

2 St Paul's Crescent

Design, Access and Heritage Statement

November 2024

Project	2 St Paul's Crescent, NW1 9XS
Job no.	0125
Client	Gemma Knight
Issue	P2
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File ref.	0125-DAHS



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1. Introduction

1.1. Executive Summary

- 1.1.1. This Design, Access and Heritage Statement has been prepared by House of Design Architects on behalf of Gemma Knight for the proposed works to 2 St Paul's Crescent.
- 1.1.2. The proposed works include a suite of internal refurbishments, landscaping of the garden, rebuilding of the existing rear extension and roof terrace, and infilling the side passageway.
- 1.1.3. The scheme will create a more rational sequence of spaces and provide valuable internal area to meet the functional needs of occupying family.
- 1.1.4. The proposed design has been carefully considered in relation to Camden's built heritage, and seeks to contribute to the borough's rich and diverse architectural tradition.
- 1.1.5. The document should be read in conjunction with all other drawings and reports submitted as part of this application.

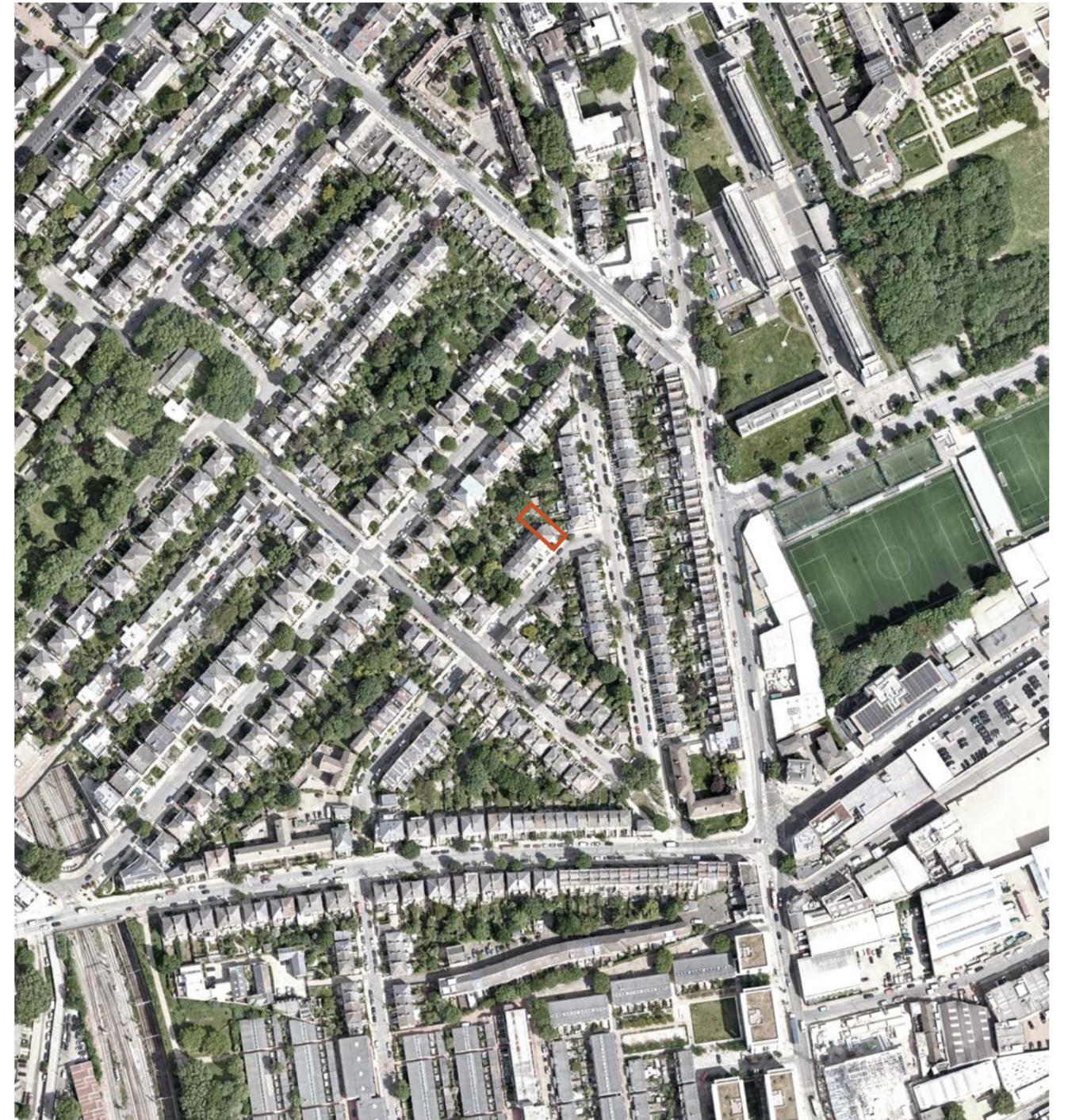


Existing front elevation of 2 St Pauls Crescent

2. Site

2.1. Location

- 2.1.1. 2 St Paul's Crescent is an end of terrace house located at the corner of St Paul's Crescent and Marquis Road.
- 2.1.2. The full address is 2 St Paul's Crescent, London NW1 9XS.
- 2.1.3. The local planning authority is Camden Council.



Location map

2.2. Access

2.2.1. The site is accessed from St Paul's Crescent, which is a two way residential street connecting Marquis Road to Agar Grove.

2.3. Heritage and conservation

2.3.1. The property is not listed but lies within the Camden Square Conservation area.

2.4. Planning policy

2.4.1. The proposals comply with the NPPF 2023 and the London Plan 2021

2.4.2. In addition to national and London wide policies, the proposal has been carefully considered in relation to the following planning guidance issued by Camden Council:

2.4.3. Camden Local Plan 2017

- A1 Managing the impact of development
- A3 Biodiversity
- D1 Design
- D2 Conservation

2.4.4. Camden Planning Guidance (2021)

- CPG Design
- CPG Home Improvements
- CPG Amenity
- CPG Trees

2.4.5. Camden Square Conservation Area Appraisal and Management Strategy (2011)

2.5. Planning history

2.5.1. The following planning history for 2 St. Paul's Crescent is relevant to this application:

- 15597 – Conversion of 2 St. Paul's Crescent, N.W.1, into 2 self-contained units involving the construction of rear and side additions. Granted 16/03/1973
- 2019/5760/P – Erection of single storey rear extension following demolition of existing, alterations to existing side infill extension, like for like replacement of windows. Granted 25/03/2020
- 2020/2835/P – Replacement of single storey rear extension, with balcony, railings and rooflights above; replacement of doors on main elevation; alterations to windows on side elevation. Granted 08/09/2020

2.6. Flood risk

2.6.1. The site is in Flood Zone 1 as defined by the Environment Agency and the size of the development is smaller than 1ha. Furthermore, the proposals do not significantly increase the amount of surface water runoff or change the amount of built form or hard paving. Please consider this our statement of reasonable exemption.

