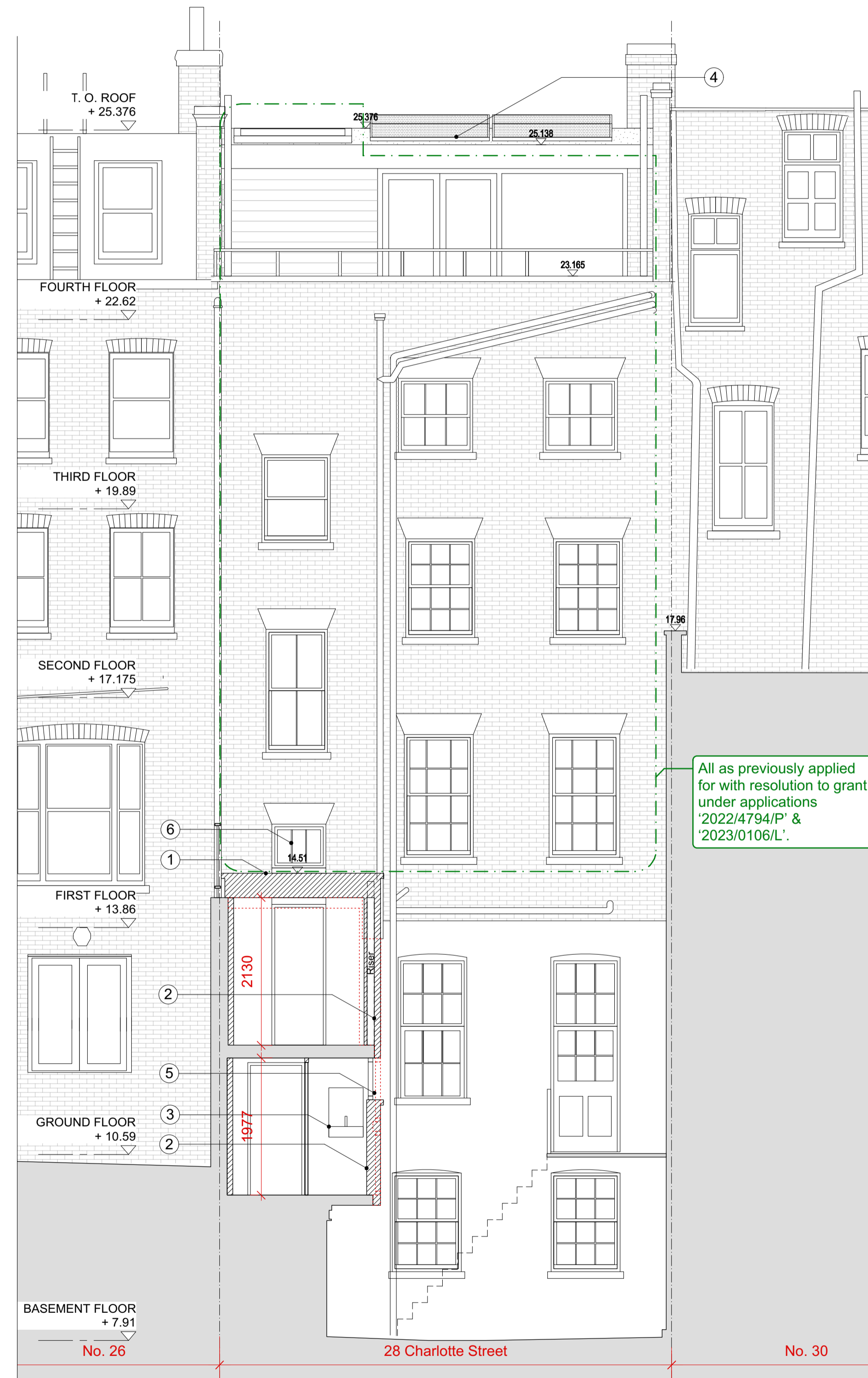




Proposed Front Elevation 1



Proposed Rear Elevation 2

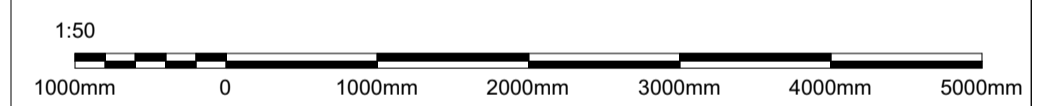
**KEY**

1. New dark grey flat roof with coping stones around perimeter with improved thermal performance. Roof level raised to provide adequate head height through link to rear studio.
2. Later addition toilet extension in poor condition rebuilt in London stock brick to match adjacent brickwork.
3. Existing internal window to be retained and blocked from studio side to form alcove for new basin vanity.
4. New low profile solar panels to reduce environmental impact of dwelling, set back from roof eaves to not be visible from ground level.
5. New thermally broken dark metal slim profile steel double glazed windows, window cill raised to align with principal building windows.
6. Existing sash window and panelling retained and refurbished. Glazing backpainted white where it abuts the new roof. Existing door below replaced with panelled timber door with mouldings and frame to match doors of principal building.

**NOTES:**

1. All existing plaster and timber features to be retained unless otherwise noted on plan.
2. All existing windows and doors to be retained unless otherwise noted on plan.
3. All works previously consented unless otherwise noted on plan.

