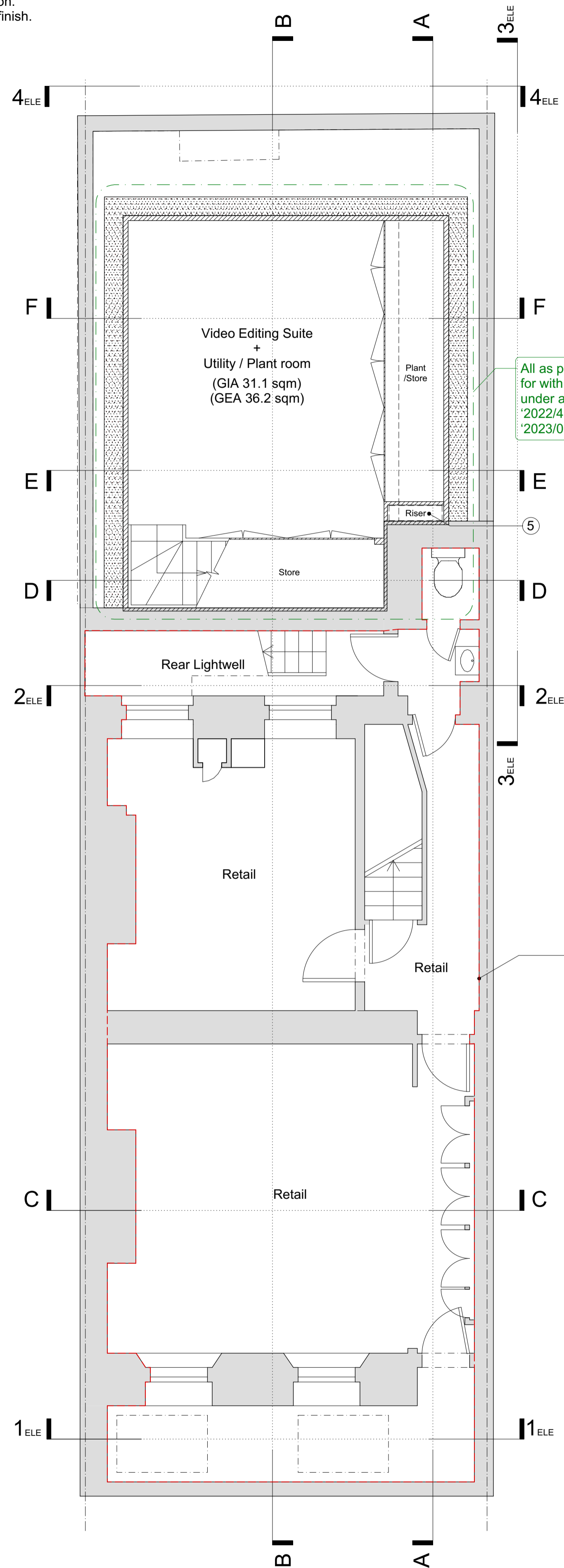
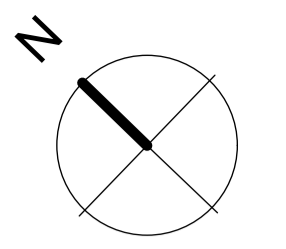
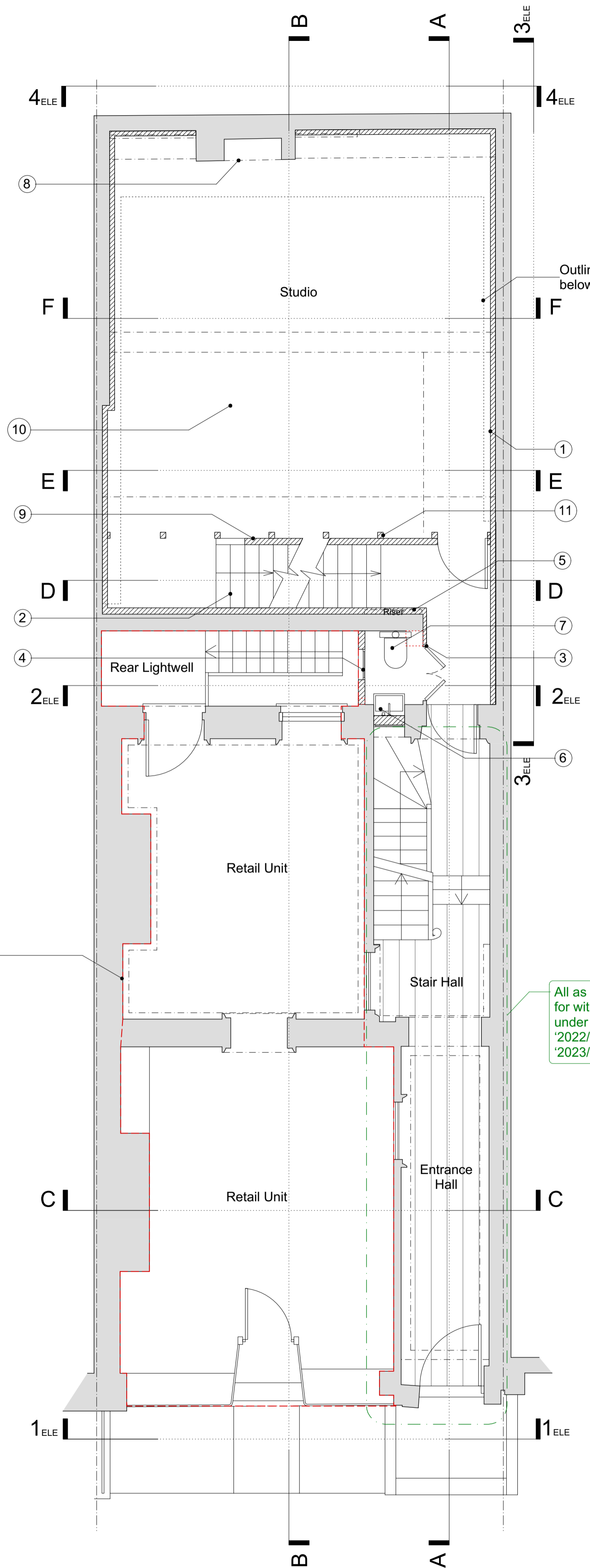