2.6.2. Rainwater runoff mitigation forms part of the proposed scheme and is described in greater detail in this report.

Key

- Site
- Local Authority Boundary
- Camden Square Conservation Area
- Other Conservation Area
- ▨ Listed Parks and Gardens
- Grade I listed building
- Grade II* listed building
- Grade II listed building
- ▨ LVMF Viewing Corridor
- ▨ LVMF Wider Setting



Conservation Map



St Paul's Crescent looking north east to Marquis Road



Terrace setting along the north side of St Paul's Crescent

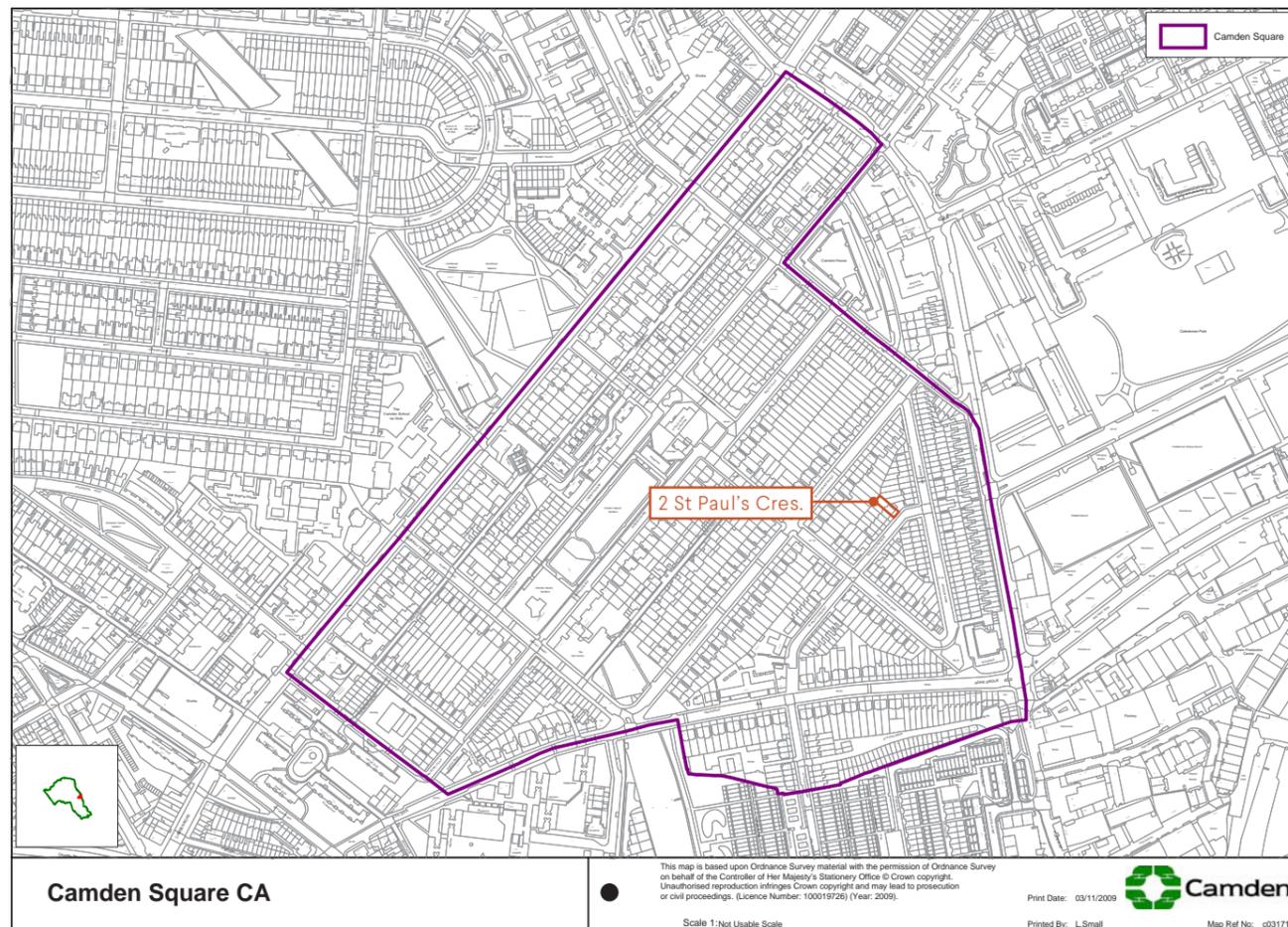
3. Heritage & Conservation

3.1. Conservation Area

- 3.1.1. 2 St Paul's Crescent is located within Camden Square Conservation Area.
- 3.1.2. Camden Square Conservation Area was established in 1980. This designation was made to protect and preserve the special character of the area.
- 3.1.3. According to Camden's Local Plan the special character is defined by not having a uniform architecture. Camden Square's special character is derived from its diversity.
- 3.1.4. 2 St Paul's Crescent is an end of terrace property in the style of a late Georgian villa, typical of mid nineteenth century suburban development.
- 3.1.5. Throughout the twentieth and twenty-first century, Camden has fostered bold modern architectural styles, both residential and non-residential. Recent examples are the Camden Residence, the John Morden Centre, The Central Somers Town, The Leving House and The Shadow House.