--- Leasehold retail unit boundary (outside of application)



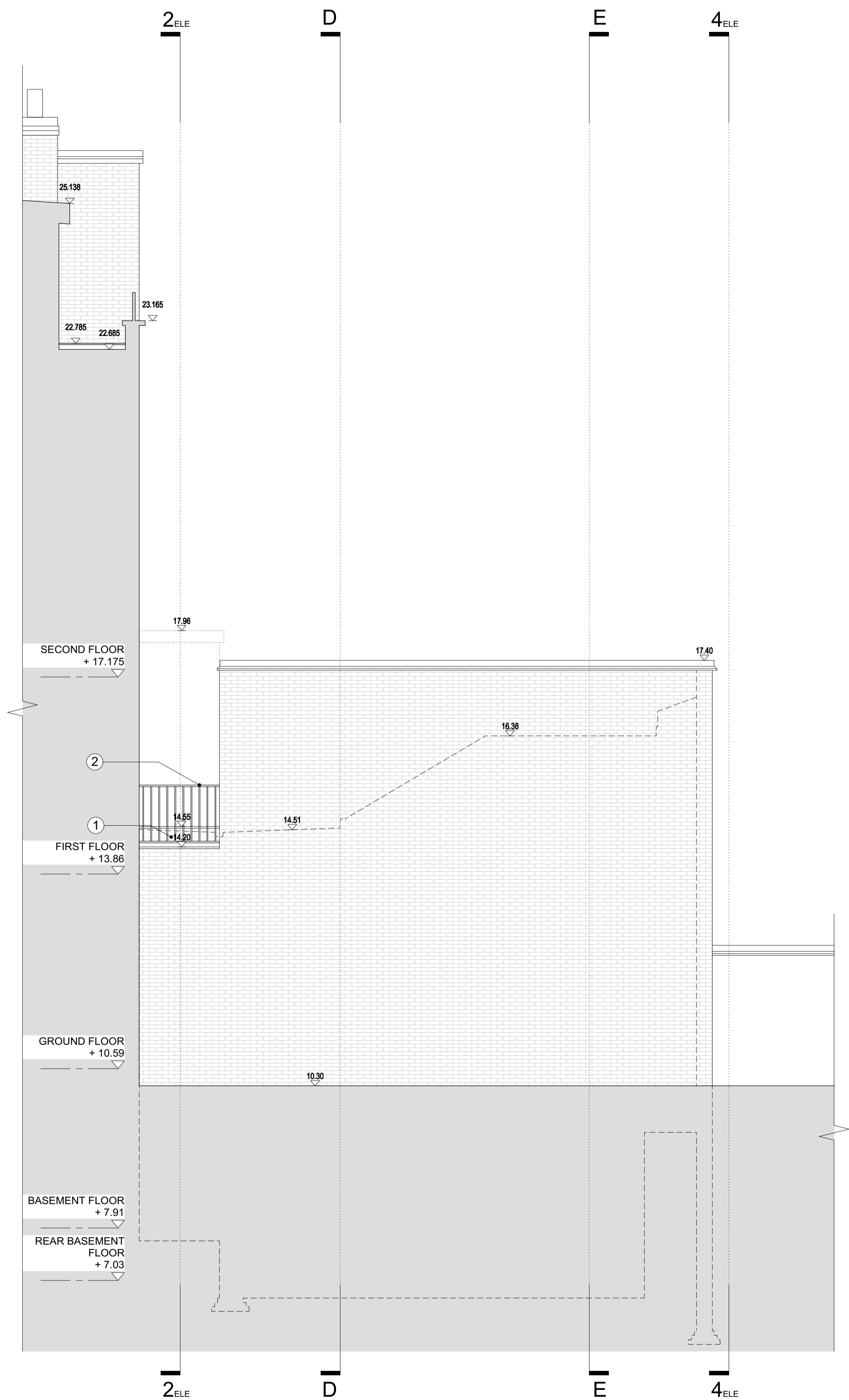
Planning	01.10.24	-
issue:	date:	revision:

Project  
**28 Charlotte Street**  
 Drawing  
**Proposed Front and Rear Elevations**  
 Drawing No.  
**28CS(20)A04**

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Job No.	Date	Scale
28CS	20.02.20	1:100@A3 1:50@A1



Proposed Studio Side Elevation 3



Proposed Studio Rear Elevation 4

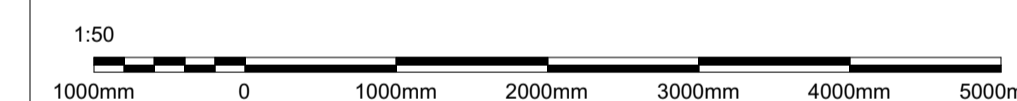
**KEY**

1. Existing boundary parapet wall retained with masonry parapet of new link roof behind existing balustrade.
2. Existing black metal handrail retained and refurbished as required.
3. None of proposed changes visible from beyond studio rear elevation

**NOTES:**

1. All existing plaster and timber features to be retained unless otherwise noted on plan.
2. All existing windows and doors to be retained unless otherwise noted on plan.
3. All works previously consented unless otherwise noted on plan.

