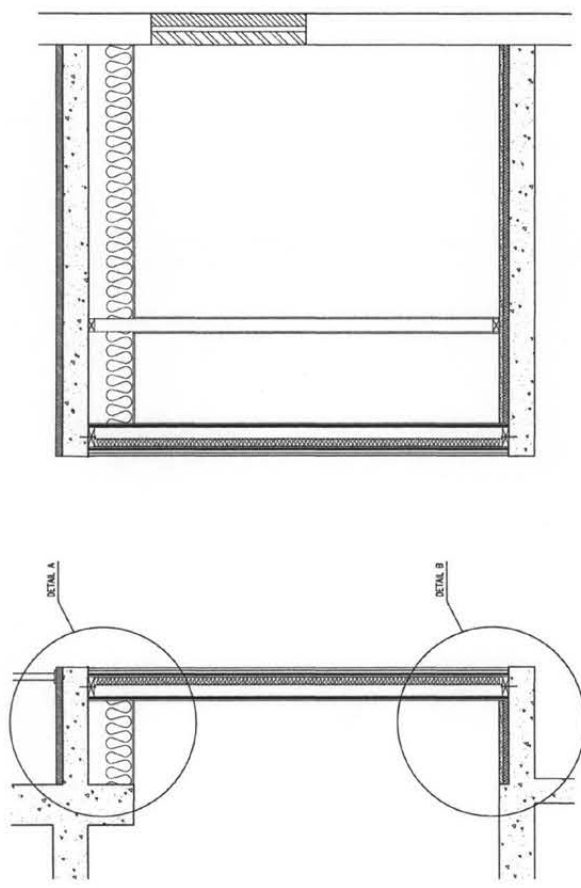
PROPOSED DETAIL A
SCALE 1:10



PROPOSED DETAIL B
SCALE 1:10

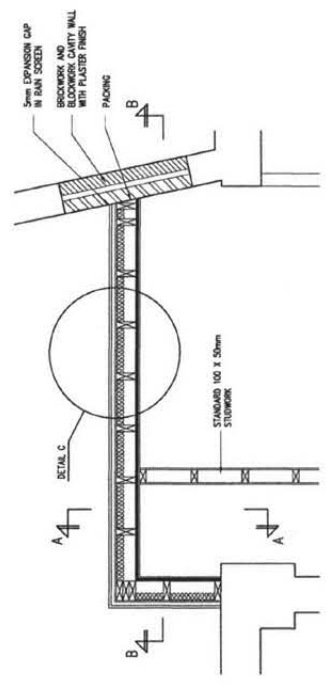


PROPOSED DETAIL C
SCALE 1:10



PROPOSED SECTION B-B
SCALE 1:20

PROPOSED SECTION A-A
SCALE 1:20

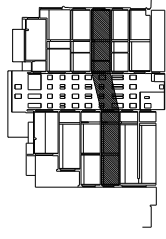


PROPOSED FLOOR PLAN
SCALE 1:20

107-109 CHARING CROSS ROAD



key



notes

 hatch denotes extent of demolition

Drawing based upon Drivas Ikonas measured survey of March 2009

This drawing is the property of Lifschutz Davidson Sandilands Ltd. No part hereof or copy of it may be made without the written permission of Lifschutz Davidson Sandilands Ltd.

key plan



project

107-109 Charing Cross Road
London W1

client

Noved Investment One Ltd / HINES UK

architect

**Lifschutz
Davidson
Sandilands**

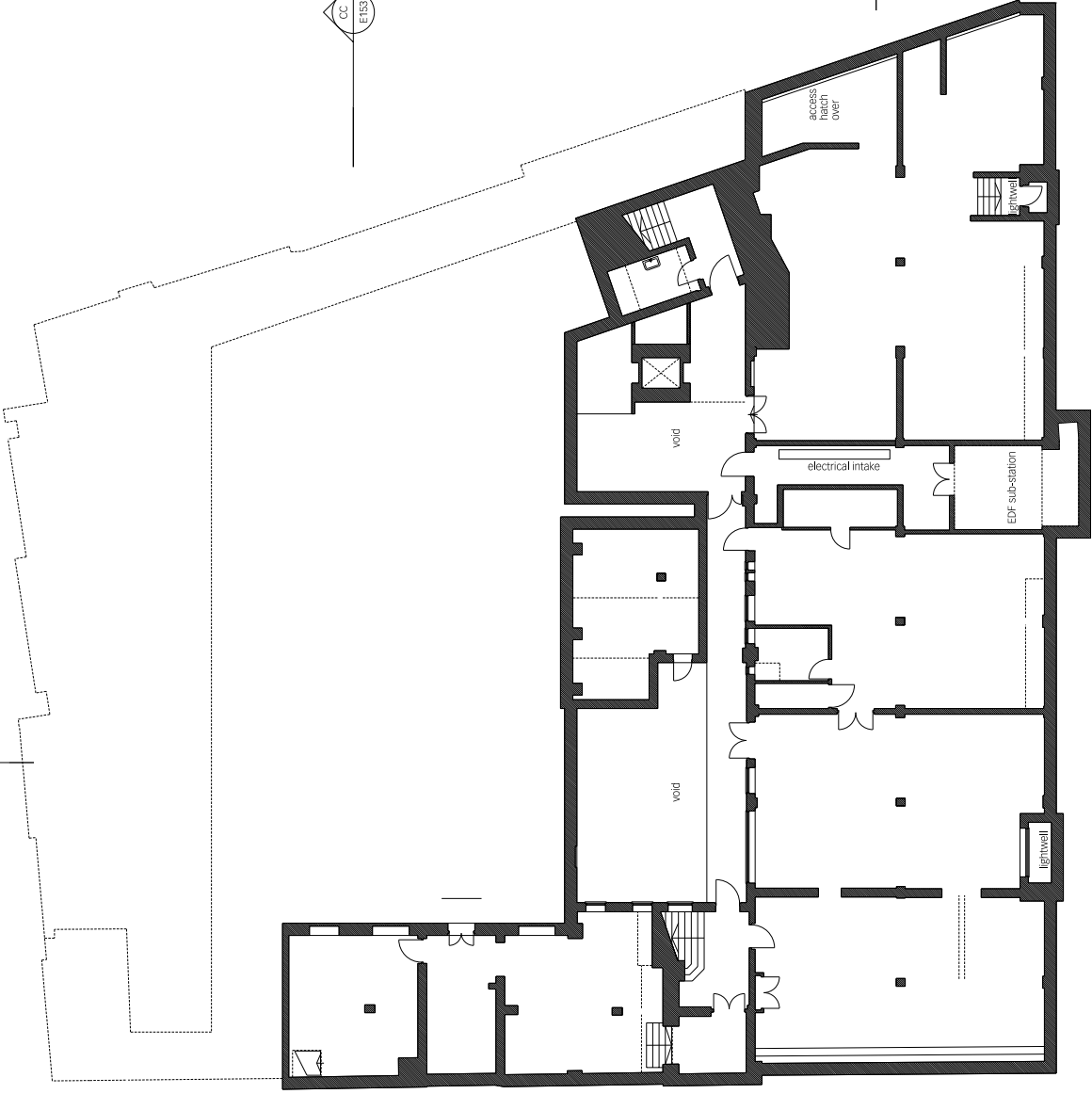
Island Studios
22 St. Peter's Square
London W1P 6AA
United Kingdom
T +44 (0)20 8400 4800
F +44 (0)20 8400 4700
info@lifsd-s.com