3.2. Camdens Industrial Heritage

- 3.2.1. Camden has a rich industrial and transport heritage. It's the intersection of three main rail lines, Regent's Canal, and the North London Railway to London's docks all of which have undergone a rapid decline leaving vacant industrial spaces that have evolved into Camden Market and the King's Cross Estate.
- 3.2.2. Camden is also synonymous with music and counterculture movements which has translated into the built environment over the years.
- 3.2.3. Camden's unique history and heritage have generated a diverse range of architectural styles which positively contribute to its special character.



Camden Square Conservation Area Map



Historic photograph of Regent's Canal in Camden

3.3. Camdens Cultural History

- 3.3.1. Camden is known for its vibrant culture and unique lifestyle. The Industrial Revolution created a new socio-economic environment with an influx of people into the area which has evolved into a diverse community.
- 3.3.2. The borough has stood out as a cultural epicentre being a meeting point for music, culture, politics and youth. It is a melting pot of cultures and lifestyles standing as a testament to London's cosmopolitan character, over time this has been ingrained into its built environment and design ideology,
- 3.3.3. Camden Council suggests the area's special character is partly due to its diversity and is receptive to a high-quality innovative design that aligns with the area's progressive history.



Historic photograph of Regents Canal in Camden



Historic photograph of Regents Canal in Camden

3.4. Camdens Built Environment

- 3.4.1. Camden's rich industrial, cultural and arts heritage has contributed to the council's general design principles and ethos.
- 3.4.2. Camden Council encourages high-quality sustainable design that respects its site and setting. Recently, several architectural proposals have responded to these criteria through an exploration of a form and an innovative use of materials.



John Morden Centre



Central Somers Town



Levring House



The Shadow House



Camden Residence

4. Existing Building

4.1. Architectural Period

4.1.1. The existing building at 2 St. Paul's Crescent is a Victorian end-of-terrace house, originally constructed around 1860. It represents a typical example of residential architecture from that period.

4.2. Front Elevation and Entrance

4.2.1. Portico Entrance: A key characteristic of the front elevation is the raised porticoed entrance, set back from the street. The portico adds visual interest and architectural detail to the facade. This design element is mirrored in the adjacent sash window for the front reception room, creating a sense of symmetry.

4.2.2. Stuccoed Window Surrounds: On the first floor, the window openings are framed with white-painted stucco surrounds, adding a decorative touch to the facade.

4.2.3. Construction Materials: The building is primarily constructed with masonry, featuring a combination of grey and cream bricks.

4.3. Side Passage and Access

4.3.1. A side passage running alongside the end of the terrace provides access to several important areas:

- Secondary Entrance: A secondary entrance is located at the lower ground floor level, accessible from the side passage.
- Rear Garden Access: The side passage also serves as a pathway leading to the rear garden.

4.4. Roof and Eaves

4.4.1. The roof is covered with slate tiles, a common roofing material for Victorian-era homes. The roofline terminates with a white-painted timber soffit at the eaves level, creating a clear horizontal line in the streetscape.

4.5. Windows and Doors

4.5.1. The windows and doors throughout the house are constructed from white-painted timber, contributing to the building's traditional aesthetic.

4.6. Front and Rear Gardens

4.6.1. Both the front and rear gardens feature established planting:

- Mature Trees and Shrubs: Several mature trees and shrubs contribute to the property's greenery and enhance its connection to the surrounding urban environment.
- Bay Tree: A notable feature in the front garden is a bay tree situated to the left of the main entrance.

4.7. Rear Extension

4.7.1. The rear of the property features an existing lower ground floor extension, originally constructed as part of the 1973 planning approval. This extension, while providing additional space, is not considered a positive contributing element to the building's character or functionality:

- Poor Condition: The existing rear extension is in poor condition, suffering from construction deficiencies and a lack of proper insulation.
- Limited Garden Views: The existing extension was designed in a way that obstructs views of the garden from the main living spaces.

4.8. Positive Contributions

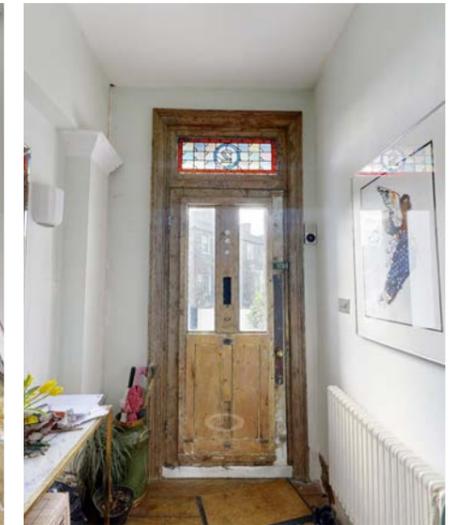
- 4.8.1. Despite the existing rear extension's drawbacks, certain features of the original building are considered positive and will be preserved or enhanced as part of the proposed scheme:
- The side passage and secondary entrance will be retained.
 - Mature planting in the front and rear gardens will be protected.
 - The existing lower ground floor bay window will be substantially retained.