--- Leasehold retail unit boundary (outside of application)



Planning	01.10.24	-
issue:	date:	revision:

Project  
**28 Charlotte Street**  
 Drawing  
**Proposed Studio Side and Rear Elevations**  
 Drawing No.  
**28CS(20)A05**

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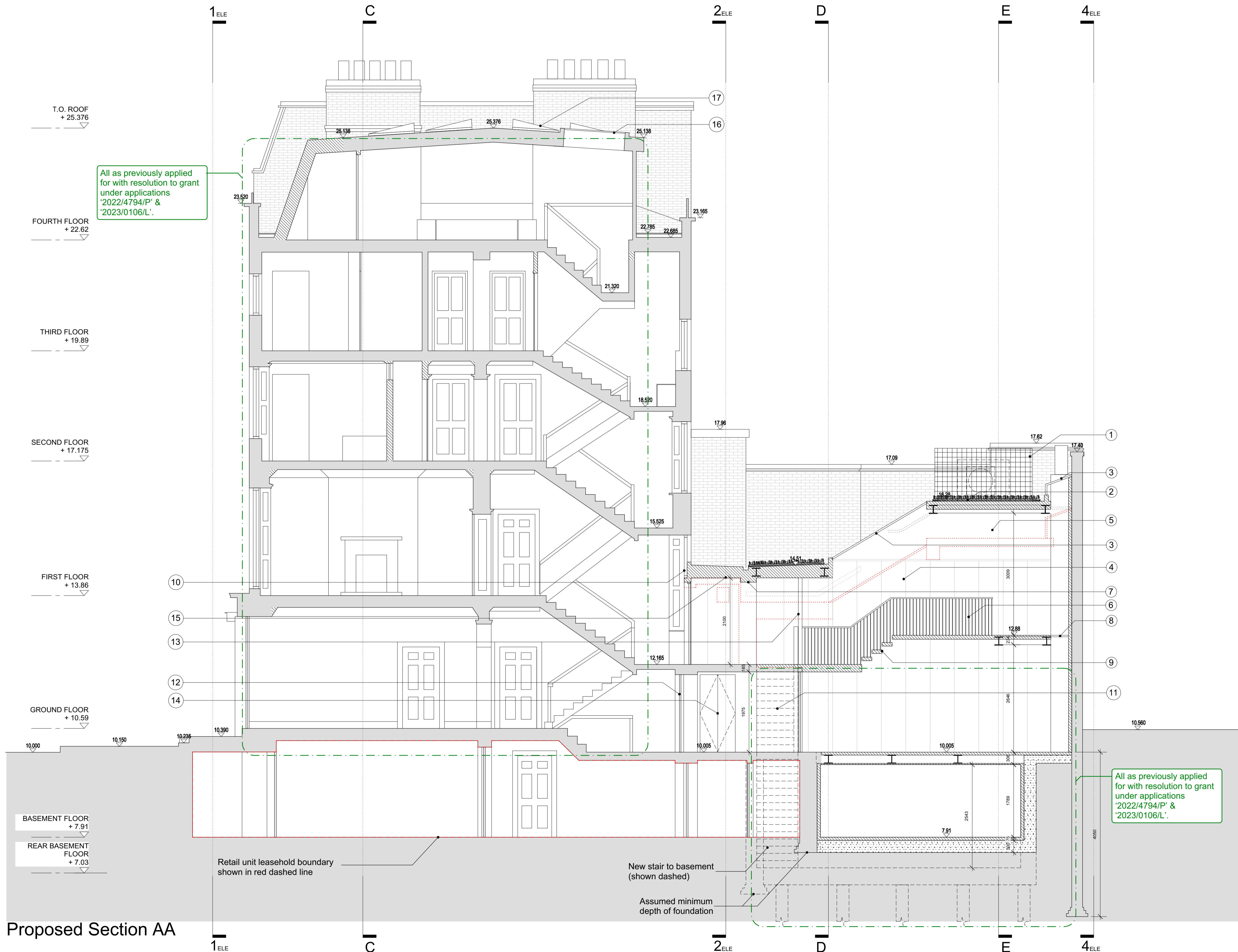
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Job No.	Date	Scale
28CS	20.02.20	1:100@A3 1:50@A1

**Build-ups:**

- A: Studio timber panel wall lining building up:**  
 Existing brickwork cleaned and repointed as required.  
 100mm Steico Flex 036 wood fiber insulation, to achieve 0.30w/mk2  
 Thermally broken fixings through insulation.  
 20mm Reclaimed oak panelling with lime wash finish.
- B: Studio rendered wall lining building up:**  
 Existing brickwork cleaned and repointed as required.  
 120mm Steico Duo Dry wood fiber insulation, to achieve 0.30w/mk2  
 Thermally broken fixings through insulation.  
 10mm Traditional lime render with mesh reinforcement.

All as previously applied for with resolution to grant under applications '2022/4794/P' & '2023/0106/L'.



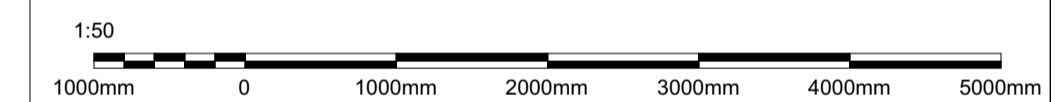
Proposed Section AA

**KEY**

1. New air-source heat pump housed in acoustic enclosure to specialists design and clad in timber louvre panels.
2. Existing roof profile rebuilt at higher level with improved thermal performance and sedum green roof to improve site biodiversity. Exposed timber joist structure to underside, with timber panels between to match mezzanine structure.
3. New thermally broken dark steel slimline double glazed skylights.
4. Existing masonry walls lined with wood fiber breathable insulation and clad in lime washed timber panelling. Refer to build-up 'A'
5. Existing masonry lined with breathable wood fibre insulation and finished in lime render. Refer to Build-up 'B'
6. New dark metal handrail with slim profile spindles.
7. New opening into rear studio with downstand and nibs, to create transitional space and retain reading of the studio volume as separate from the main house. Downstand to align with doorway through rear facade.
8. New walk-on structural glass floor depth aligned with existing chimney breast, to retain reading of full height of rear wall and light from rooflights above.
9. New lightweight cantilevered mezzanine walkway and wide plank timber floor boards, stepping up from principal building mid landing to align floor with existing fireplace hearth.
10. Existing lining panels retained and refurbished with new panelled timber door to match principal building mouldings and frames. Existing sash window glazing backpainted white where it abuts the new roof.
11. New lightweight timber stair between studio and mezzanine, with solid lime rendered balustrade, topped with dark metal handrail.
12. Existing timber door replaced with panelled timber door, mouldings, and frame to match doors of principal building.
13. New cylindrical timber columns, finished with light colour lime wash, with equally spaced gaps to match rhythm of posts below.
14. Existing non original storage cupboard partition and doors rebuilt to form WC enclosure.
15. Roof level raised to provide adequate head height through link to rear studio. New roof to provide improved thermal performance with dark grey flat roof and coping stones around perimeter.
16. Skylight previously applied for with resolution to grant under applications '2022/4794/P' & '2023/0106/L'.
17. New low profile solar panels to reduce environmental impact of dwelling, set back from roof eaves to not be visible from ground level.