Studio timber panel wall lining building up:
 Existing brickwork cleaned and repointed as required.
 100mm Steico Flex 036 wood fiber insulation, to achieve 0.30w/mk2
 Thermally broken fixings through insulation.
 20mm Reclaimed oak panelling with lime wash finish.



Basement (-1) Floor



Ground Floor

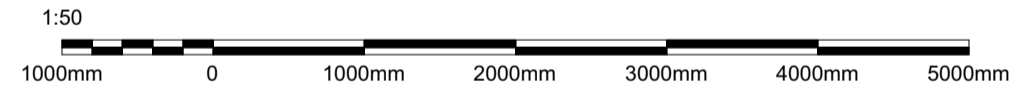
Retail unit leasehold boundary shown in red dashed line

KEY

1. Existing masonry cleaned of latter addition paintwork for breathability, and coated with breathable woodfiber insulation and timber paneling.
2. New lightweight timber stair between studio and mezzanine.
3. Existing non original storage cupboard partition and door rebuilt to form WC enclosure, designed in keeping with the period and character of the studio.
4. New thermally broken dark metal slim profile steel double glazed windows, window cill raised to align with principal building windows.
5. New services riser for air source heat pump and solar panels between basement plant room and principal building, concealed in wall lining.
6. Existing internal window to be retained and blocked from studio side to form alcove for new basin vanity.
7. New WC to replace WC extension removed at first floor.
8. Existing historic fireplace opening reinstated, with blackened metal lining and insert inkeeping with period and character of studio.
9. New lime render paneling integrated with staircase handrail. Set behind vertical timber framing, to provide protected route of escape from basement.
10. New timber floor boards as previously applied for with resolution to grant under applications '2022/4794/P' & '2023/0106/L'.
11. New square timber posts equally spaced across studio, to recreate rhythm of existing timber framing.

NOTES:

1. All existing plaster and timber features to be retained unless otherwise noted on plan.
 2. All existing windows and doors to be retained unless otherwise noted on plan.
 3. All levels shown relative to Charlotte Street only.
- Leasehold retail unit boundary (outside of application)



Planning	01.10.24	-
issue:	date:	revision:

Project
28 Charlotte Street

Drawing
Proposed B-1 & Ground, Floor Plans

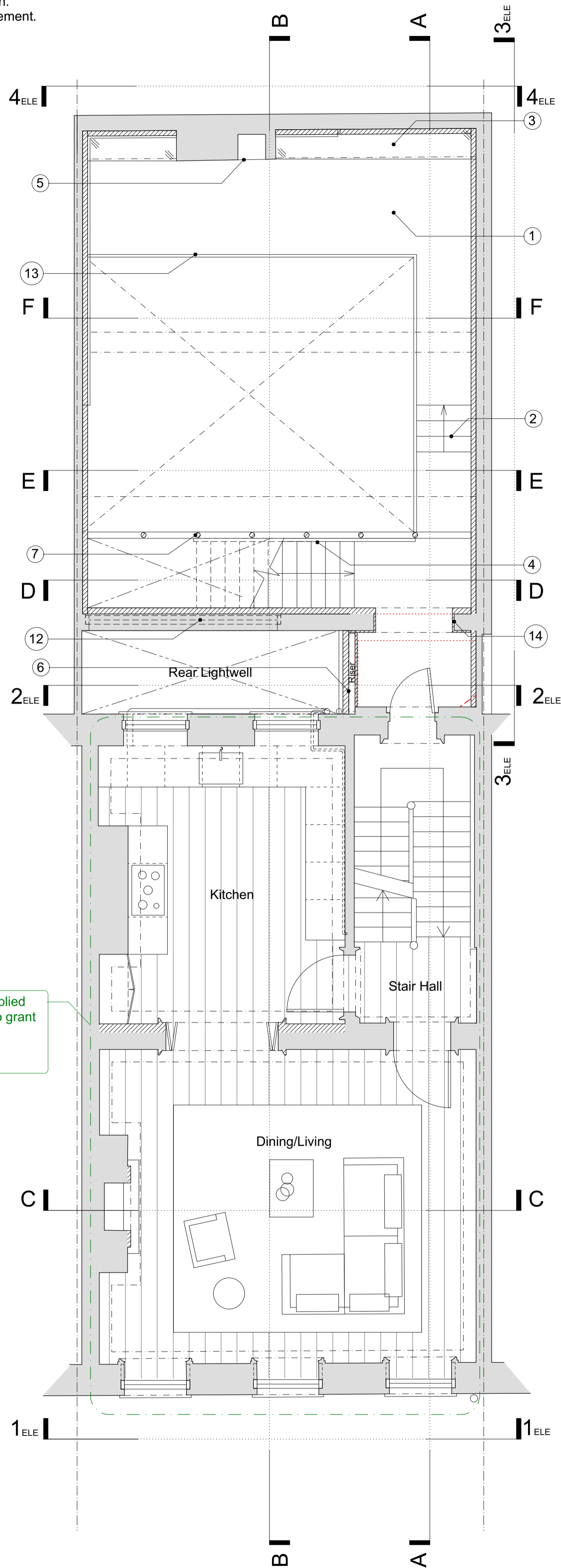
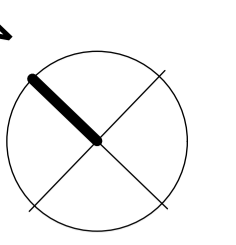
Drawing No.
28CS(20)A01

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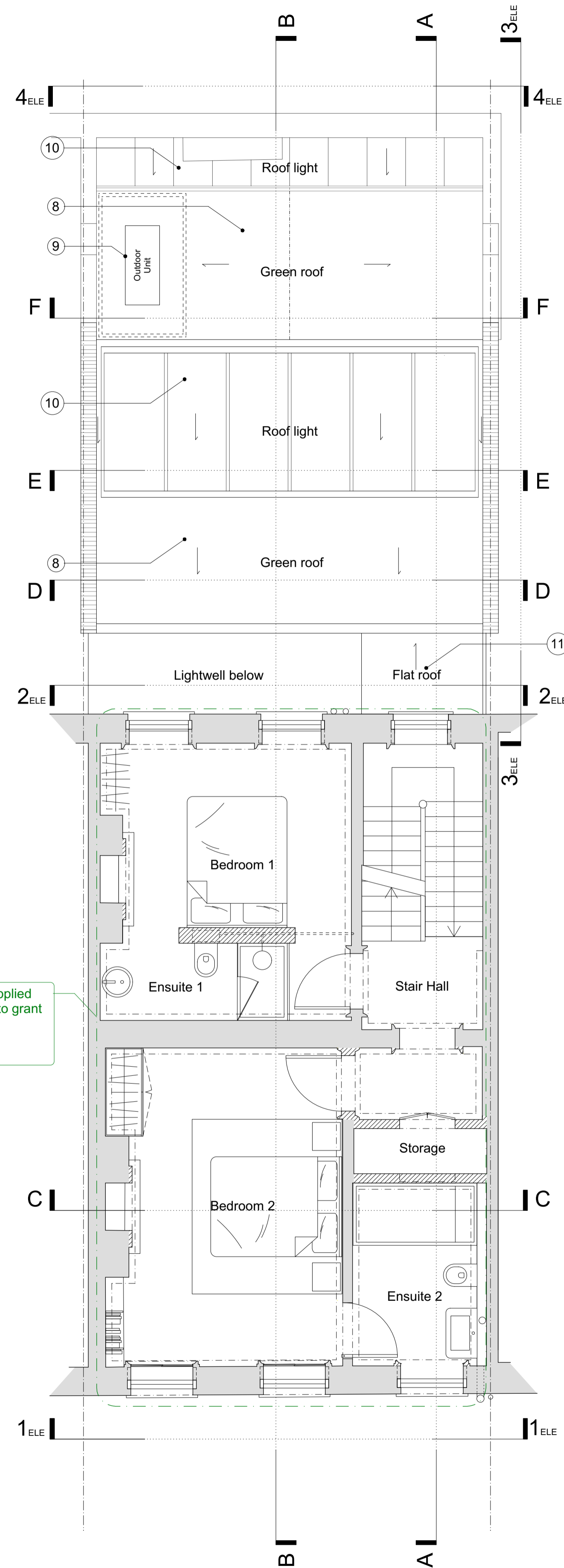
Job No.	Date	Scale
28CS	13.03.20	1:100@A3 1:50@A1