View of front elevation



Ground floor hallway and stair



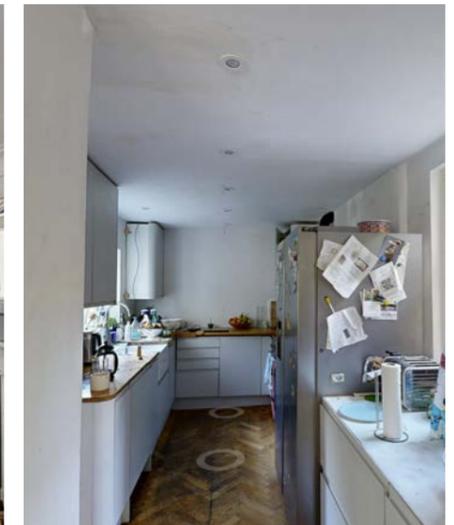
Interior view of front door



View of house for rear garden



View of lower ground living room



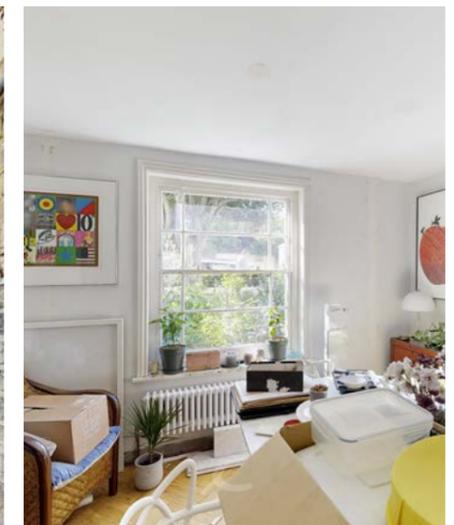
View of rear kitchen extension



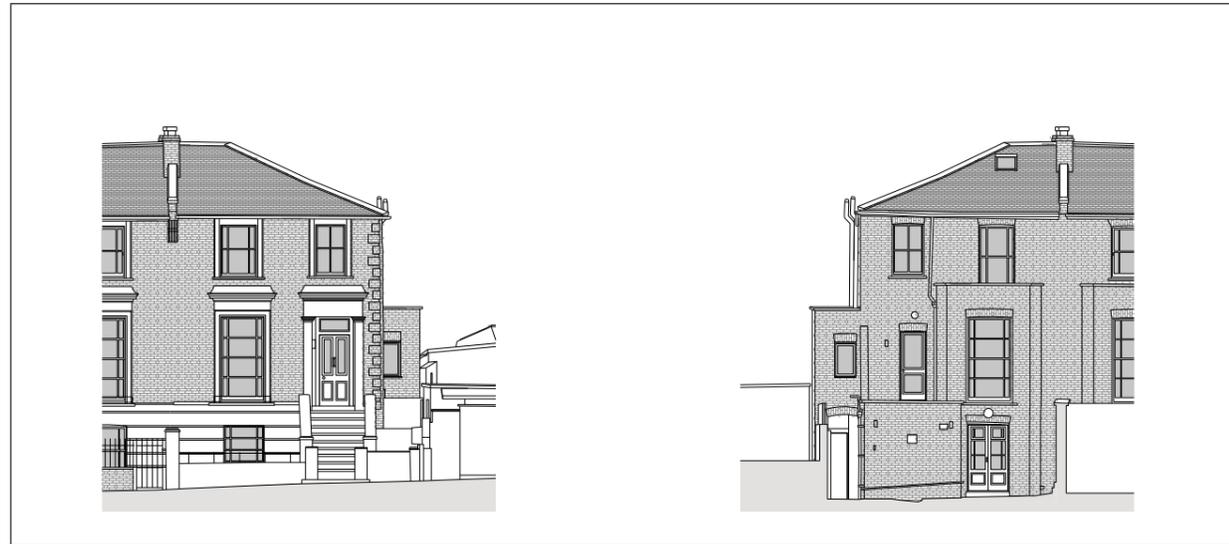
View of garden from terrace



View towards rear garden from side passage



Ground floor bedroom



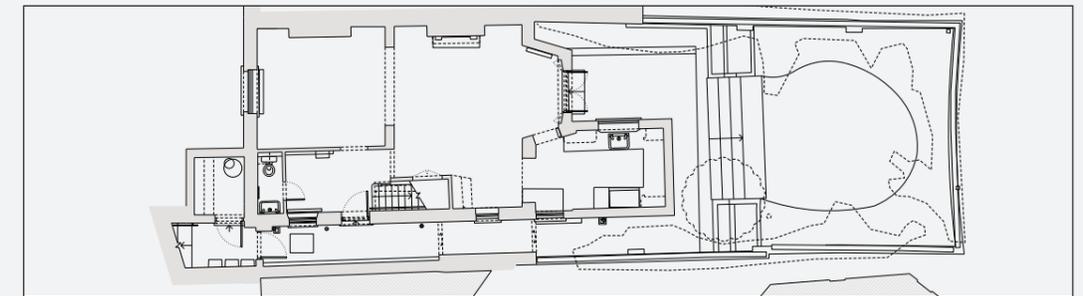
Existing Front and Rear Elevations



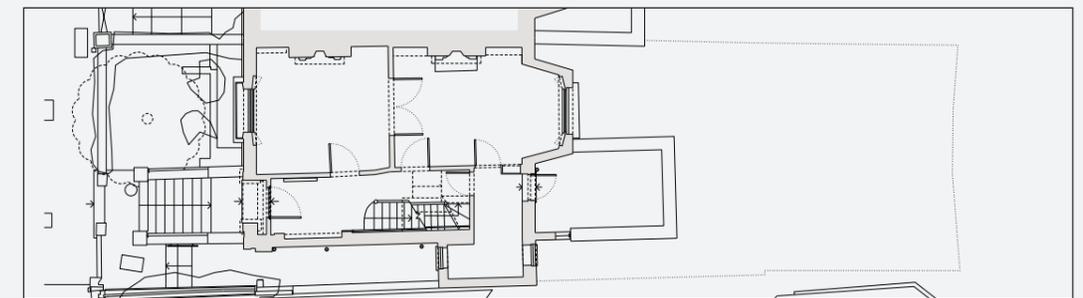
Existing Side Elevation



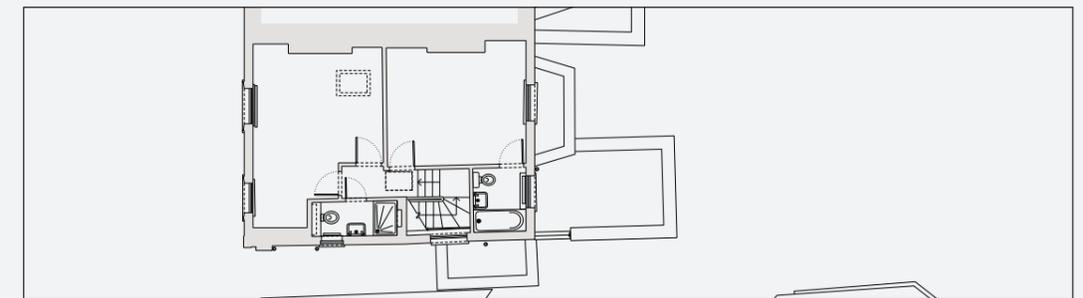
Existing Section AA



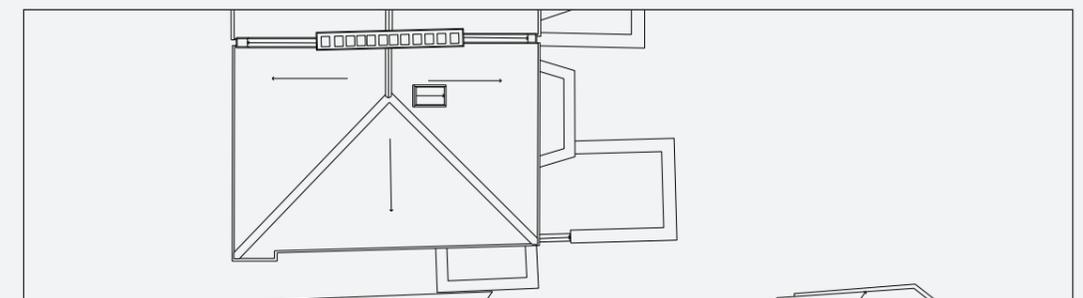
Existing Lower Ground Floor Plan



Existing Raised Ground Floor Plan



Existing First Floor Plan



Existing Roof Plan

6. Planning History

6.1. 1973 Approval

6.1.1. In 1973, planning permission was granted for significant alterations to 2 St. Paul's Crescent (application reference 15597). This approval included the construction of:

- A two-storey side infill.
- A rear extension.
- A roof terrace above the rear extension.

6.2. Assessment

6.2.1. Existing Extension Issues: The existing rear extension, constructed as a result of the 1973 approval, suffers from several issues:

- Poor Construction: The extension was poorly constructed, leading to various structural and functional deficiencies.
- Lack of Insulation: The extension lacks proper insulation, resulting in poor thermal performance and increased energy consumption for heating and cooling.

6.2.2. Modern Extension Limitations: The existing modern extension has limited functionality:

- No Garden Views: The design of the extension restricts views of the rear garden from the interior.

6.2.3. Roof Terrace Value: Despite the existing extension's limitations, the property owner values the roof terrace. Retention of the roof terrace is a key consideration for the proposed scheme.

6.3. Other Relevant History

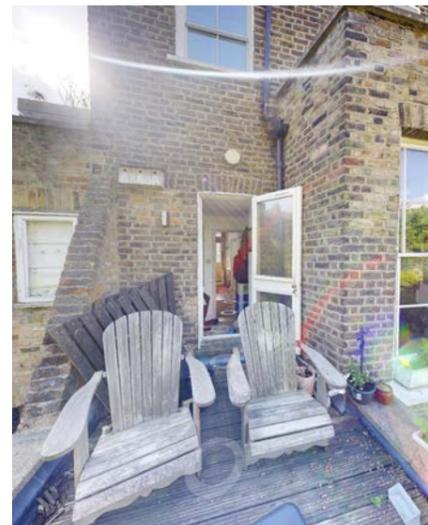
6.3.1. Recent Planning Approvals: More recent planning approvals (references 2019/5760/P and 2020/2835/P) demonstrate a history of alterations to the property. However, these approvals did not address the fundamental issues with the 1973 rear extension.



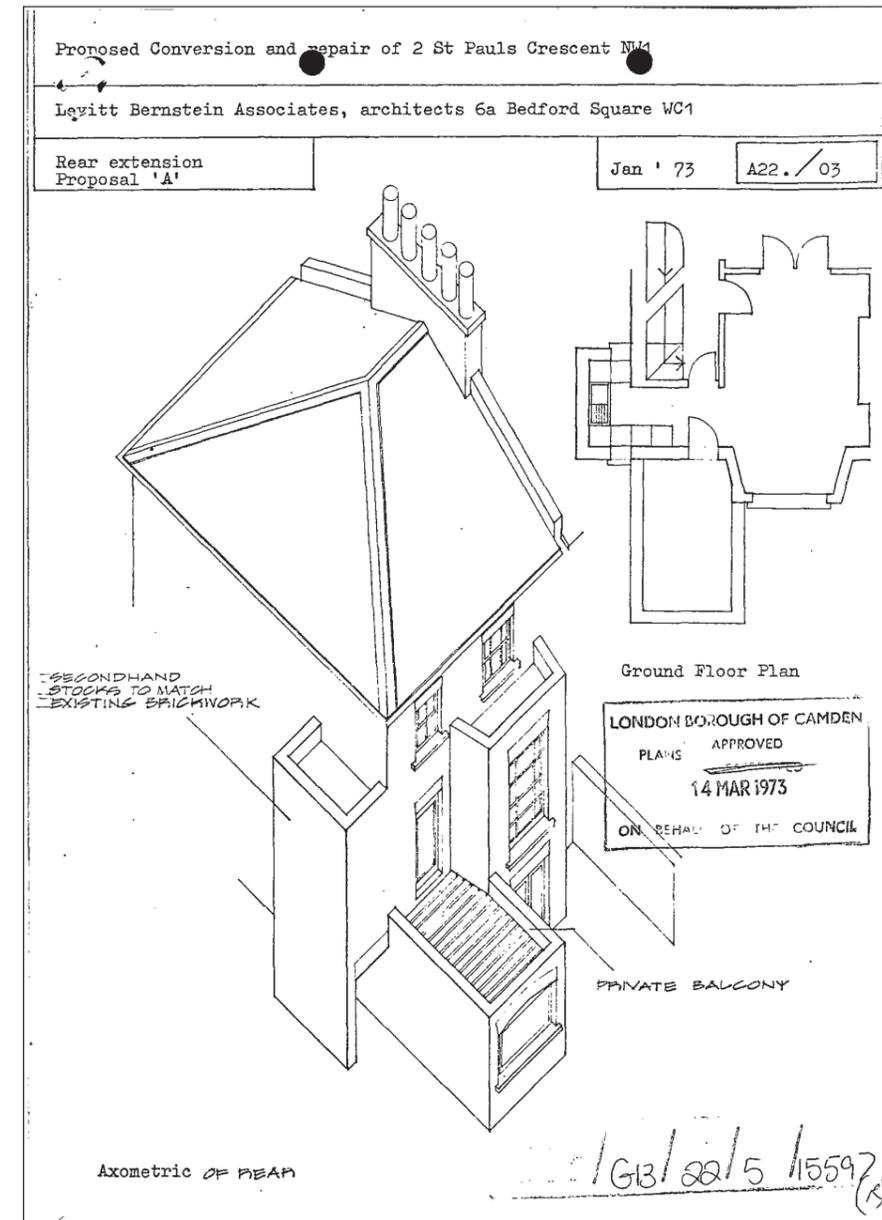
View of rear extension from garden



Interior view of rear extension



View from balcony towards the house



Isometric drawing of proposed rear extension (1973 Planning Application)