**NOTES:**

1. All existing plaster and timber features to be retained unless otherwise noted on plan.
  2. All existing windows and doors to be retained unless otherwise noted on plan.
  3. All works previously consented unless otherwise noted on plan.
- Leasehold retail unit boundary (outside of application)



Planning	01.10.24	-
issue:	date:	revision:

Project  
**28 Charlotte Street**

Drawing  
**Proposed Section AA**

Drawing No.  
**28CS(20)A06**

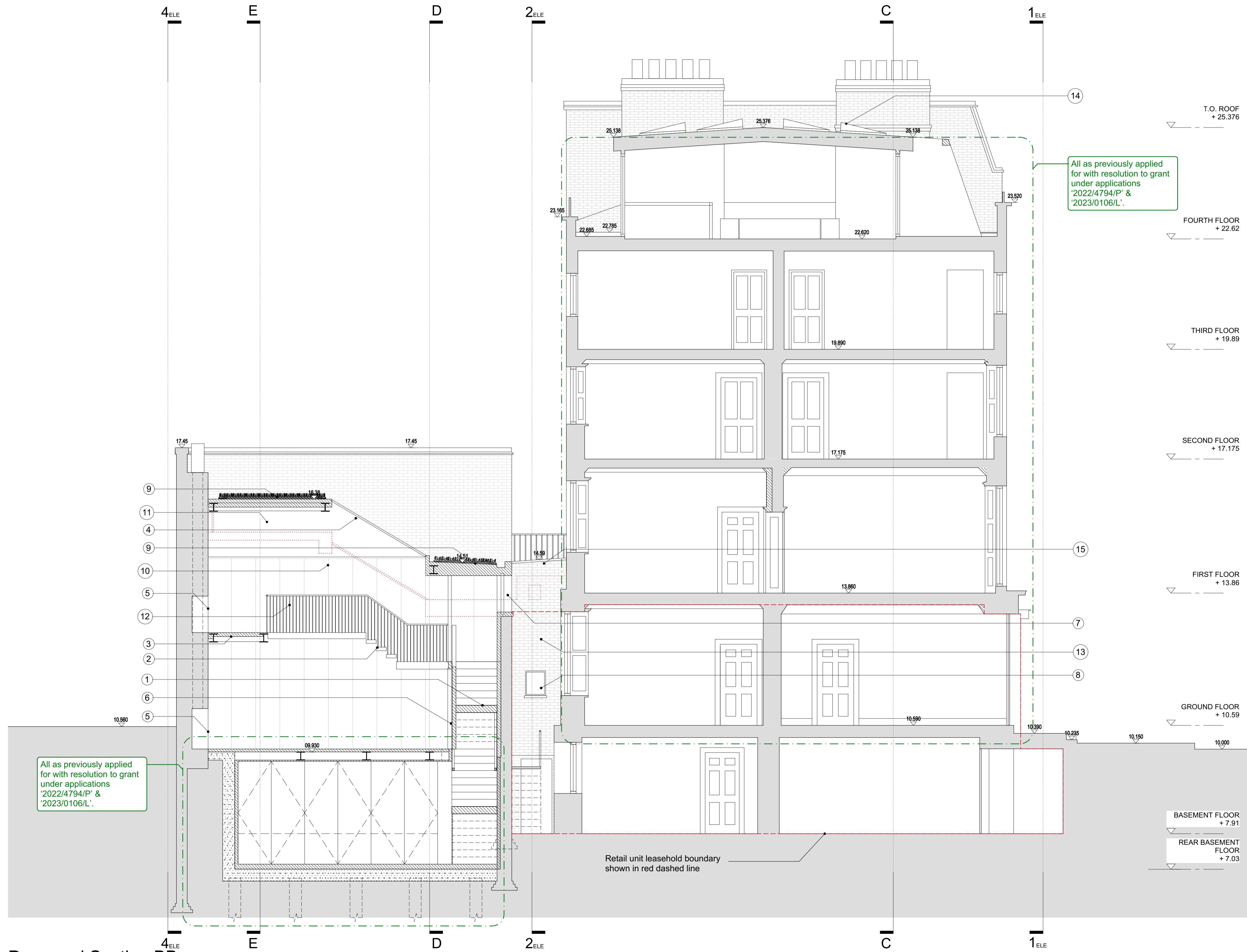
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Job No.	Date	Scale
28CS	13.03.20	1:100@A3 1:50@A1

**Build-ups:**

- A: Studio timber panel wall lining building up:**  
 Existing brickwork cleaned and repointed as required.  
 100mm Steico Flex 036 wood fiber insulation, to achieve 0.30w/mk2  
 Thermally broken fixings through insulation.  
 20mm Reclaimed oak panelling with lime wash finish.
- B: Studio rendered wall lining building up:**  
 Existing brickwork cleaned and repointed as required.  
 120mm Steico Duo Dry wood fiber insulation, to achieve 0.30w/mk2  
 Thermally broken fixings through insulation.  
 10mm Traditional lime render with mesh reinforcement.