drawing title

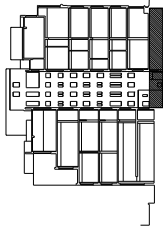
demolition second floor plan

scale at A1 1:100 scale at A3 1:200 scale at A4 1:400 scale at A5 1:800 scale at A6 1:1600 scale at A7 1:3200 scale at A8 1:6400 scale at A9 1:12800 scale at A10 1:25600

job no. 0772 drawing P304 rev. -



key



notes

Drawing based upon Drivas Jonas measured survey of March 2009

This drawing is the property of Lifschutz Davidson Sandilands Ltd. No part of this copy of it may be made without the written permission of Lifschutz Davidson Sandilands Ltd.

key plan



project

107-109 Charing Cross Road
London W1

client

Noved Investment One Ltd / HINES UK

architect

**Lifschutz
Davidson
Sandilands**

Island Studios
22 St. Peter's Square
London W1P 8AA
United Kingdom
T +44 (0)20 8600 4800
F +44 (0)20 8600 4700
mail@lids-a.com

drawing title

Existing basement plan

scale at A1 scale at A3

1:100 1:200

TN

drawn date

02.11

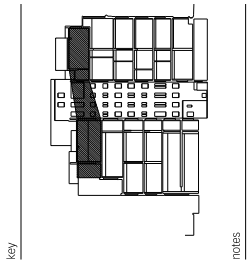
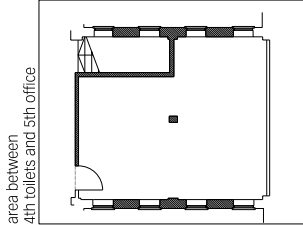
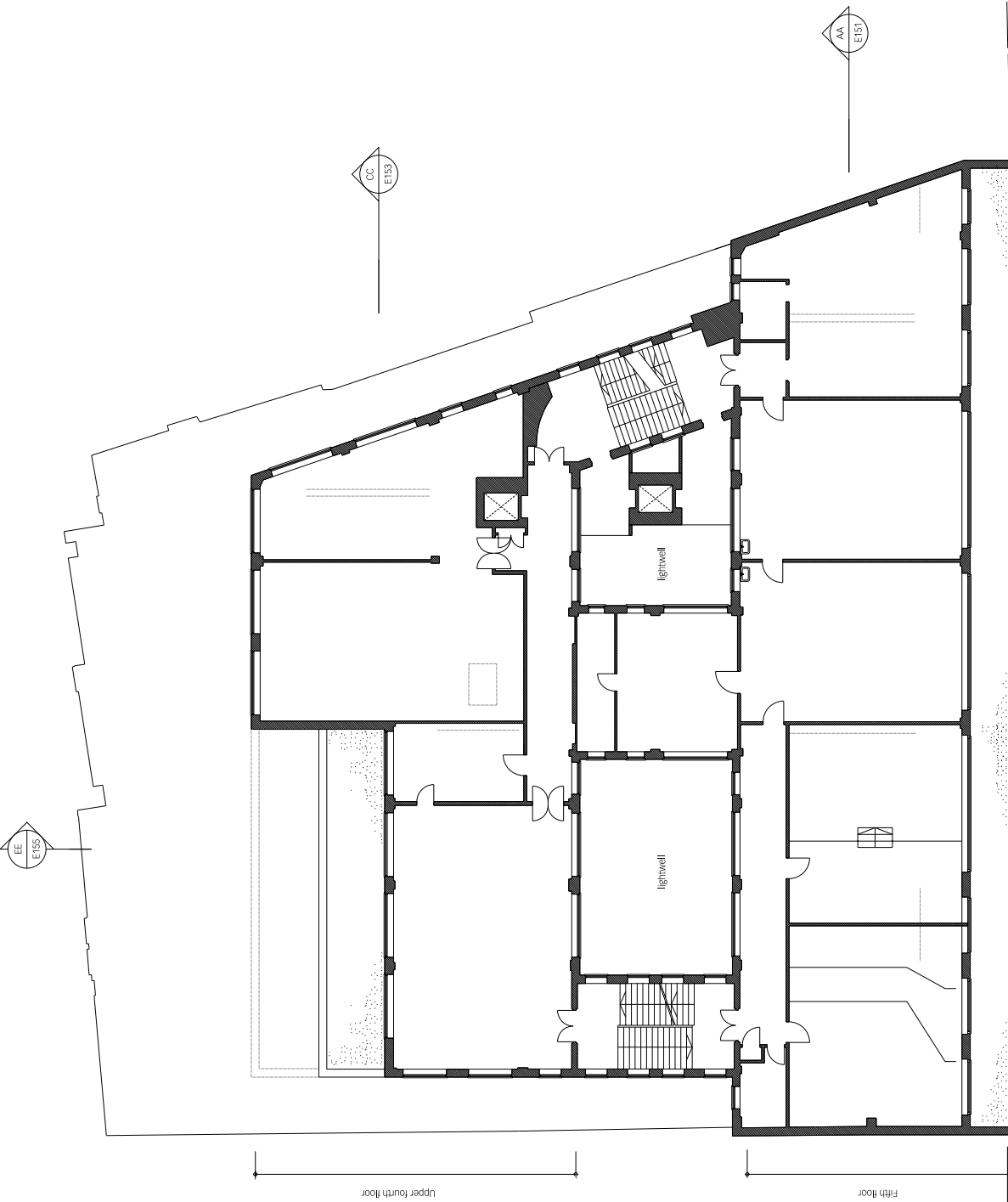
job no.

0772

drawing

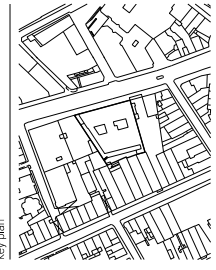
rev.