Studio rendered wall lining building up:
 Existing brickwork cleaned and repointed as required.
 120mm Steico Duo Dry wood fiber insulation, to achieve 0.30w/mk2
 Thermally broken fixings through insulation.
 10mm Traditional lime render with mesh reinforcement.



First Floor

All as previously applied for with resolution to grant under applications '2022/4794/P' & '2023/0106/L'.



Second Floor

All as previously applied for with resolution to grant under applications '2022/4794/P' & '2023/0106/L'.

KEY

1. New lightweight mezzanine structure bearing on existing masonry piers, with exposed timber joists below with between. Timber board floor, to match main studio floor, level with existing fireplace hearth.
2. Lightweight cantilevered mezzanine walkway, stepping up from principal building mid-landing level to align with level of masonry supports and fireplace hearth.
3. New walk-on structural glass floor aligned with the depth of the chimney breast. To allow passage of light from rooflights above and retain reading of full height of rear wall.
4. New lightweight timber stairs to mezzanine level, with solid lime rendered balustrade, topped with dark metal handrail.
5. Existing historic fireplace reinstated, with blackened metal lining and insert inkeeping with period and character of studio.
6. Wall of non original WC extension rebuilt with London Stock brick to match adjacent, to house service riser for principal building.
7. New cylindrical timber columns, finished with light colour lime wash, with equally spaced gaps to match rhythm of timber framing below.
8. New green roof, to provide improved thermal performance and increase biodiversity.
9. New air-source heat pump outdoor unit in acoustic enclosure (shown dashed), clad in louvred timber panels.
10. New thermally broken steel slimline double glazed skylights. Designed to be in keeping with the period and character of the studio.
11. New lead clad flat roof over link to studio mezzanine with coping stones around perimeter.
12. New thermally broken double glazed clerestory window at high level with dark metal slimline frame to match new skylights.
13. New metal balustrade with slim profile metal spindles, with dark finish to match skylight frames.
14. New opening into rear studio with existing masonry nibs retained, to retain reading of the studio volume as separate from the main house

NOTES:

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- Leasehold retail unit boundary (outside of application)



Planning	01.10.24	-
issue:	date:	revision:

Project
28 Charlotte Street

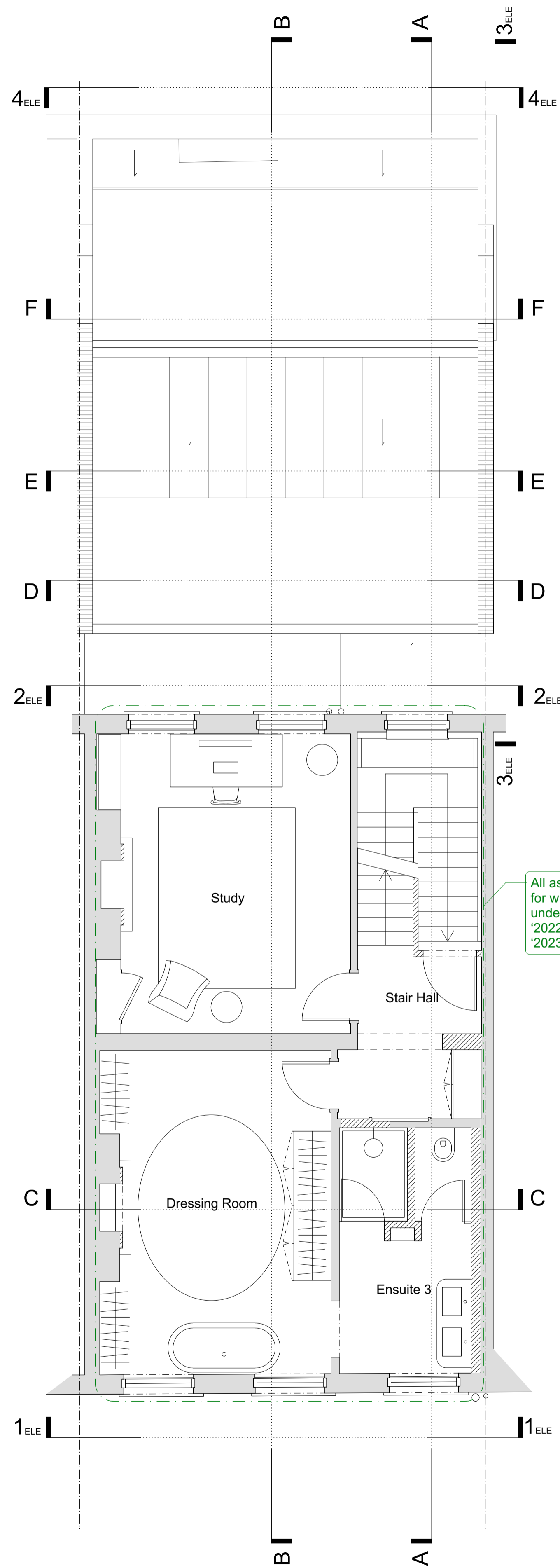
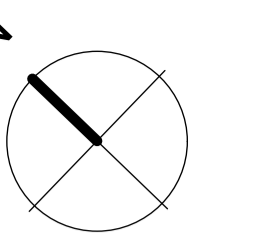
Drawing
Proposed 1st & 2nd, Floor Plans

Drawing No.
28CS(20)A02

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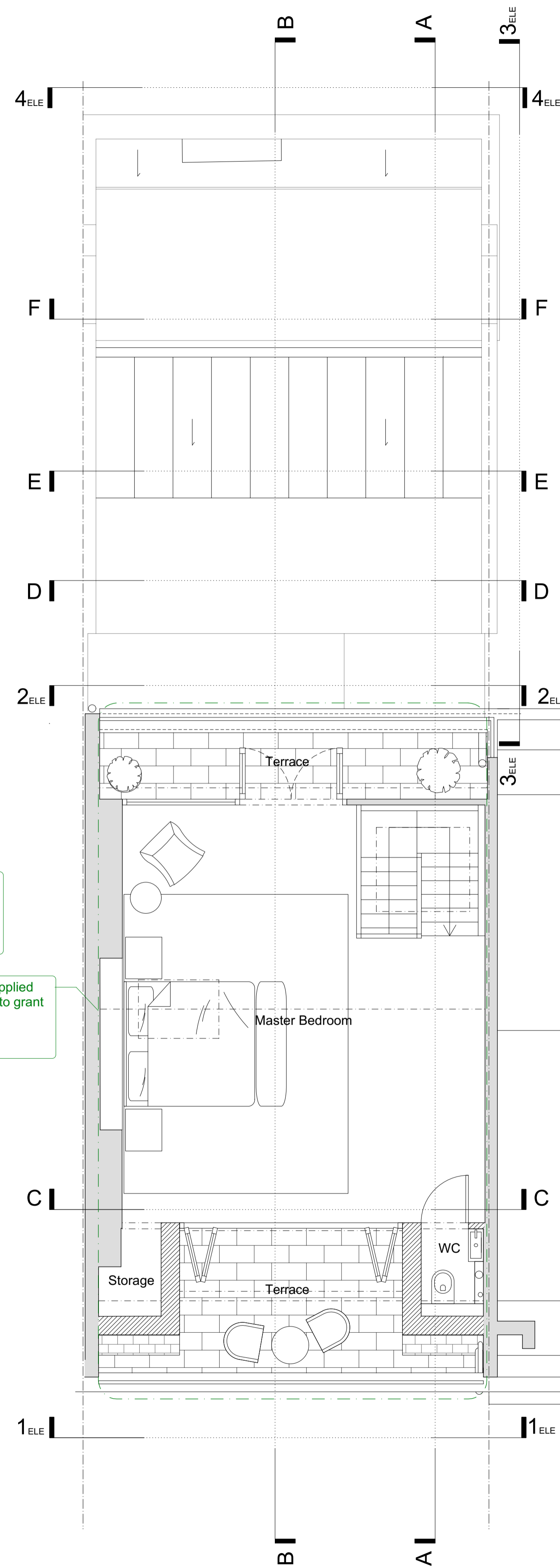
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Third Floor