Proposed Section BB

**KEY**

1. New lightweight timber stair between studio and mezzanine.
2. Cantilevered mezzanine walkway stepped up to align with level of historic fireplace hearth.
3. New lightweight mezzanine structure supported on historic masonry supports, exposed timber joists to underside with timber boards between.
4. New thermally broken dark metal slimline double glazed skylights.
5. Existing historic fireplace reinstated, with blackened metal lining and new insert.
6. New lime rendered partition integrated with stair balustrade and topped with dark metal handrail. To provide a protected route of escape from basement.
7. New double glazed clerestory window with dark metal slimline frame.
8. New thermally broken dark metal slim profile steel double glazed windows, window cill raised to align with principal building windows.
9. Existing roof profile rebuilt at higher level with improved thermal performance and sedum green roof to improve site biodiversity. Exposed timber joist structure to underside, with timber panels between to match mezzanine structure.
10. Existing masonry walls lined with wood fiber breathable insulation and clad in lime washed timber paneling. Refer to build-up 'A'
11. Existing masonry lined with breathable wood fibre insulation and finished in lime render. Refer to Build-up 'B'
12. New dark metal handrail and thin profile spindles.
13. Later addition toilet extension in poor condition rebuilt in london stock brick to match adjacent brickwork.
14. New low profile solar PV panels positioned back from roof eaves to not be visible from ground level.
15. New link roof between principal house and studio mezzanine with coping stones around perimeter.

**NOTES:**

1. All existing plaster and timber features to be retained unless otherwise noted on plan.
2. All existing windows and doors to be retained unless otherwise noted on plan.
3. All works previously consented unless otherwise noted on plan.

--- Leasehold retail unit boundary (outside of application)



Planning	01.10.24	-
issue:	date:	revision:

Project  
**28 Charlotte Street**  
 Drawing  
**Proposed Section BB**

Drawing No.  
**28CS(20)A07**

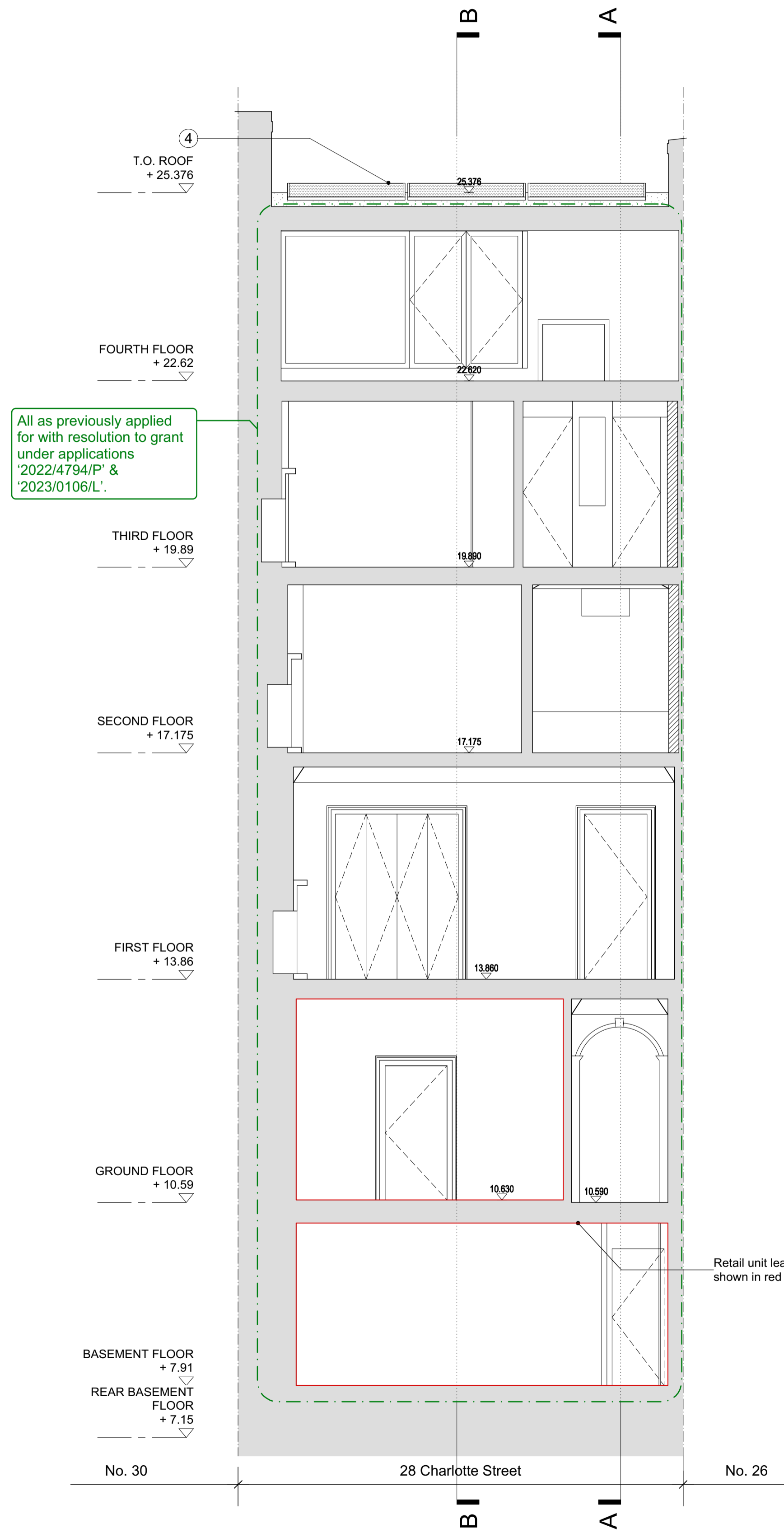
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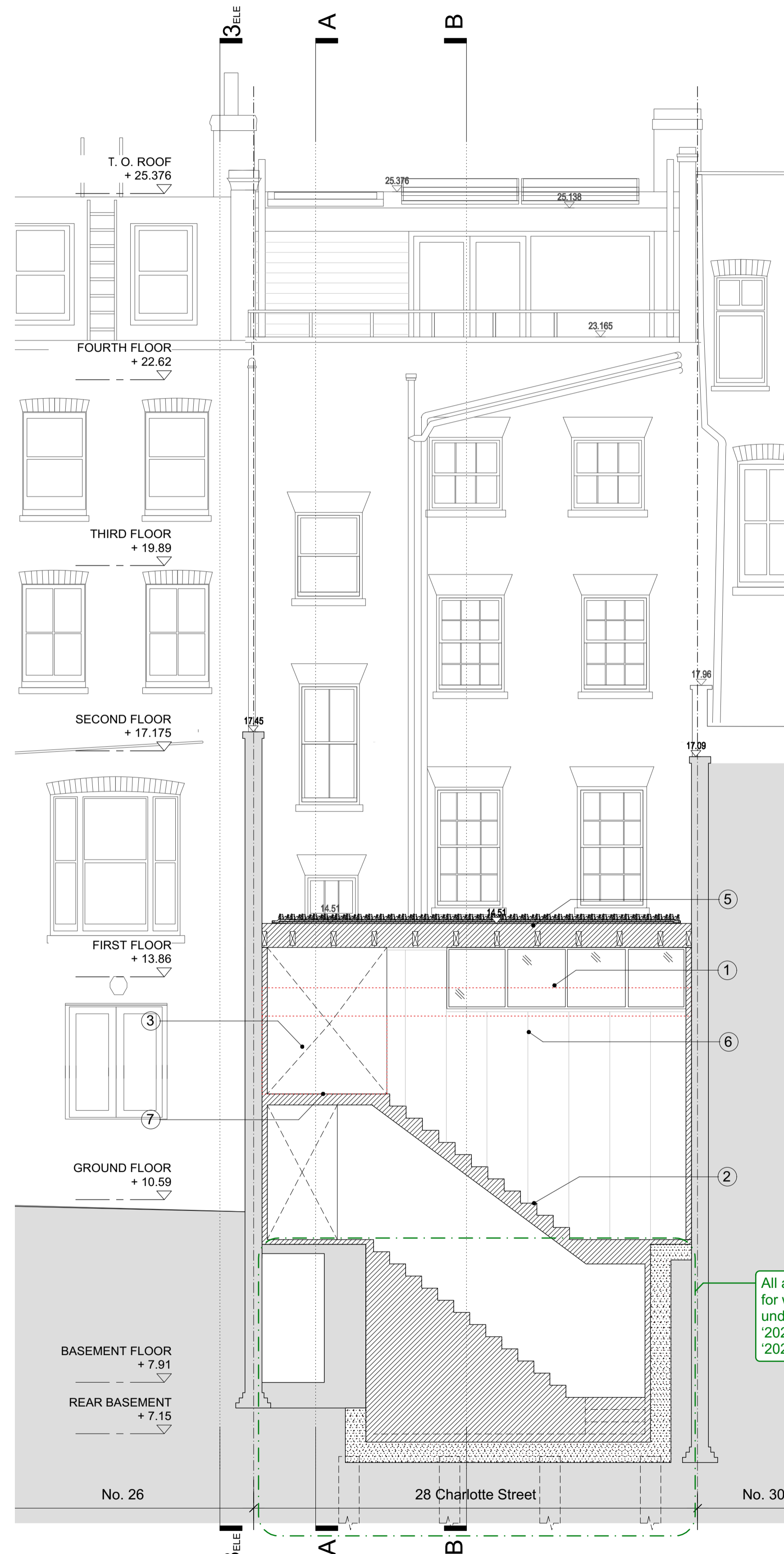
Job No.	Date	Scale
28CS	13.03.20	1:100@A3 1:50@A1

**Build-ups:**

- A: Studio timber panel wall lining building up:  
 Existing brickwork cleaned and repointed as required.  
 100mm Steico Flex 036 wood fiber insulation, to achieve 0.30w/mk2  
 Thermally broken fixings through insulation.  
 20mm Reclaimed oak panelling with lime wash finish.



Proposed Section CC



Proposed Section DD

**KEY**

1. New double glazed clerestory window with dark metal slimline frame and mullions to align with timber framing.
2. New lightweight timber stair between studio and mezzanine.
3. Non original WC extension removed, to create connection between principal building midlanding and first floor studio mezzanine.
4. New low profile solar panels to reduce environmental impact of dwelling, positioned back from roof eaves to not be visible from ground level.
5. Existing roof profile rebuilt at higher level to provide adequate head height in new link with improved thermal performance and sedum green roof to improve site biodiversity.
6. Existing masonry walls lined with wood fiber breathable insulation and clad in lime washed timber paneling. Refer to build-up 'A'
7. New lightweight mezzanine structure to align with level of principal building mid landing. With wide plank timber floor boards.