P201



Drawing based upon Divivas Jonas measured survey of March 2009

This drawing is the property of Lifschutz Davidson Sandilands Ltd. No data here or copy of it may be made without the written permission of Lifschutz Davidson Sandilands Ltd.



key plan

project
107-109 Charing Cross Road
London W1

client
Noved Investment One Ltd / HINES UK

architect
Lifschutz
Davidson
Sandilands

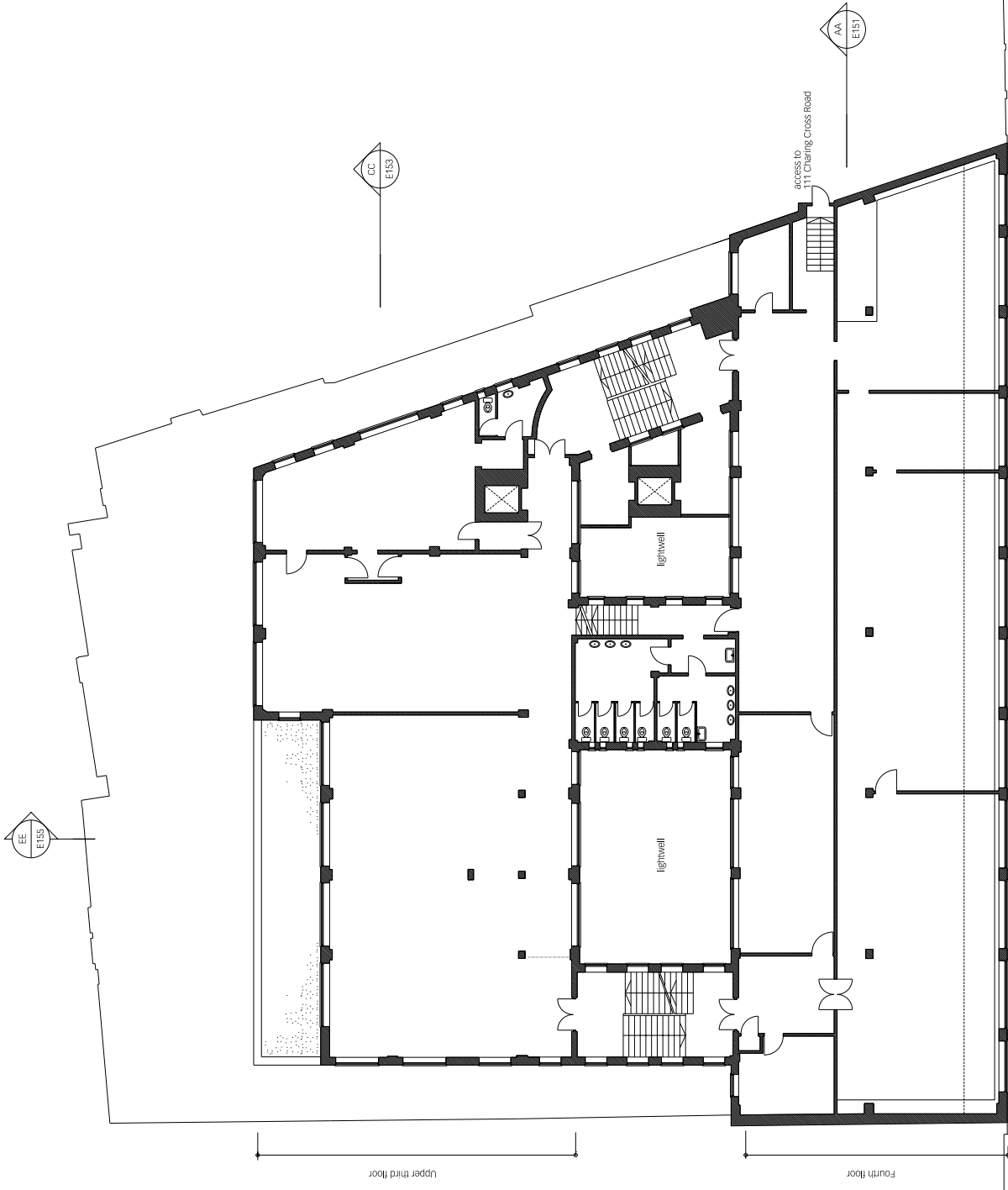
lifeschutz studios
107-109 Charing Cross Road
London W1 9QW
United Kingdom
T +44 (0)20 8600 4800
F +44 (0)20 8600 4700
mail@lifeschutz.com

drawing title
Existing fifth floor plan

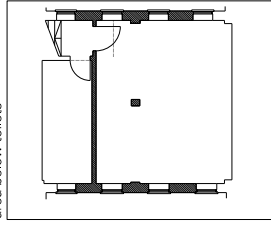
scale at A1 1:100
scale at A3 1:200

drawn TN
date 02.11

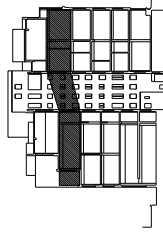
job no. 0772
drawing P207
rev. -



area below toilets



key



notes

Drawing based upon Drivas Jonas measured survey of March 2009

This drawing is the property of Lifschutz Davidson Sandilands Ltd. No part hereof or copy of it may be made without the written permission of Lifschutz Davidson Sandilands Ltd.