7. Proposed Design

7.1. Summary

- 7.1.1. The scope of the proposed work is for the demolition and rebuilding of the rear extension, infill to the side passage at lower ground floor, landscaping of the front and rear gardens and a suite of internal refurbishments.
- 7.1.2. The current design to which this application relates includes the following proposals:
- Localised repairs to the external building fabric;
 - Reinstating the masonry boundary wall and piers to the front garden and relaying of stone the steps to the main entrance;
 - Infilling the side passage at lower ground floor to provide ancillary functions to the property;
 - Rebuilding the rear kitchen extension and roof terrace above to modern construction standards and in a way to enhance visual connection with the rear garden.
 - General internal refurbishment including new floor and wall linings, stairs, doorways and joinery.

7.2. Use

- 7.2.1. This application does not consider a change of use. The property will remain a self contained residential dwelling with an entrance on the street.

7.3. Layout

- 7.3.1. The proposed works seek to rationalise the spaces to meet modern living requirements and enhance the house's connection to the rear garden.
- 7.3.2. The kitchen location is maintained in the rear extension.

- 7.3.3. The infill to the side infill will house ancillary functions such as a laundry and utility room, which is property is currently lacking. Alterations to the historic fabric will be minimised by reusing existing door and window openings to access these spaces.

- 7.3.4. There are no changes to the layout of the upper storeys.

7.4. Scale

- 7.4.1. The scale of the proposed lower ground floor extension and side infill have been carefully considered in relation to the proportions and scale of the host building. They remain subservient to the original end of terrace house.

7.5. Access

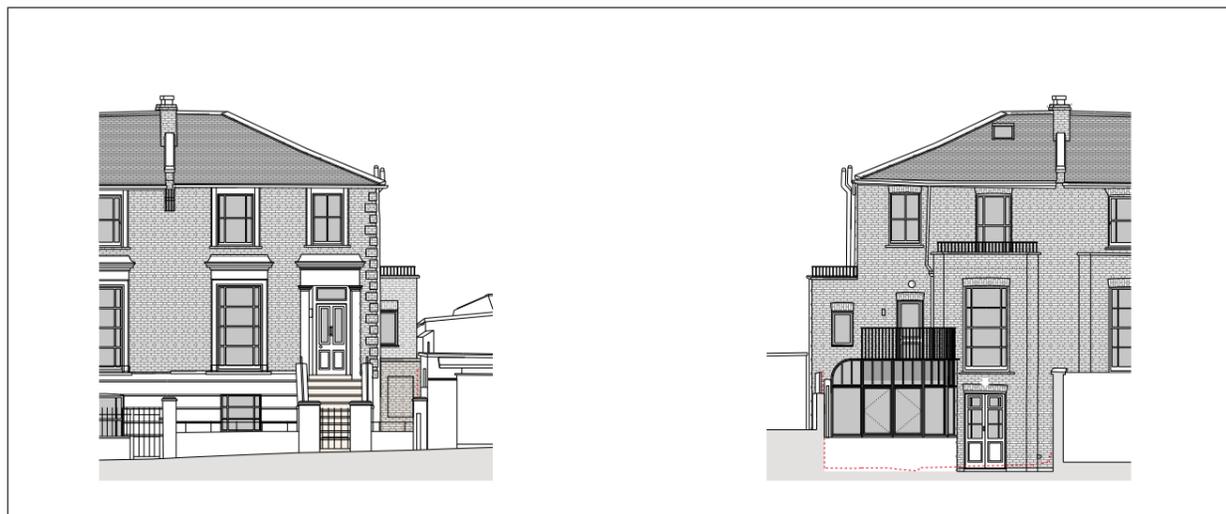
- 7.5.1. Currently there is no specific parking provision for 2 St. Paul's Crescent, as there is general street parking available. This application makes no changes to this situation, as it does not alter the quality or quantity of parking spaces available. There is no change of access to the property.

7.6. Fire Risk

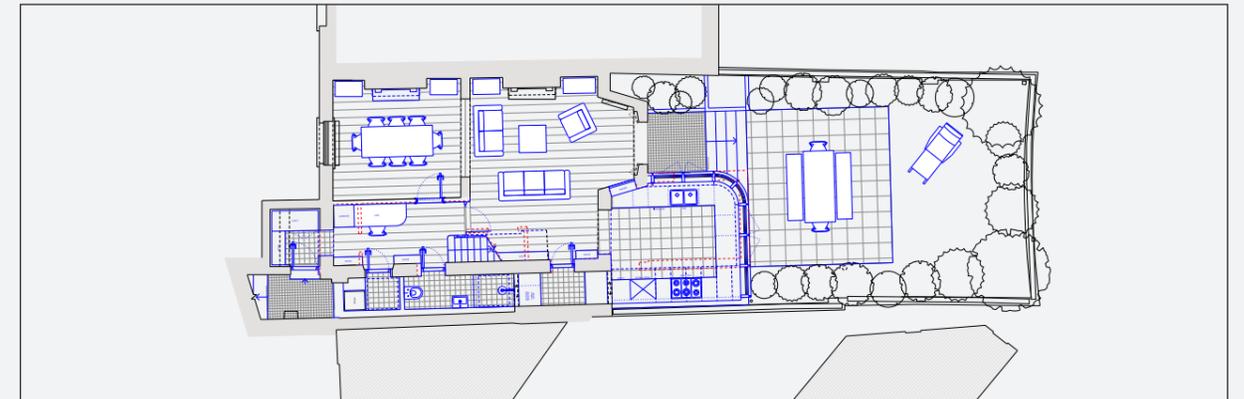
- 7.6.1. The proposals make no change to the current fire strategy. All existing means of escape are maintained. Please consider this our statement of reasonable exemption.