**NOTES:**

1. All existing plaster and timber features to be retained unless otherwise noted on plan.
2. All existing windows and doors to be retained unless otherwise noted on plan.
3. All works previously consented unless otherwise noted on plan.

--- Leasehold retail unit boundary (outside of application)



Planning	01.10.24	-
issue:	date:	revision:

Project  
**28 Charlotte Street**  
 Drawing  
**Proposed Section CC & DD**  
 Drawing No.  
**28CS(20)A08**

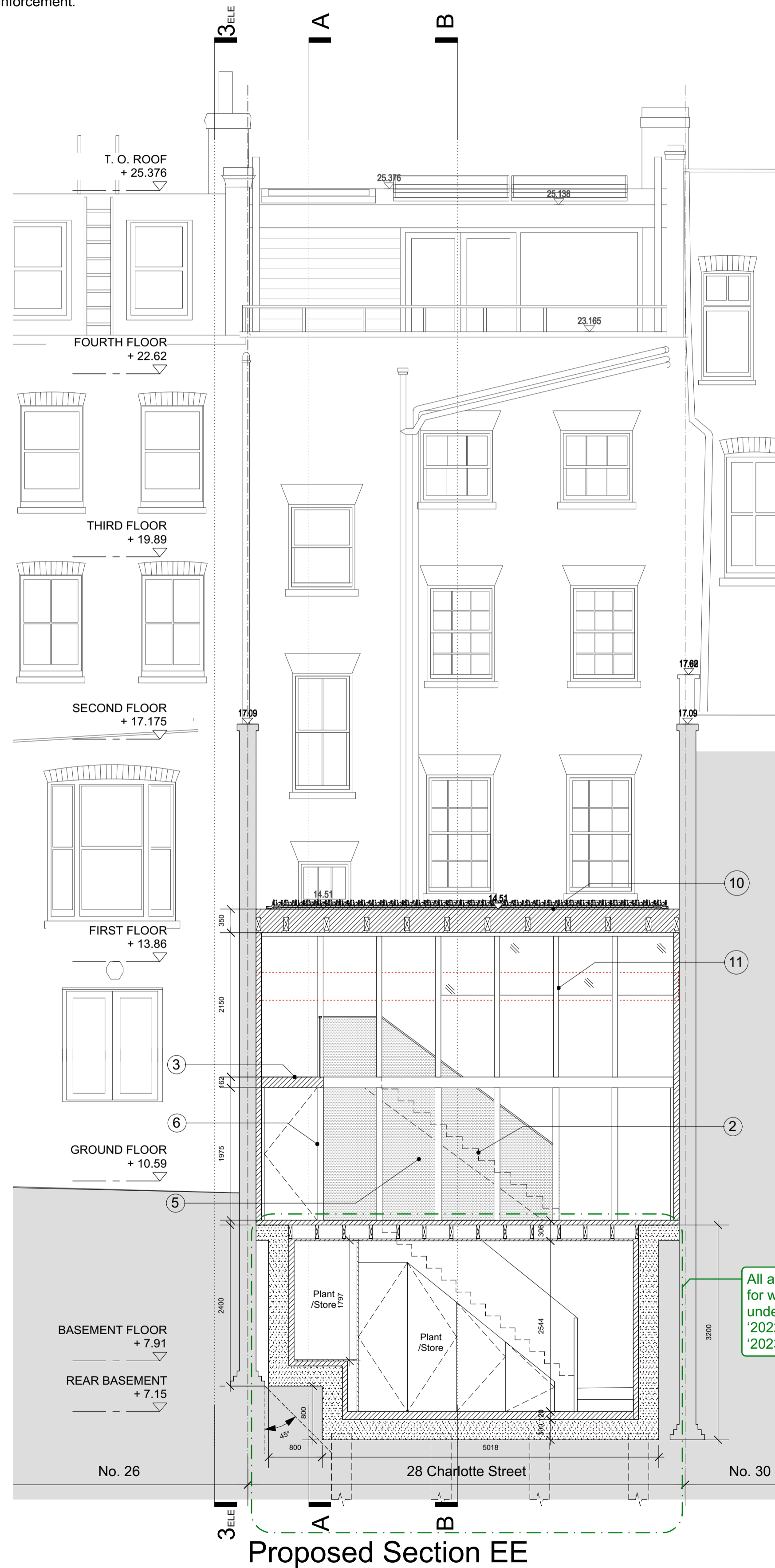
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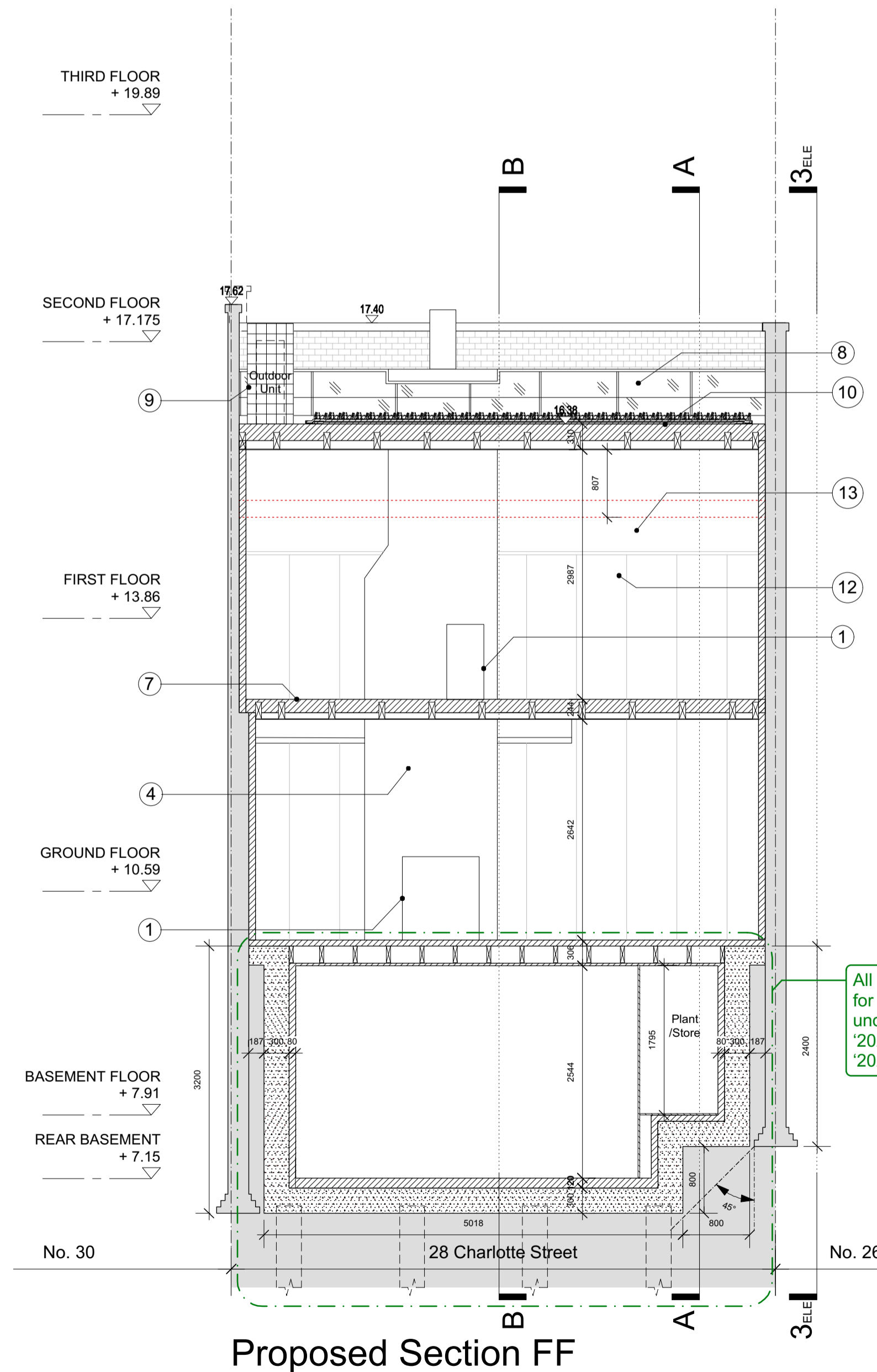
Job No.	Date	Scale
28CS	01.09.22	1:100@A3 1:50@A1