key plan



project

107-109 Charing Cross Road
London W1

client

Noved Investment One Ltd / HINES UK

architect

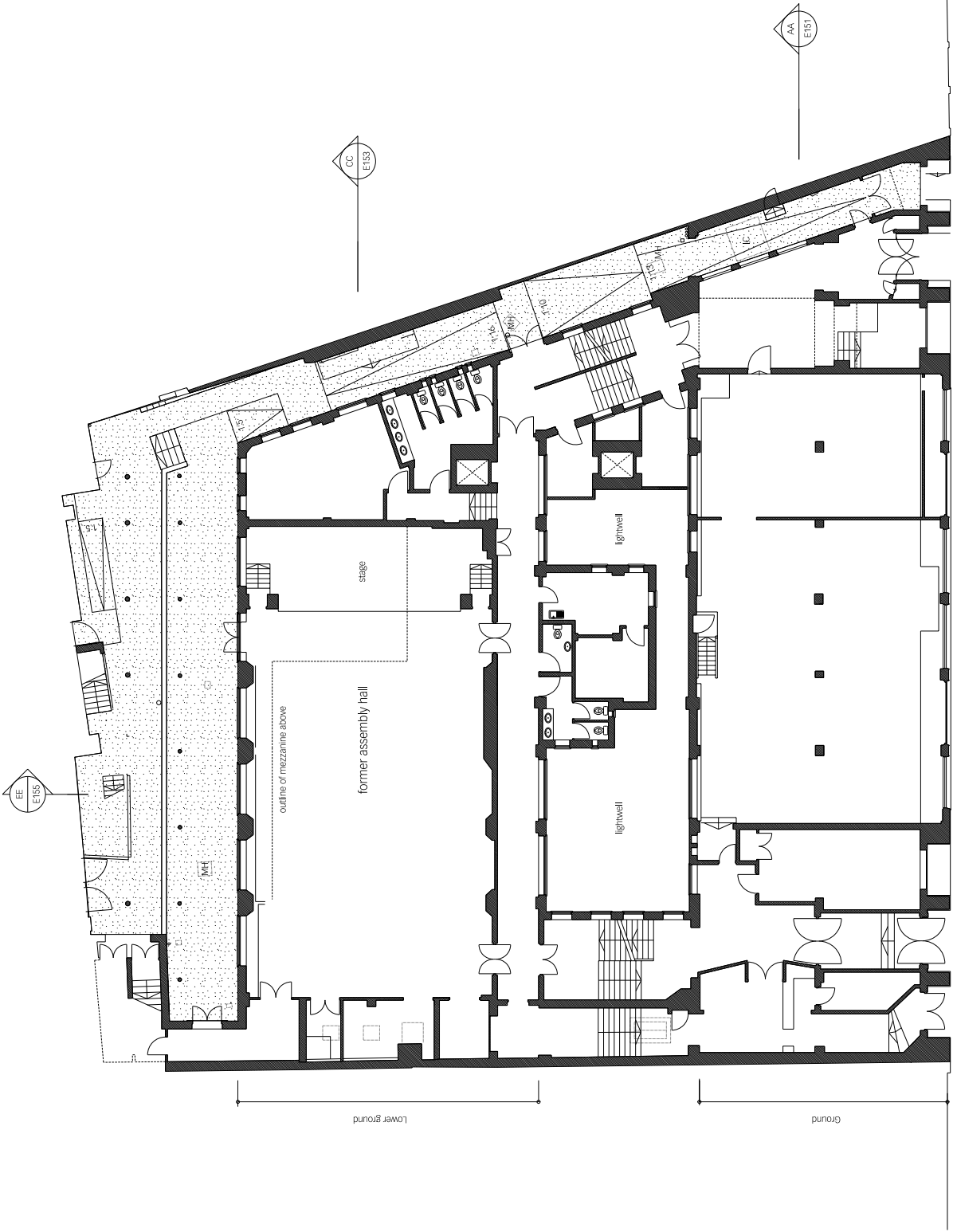
**Lifschutz
Davidson
Sandilands**

Island Studios
22 St. Peter's Square
London W1P 6AA
United Kingdom
T +44 (0)20 8600 4800
F +44 (0)20 8600 4700
info@lids-a.com

drawing title

Existing fourth floor plan

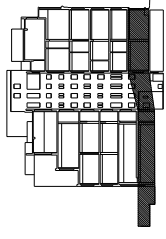
scale at A1	scale at A3	drawn	date
1:100	1:200	TN	02.11
job no.	drawing	rev.	
0772	P206	-	



Charing Cross Road

1 - existing ground floor plan

key



notes

Drawing based upon Drivas Jonas measured survey of March 2009

This drawing is the property of Richard Davidson Sandilands Ltd. No part here or copy of it may be made without the written permission of Richard Davidson Sandilands Ltd.

key plan



project
107-109 Charing Cross Road
London W1

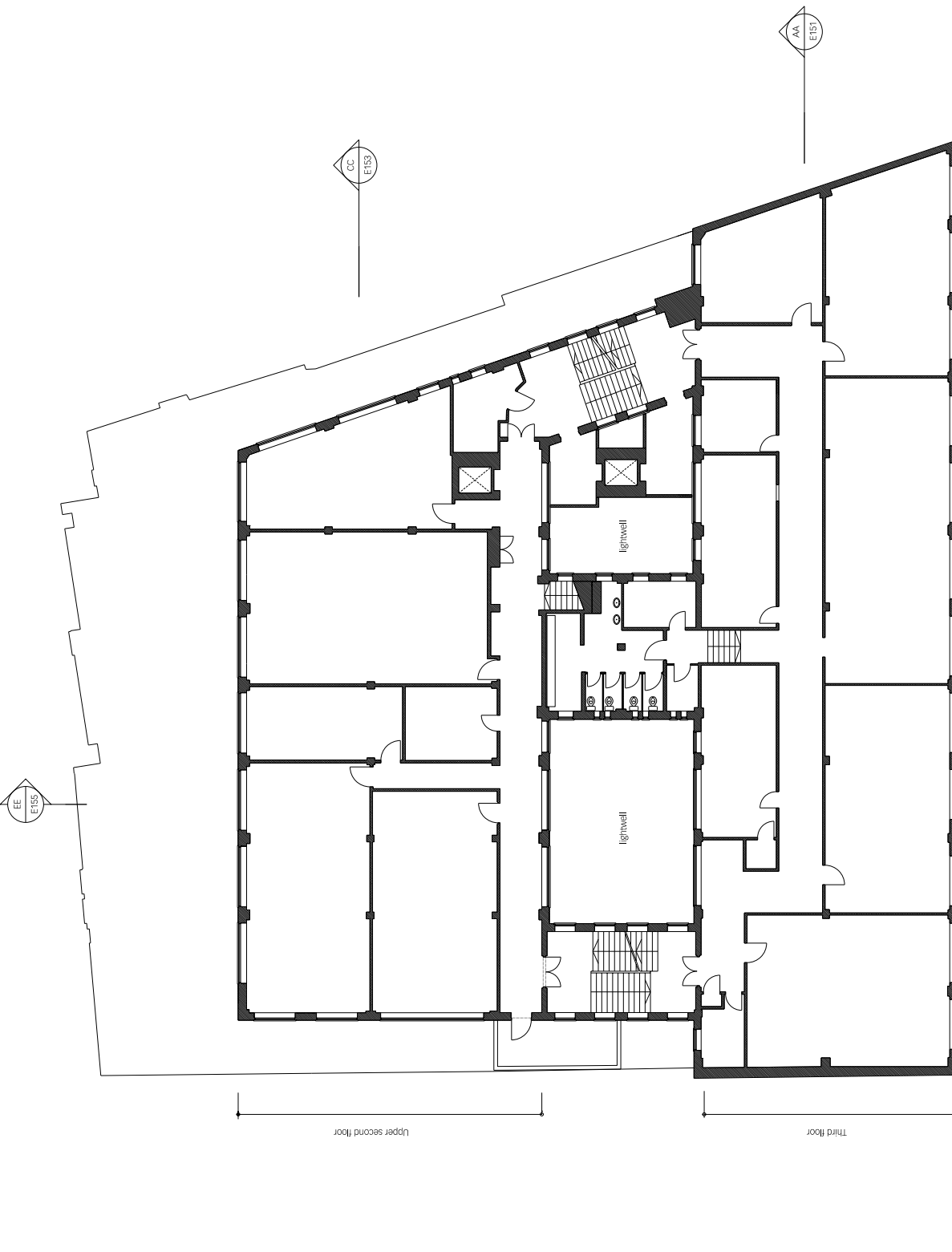
client
Noved Investment One Ltd / HINES UK

architect
**Lifschutz
Davidson
Sandilands**
Island Studios
100 Abchurch Lane
London EC4N 3DF
United Kingdom
T +44 (0)20 8600 4800
F +44 (0)20 8600 4700
mail@lifesd.com