7.7. Party Walls

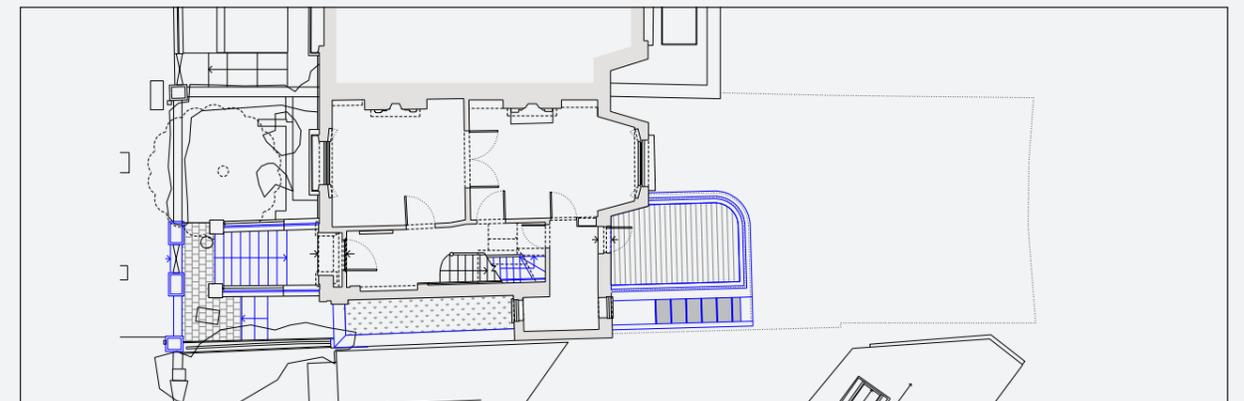
- 7.7.1. The proposal will require partially rebuilding and the party wall. The applicant is engaging with their neighbours as part of this process.