**Build-ups:**

- A: Studio timber panel wall lining building up:**  
 Existing brickwork cleaned and repointed as required.  
 100mm Steico Flex 036 wood fiber insulation, to achieve 0.30w/mk2  
 Thermally broken fixings through insulation.  
 20mm Reclaimed oak panelling with lime wash finish.
- B: Studio rendered wall lining building up:**  
 Existing brickwork cleaned and repointed as required.  
 120mm Steico Duo Dry wood fiber insulation, to achieve 0.30w/mk2  
 Thermally broken fixings through insulation.  
 10mm Traditional lime render with mesh reinforcement.



Proposed Section EE



Proposed Section FF

**KEY**

1. Existing historic fireplace reinstated with blackened metal lining and new insert.
2. New lightweight timber stair between studio and mezzanine behind timber framing (shown dashed).
3. New lightweight cantilevered mezzanine walkway stepped up to align wide plank timber boards with existing fireplace hearth.
4. Existing chimney breast masonry cleaned of latter addition paintwork and coated with breathable insulating lime render.
5. New lime rendered panel behind timber framing continuous with stair ballustrade and topped with dark metal handrail, to form protected route of escape from basement.
6. Existing timber door and frame removed and reinstated with new timber door and framing extended to the full width of the studio with equal spacing between columns.
7. New lightweight mezzanine structure supported on historic masonry supports, exposed timber joists to underside with timber boards between. With wide plank timber boards aligned with existing fireplace hearth.
8. New thermally broken dark metal slimline double glazed skylights.
9. New air-source heat pump outdoor unit in acoustic enclosure clad in louvred timber panels, to improve sustainable performance of building.
10. Existing roof profile rebuilt at higher level with improved thermal performance and sedum green roof to improve site biodiversity. Exposed timber joist structure to underside of upper roof, with timber panels between to match mezzanine structure.
11. New cylindrical timber columns, finished with light colour lime wash, with equally spaced gaps to match rhythm of posts below.
12. Existing masonry walls lined with wood fiber breathable insulation and clad in lime washed timber paneling. Refer to build-up 'A'.
13. Existing masonry lined with breathable wood fibre insulation and finished in lime render. Refer to Build-up 'B'.

**NOTES:**

1. All existing plaster and timber features to be retained unless otherwise noted on plan.
2. All existing windows and doors to be retained unless otherwise noted on plan.
3. All works previously consented unless otherwise noted on plan.

--- Leasehold retail unit boundary (outside of application)



Planning	01.10.24	-
issue:	date:	revision:

Project  
**28 Charlotte Street**

Drawing  
**Proposed Section EE & FF**

Drawing No.  
**28CS(20)A09**

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Job No.	Date	Scale
28CS	01.09.22	1:100@A3 1:50@A1