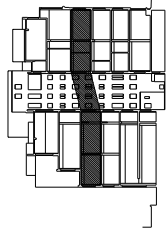
drawing title
Existing ground floor plan

scale at A1 1:100 scale at A3 1:200 drawn TN date 02.11

job no. 0772 drawing P202 rev.



key



notes

Drawing based upon Drivas Jonas measured survey of March 2009

This drawing is the property of Lifschutz Davidson Sandilands Ltd. No part hereof or copy of it may be made without the written permission of Lifschutz Davidson Sandilands Ltd.

key plan



project

107-109, Charing Cross Road
London W1

client

Noved Investment One Ltd / HINES UK

architect

**Lifschutz
Davidson
Sandilands**

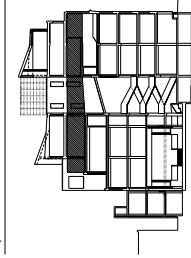
Island Studios
22 St. Peter's Square
Leeds LS2 9JF
United Kingdom
T +44 (0)20 8600 4800
F +44 (0)20 8600 4700
info@lids-a-uk.com

drawing title

Existing third floor plan

scale at A1	scale at A3	drawn	date
1:100	1:200	TN	02.11
job no.	drawing	rev.	
0772	P205	-	

key



key section

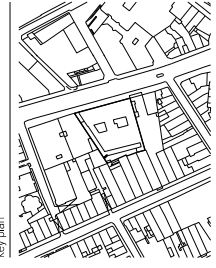
notes

- existing fabric to be retained
- pl passenger lift
- gl goods lift
- fl fire fighting lift
- fe fire escape

Existing building fabric based upon Drivas Jones measured survey of March 2009

This drawing is the property of Lifschutz Davidson Sandilands Ltd. No part here or copy of it may be made without the written permission of Lifschutz Davidson Sandilands Ltd.

key plan



107-109 Charing Cross Road
London W1

client
Noved Investment One Ltd / HINES UK

architect
Lifschutz
Davidson
Sandilands

Island Studios
100 Abchurch Lane
London EC4N 3DF
United Kingdom
T +44 (0)20 8600 4800
F +44 (0)20 8600 4700
mail@lifesd.com

drawing title
fifth floor plan - proposed

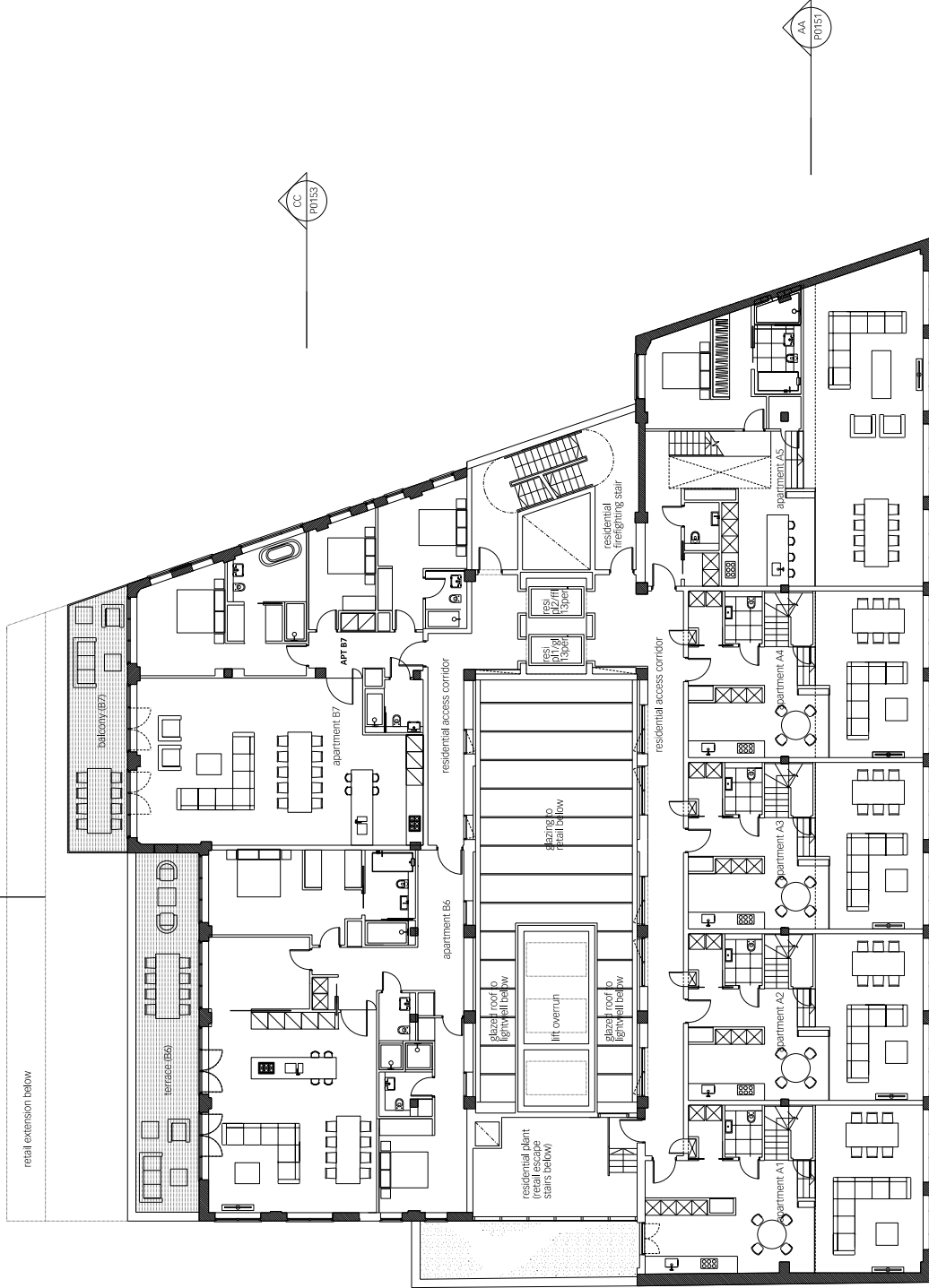
scale at A1 1:100
scale at A3 1:200
drawn LS
date 03.11

job no. 0772
drawing P107
rev. -



CC
P0153

AA
P0153



Charing Cross Road

key

key section notes

- existing fabric to be retained
- pl passenger lift
- gl goods lift
- fl fire fighting lift
- fe fire escape

Existing building fabric based upon Drivas Jones measured survey of March 2009

This drawing is the property of Lifschutz Davidson Sandilands Ltd. No part of this drawing or copy of it may be made without the written permission of Lifschutz Davidson Sandilands Ltd.