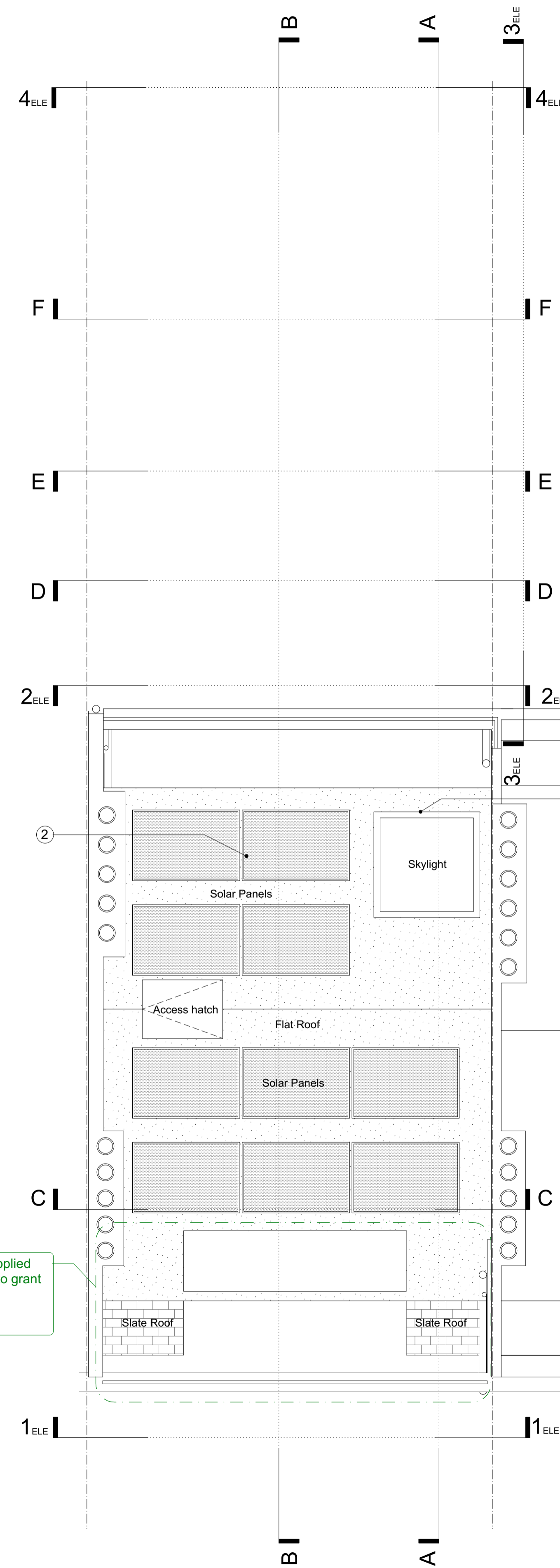
All as previously applied for with resolution to grant under applications '2022/4794/P' & '2023/0106/L'.

All as previously applied for with resolution to grant under applications '2022/4794/P' & '2023/0106/L'.



Fourth Floor

All as previously applied for with resolution to grant under applications '2022/4794/P' & '2023/0106/L'.



Roof Plan

KEY

1. Skylight previously applied for with resolution to grant under applications '2022/4794/P' & '2023/0106/L'.
2. New low profile solar panels to reduce environmental impact of dwelling, set back from eaves to not be visible from ground level.

NOTES:

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 3. All levels shown relative to Charlotte Street only.
- Leasehold retail unit boundary (outside of application)



Planning	01.10.24	-
issue:	date:	revision:

Project
28 Charlotte Street

Drawing
Proposed 3rd, 4th, Roof, Floor Plans

Drawing No.
28CS(20)A03

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28CS	13.03.20	1:100@A3 1:50@A1