key plan

project
107-109 Charing Cross Road
London W1

client
Noved Investment One Ltd / HINES UK

architect
**Lifschutz
Davidson
Sandilands**

Island Studios
22 St. Peter's Square
London W1P 6AA
United Kingdom
T +44 (0)20 8600 4800
F +44 (0)20 8600 4700
info@lids-uk.com

drawing title
fourth floor plan - proposed

scale at A1 scale at A3 drawn date
1:100 1:200 LS 03.11

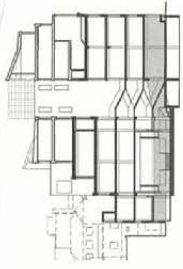
job no. drawing rev.
0772 P106 -

EE
P0155

CC
P0153

AA
P0151

21 JUN 2011



- notes
- existing fabric to be retained
 - pl passenger lift
 - g goods lift
 - ff fire fighting lift
 - fe fire escape

Existing building fabric based upon Drivas Jones measured survey of March 2007

This drawing is the property of Lifschutz Davidson Sandilands Ltd. No disclosure or copy of it may be made without the written permission of Lifschutz Davidson Sandilands Ltd.



project
 107-109 Charing Cross Road
 London W1

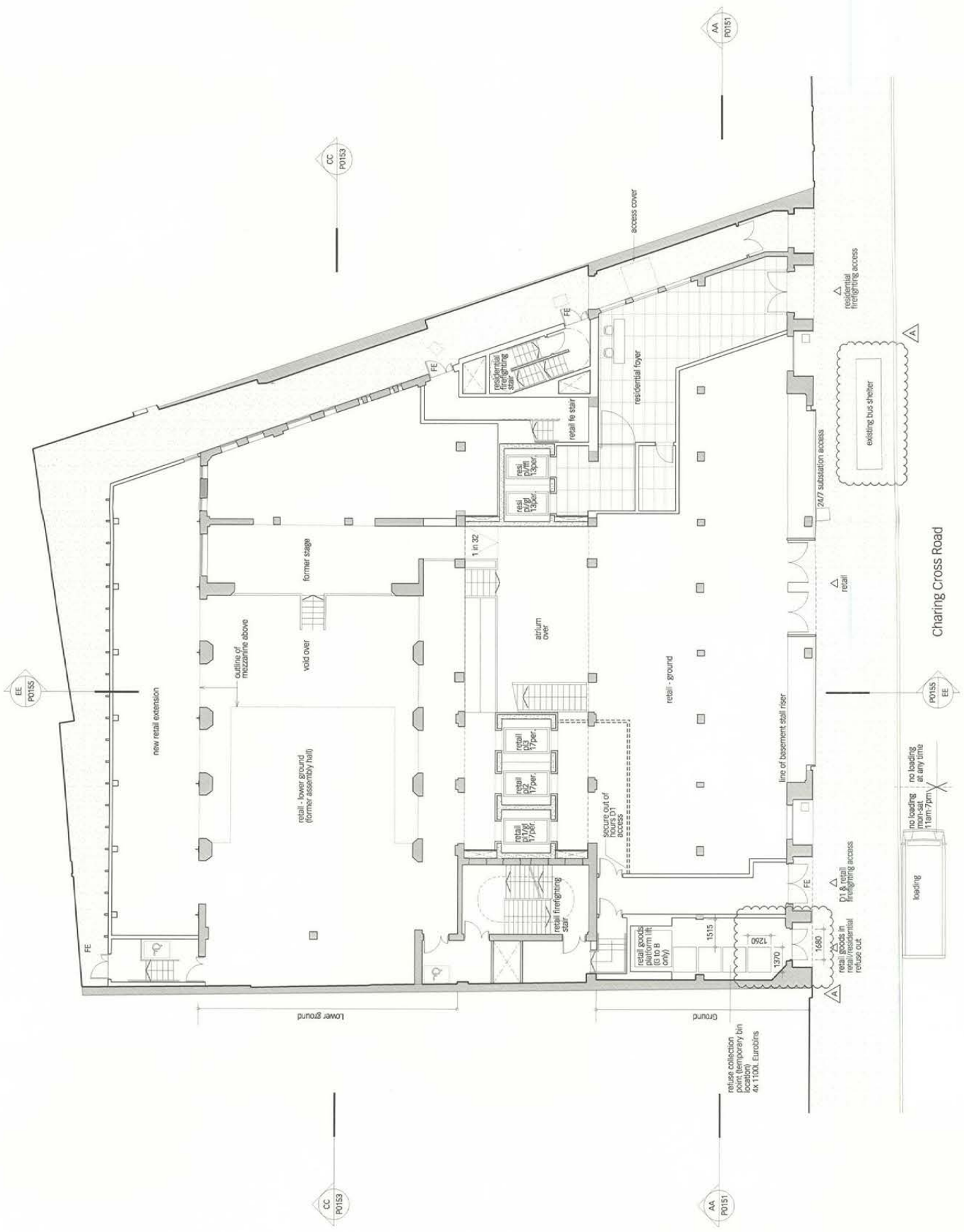
client
 Noved Investment One Ltd / HINES UK

architect
Lifschutz Davidson Sandilands
 Lifschutz Davidson Sandilands
 25 St Andrew's Square
 London W6 5AW
 United Kingdom
 T +44 (0)20 8600 4000
 F +44 (0)20 8600 4005
 info@lds-uk.com
 mains@lds-uk.com

drawing title
 ground floor plan - proposed

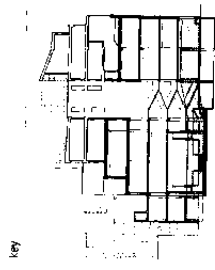
scale at A1 1:100
 scale at A3 1:200
 drawn LS
 date 03 11

job no. 0772
 drawing P102
 rev. A



reasons
date rev
Existing bus shelter shown.
Dimensions added to refuse collection
point

16.05.11 A
point



- notes
- existing fabric to be retained
 - pl passenger lift
 - g goods lift
 - fl fire lighting lift
 - fe fire escape

Existing Building fabric based upon Dineas Doras
measured Survey of March 2007

The drawings are prepared in accordance with the Building Regulations 2010. We shall not be liable for any errors or omissions on the drawings or for any consequences arising therefrom in the event of a fire or other disaster.

Key plan



project
107-109 Charing Cross Road
London W1

client
Noved Investment One Ltd / HINES UK

architect
Lifschutz
Davidson
Sandilands

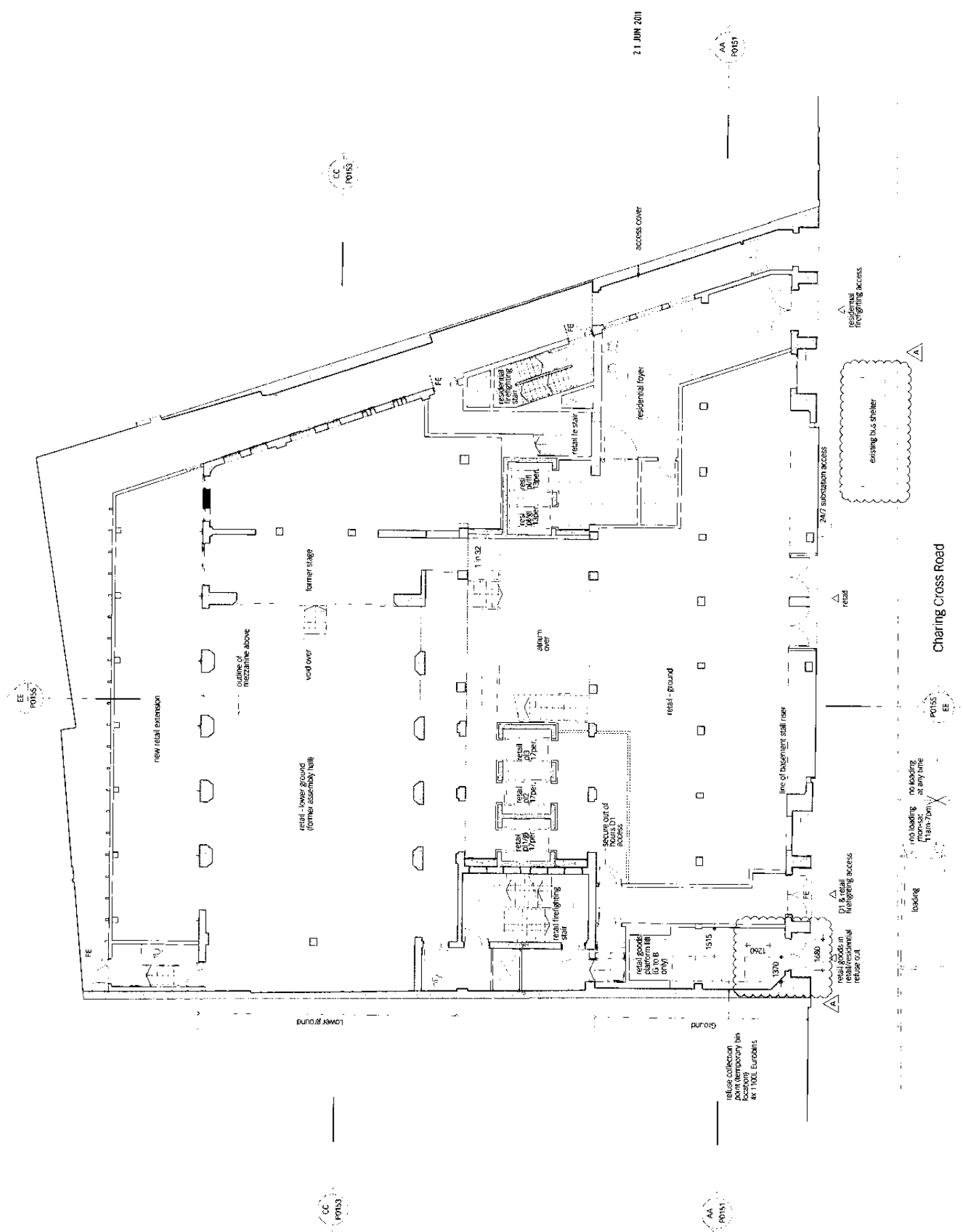
relief studios
22-24, Upper St. Square
London WC1H 9JY
United Kingdom
T +44 (0)20 8600 4800
F +44 (0)20 8600 4700
info@reliefstudios.com

drawing title
ground floor plan - proposed

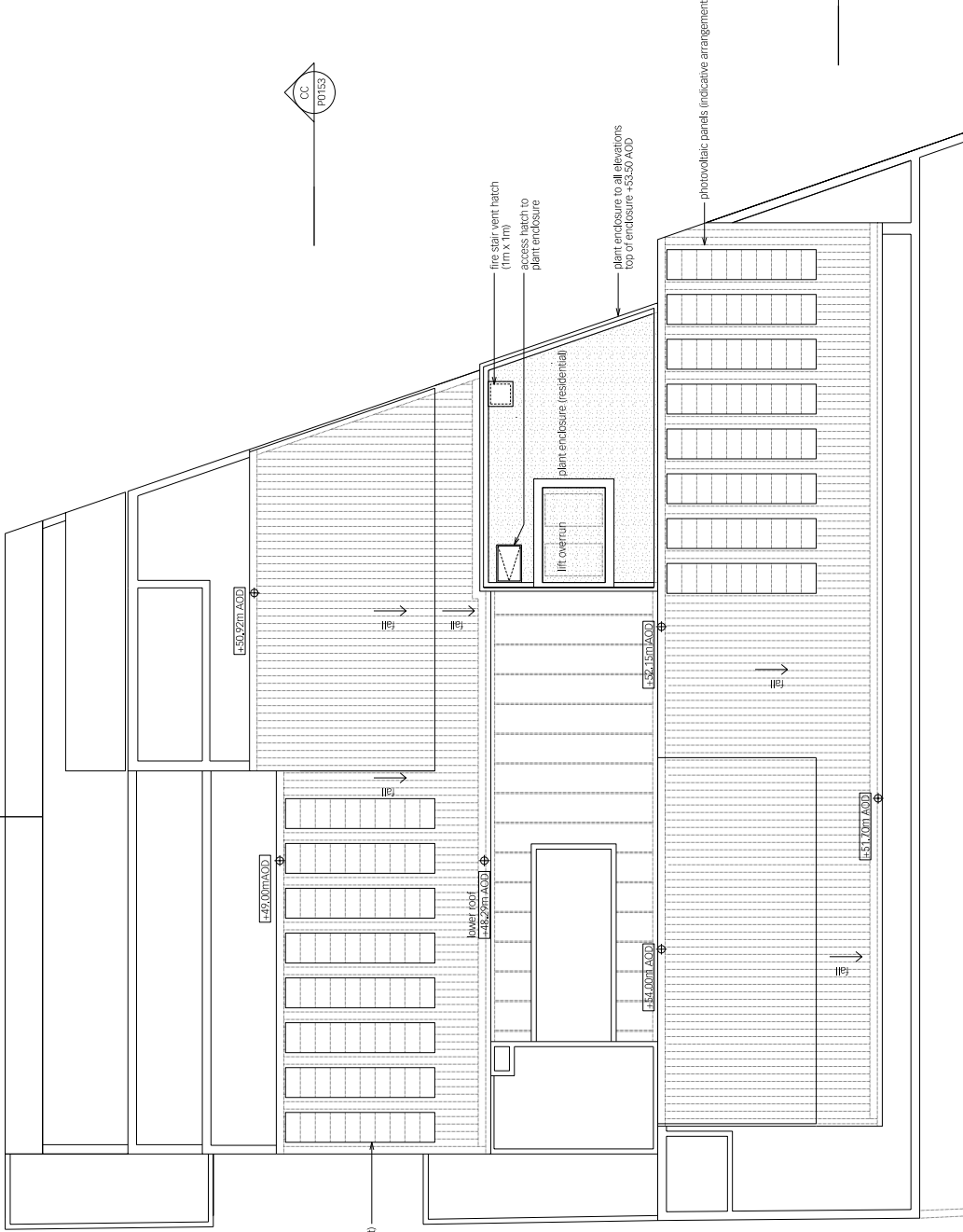
scale at A1 1:100
scale at A3 1:200

date 03.11
LS

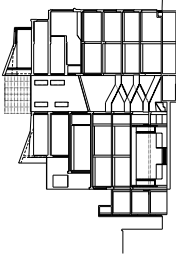
job no. 0772
drawing P-102
rev. A



1 ground floor plan



key



notes

- existing fabric to be retained
- pl passenger lift
- gl goods lift
- fl fire fighting lift
- fe fire escape

Existing building fabric based upon Drivas Jonas measured survey of March 2009

This drawing is the property of Lifschutz Davidson Sandilands Ltd. No part may be copied or it may be made without the written permission of Lifschutz Davidson Sandilands Ltd.

key plan



project

107-109 Charing Cross Road
London W1

client

Noved Investment One Ltd / HINES UK

architect

Lifschutz
Davidson
Sandilands

lifschutz studios
22 St. Peter's Square
London W1P 6AA
United Kingdom
T +44 (0)20 8600 4800
F +44 (0)20 8600 4700
info@lids-a.com

drawing title

roof plan - proposed

scale at A1 scale at A3 drawn date

1:100 1:200 LS 03.11

job no. drawing rev.

0772 P110 -

Charing Cross Road

photovoltaic panels (indicative arrangement)

photovoltaic panels (indicative arrangement)

fire stair vent hatch
(1m x 1m)

access hatch to
plant enclosure

plant enclosure to all elevations
top of enclosure +53.50 AOD

plant enclosure (residential)

lift overtop

POWER COOL

+50.20m AOD

+49.00m AOD

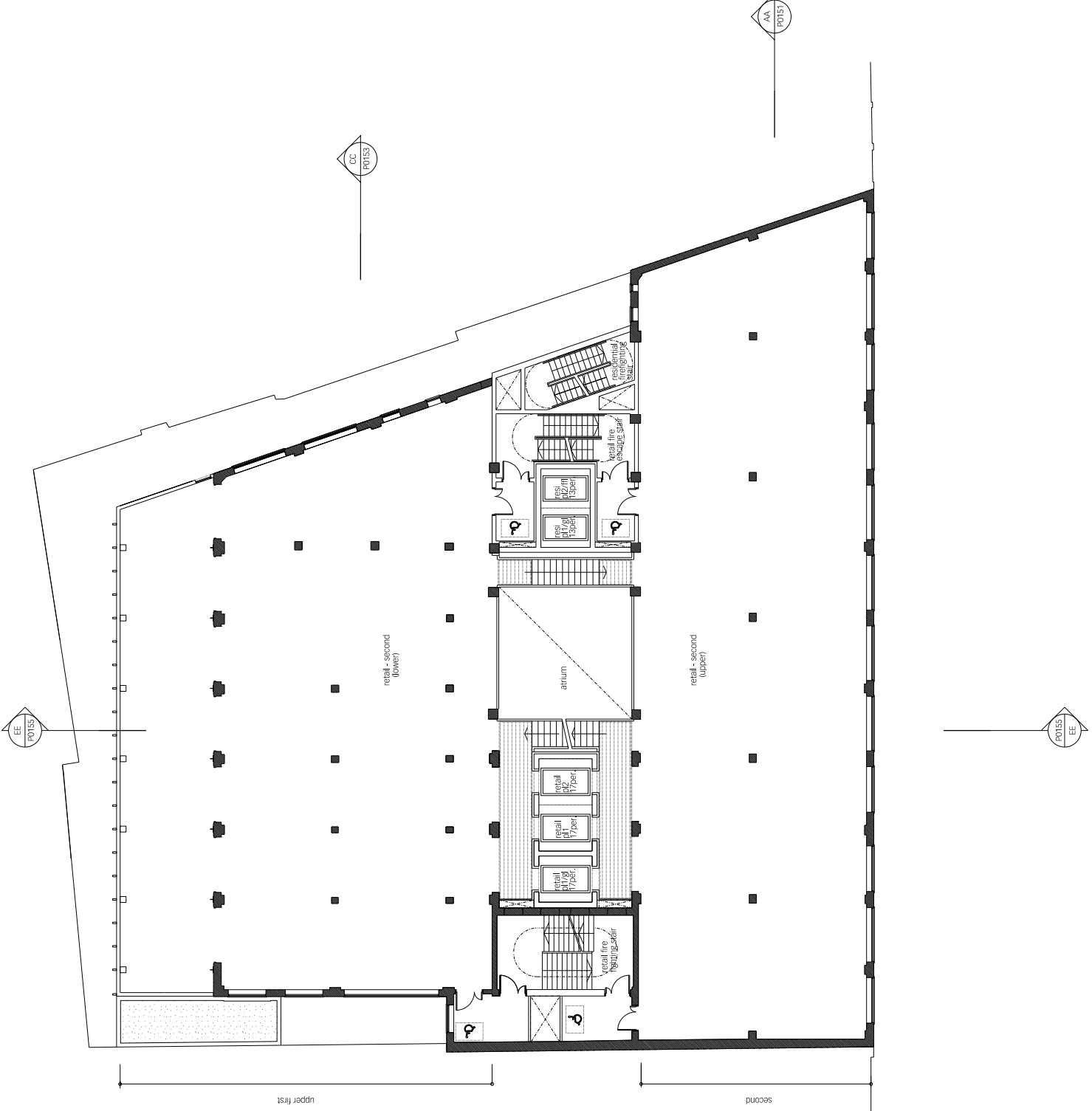
+48.20m AOD

+44.00m AOD

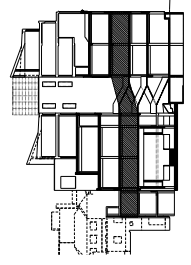
+42.15m AOD

+51.70m AOD





key



notes

- existing fabric to be retained
- pl passenger lift
- gl goods lift
- fl fire fighting lift
- fe fire escape

Existing building fabric based upon Drivas Jones measured survey of March 2009

This drawing is the property of Lifschutz Davidson Sandilands Ltd. No part here or copy of it may be made without the written permission of Lifschutz Davidson Sandilands Ltd.

key plan



project
107-109 Charing Cross Road
London W1

client
Noved Investment One Ltd / HINES UK

architect
Lifschutz
Davidson
Sandilands

107-109 Charing Cross Road
London W1
United Kingdom
T +44 (0)20 8600 4800
F +44 (0)20 8600 4700
info@lifsd.com

drawing title
second floor plan - proposed

scale at A1 1:100
scale at A3 1:200
drawn LS
date 03.11

job no. 0772
drawing P104
rev. -