Proposed Front and Rear Elevations



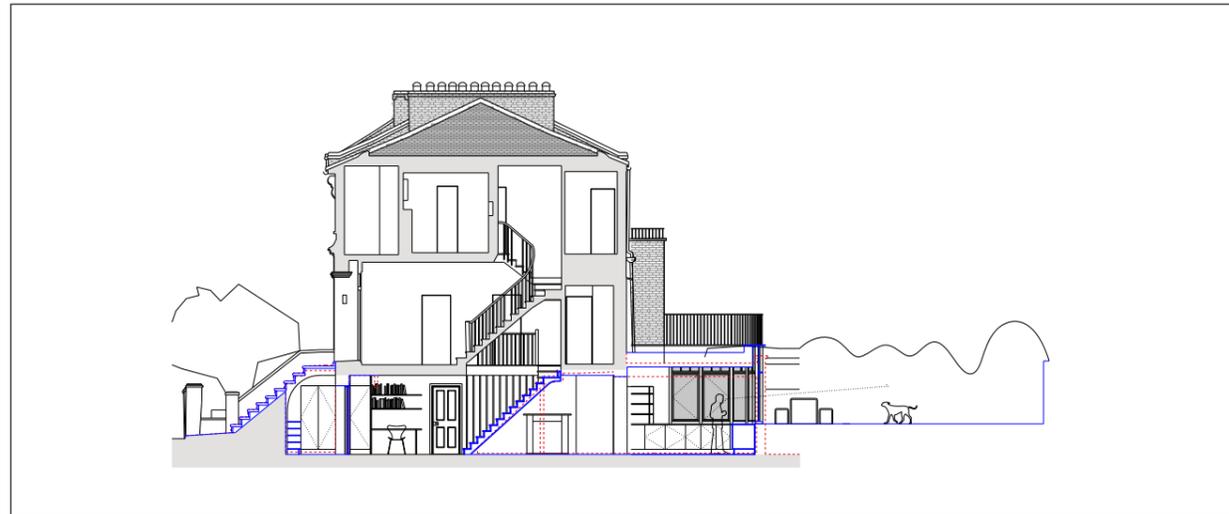
Proposed Lower Ground Floor Plan



Proposed Ground Floor Plan



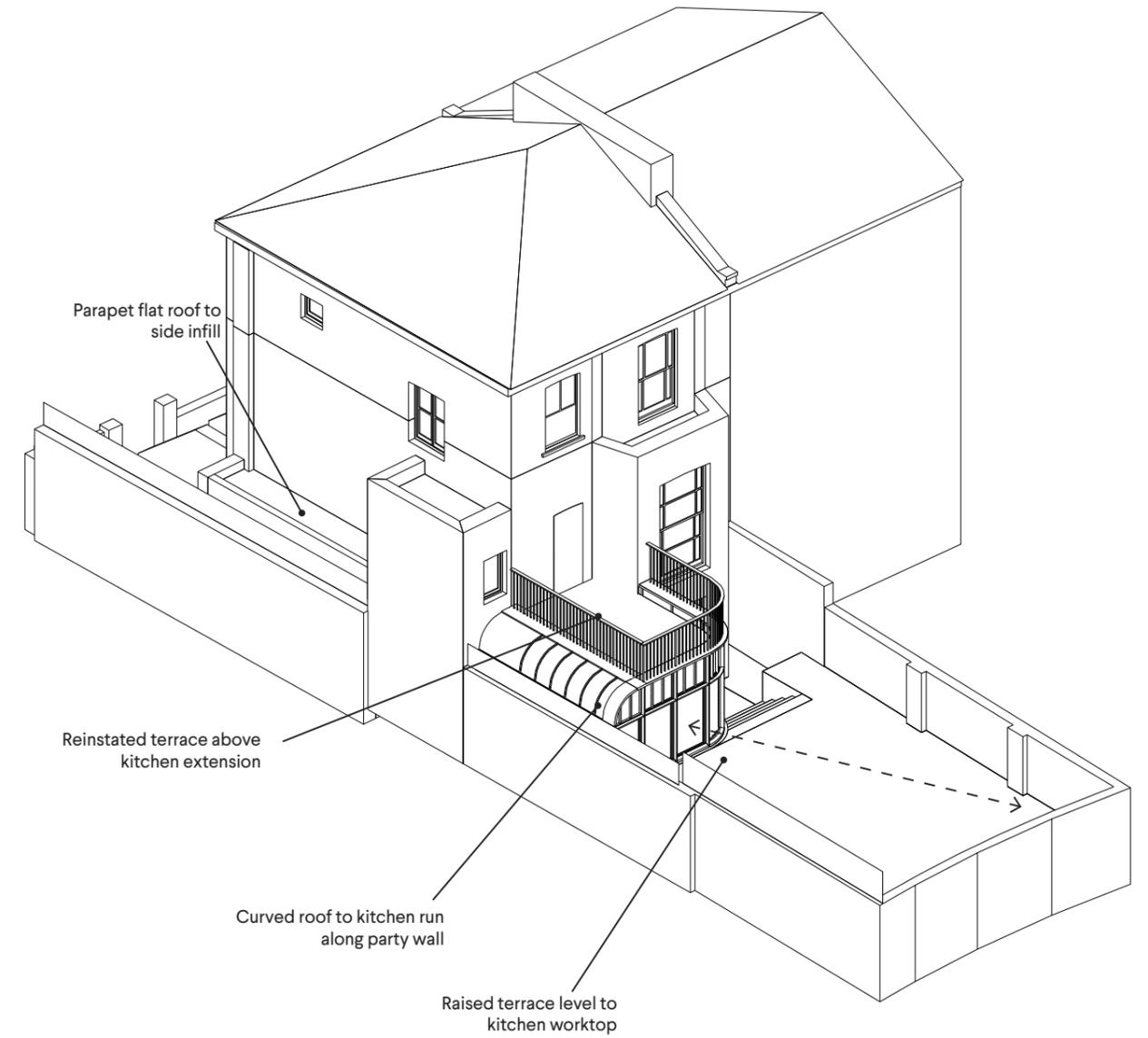
Proposed Side Elevation



Proposed Section AA



Proposed Section BB



Isometric view of the proposed design

7.8. Appearance

- 7.8.1. The proposed works have been designed to enhance the special character of the local area and reference some of the industrial heritage of the borough.
- 7.8.2. To the rear, the new extension will be faced with a steel framed glazing system to enhance visual connection to the garden. The galvanised finish of the frame will be carried through to the transom panels, parapet and balustrades to create a holistic architectural expression.
- 7.8.3. The additions to the front and side seek to complement the heritage of the host building and enhance the street setting.

7.9. Materiality

- 7.9.1. It is proposed to construct the rear extension using exposed galvanized steel profiles to reference Camden's local industrial heritage.
- 7.9.2. Conversely, the elevation of the side infill to the front will be constructed using London stock brick to maintain the historic character of the street edge.
- 7.9.3. External hardstanding will include York stone for the front steps and buff coloured cobble sets in the patio areas.
- 7.9.4. Soft landscaping will be slightly reduced in the rear garden to allow for a more generous patio. Mitigation measures are proposed as part of the SuDS design.

7.10. Conclusion

- 7.10.1. The proposed rear extension and side infill have been considered in relation to the local context and the character of the original house and the local area. These additions will improve the functionality of this family dwelling, while also unlocking the amenity value of the rear garden.



Slim galvanized steel window frames



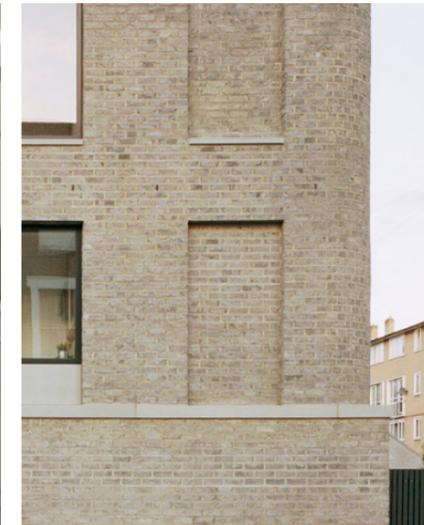
Galvanized steel panels



Decorative projecting galvanized steel fins



Tiled wall treatment below curtain glazing to proposed rear extension



London stock brick to match original, blind panel formed to side infill front elevation



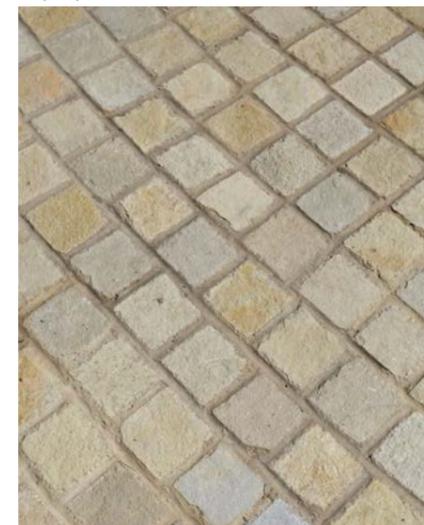
Clear line of sight to exterior spaces



Galvanized steel balustrade to rear extension terrace



Curved glazing detail to kitchen extension



Buff coloured cobble setts to patios



York stone steps to front entrance



York stone paving to rear garden terrace

8. Heritage Statement

8.1. Summary

- 8.1.1. 2 St. Paul's Crescent is situated within the Camden Square Conservation Area. Established in 1980, this designation serves to protect and preserve the area's special character. The Conservation Area Appraisal and Management Strategy (2011) defines this character as diverse, acknowledging a non-uniform architectural style.
- 8.1.2. The proposed alterations are carefully designed to minimize any negative impact on the conservation area while respecting this diversity.
- 8.1.3. Internal modifications will enhance the house's original character, providing ancillary functions, and rationalising spaces for modern living requirements.
- 8.1.4. This design is sensitive to the area's special character and the site's historic interest. It fully complies with the Camden Local Plan (2017) and national guidance.

8.2. Policy Considerations

- 8.2.1. Policy D1 Design a. Respects local context and character:
 - The Camden Square Conservation Area is characterized by phased development evident in groups of buildings where plots have been developed individually. This results in a diversity of plot sizes, layouts, and elevation treatments, contributing to the area's special character. The proposals are designed to enhance this character while respecting the existing diversity.
 - Alterations to the front elevation complement the Victorian terrace and the streetscape, using a matching material palette.
 - The rear extension's redesign reflects the diversity of Camden Square and the broader borough. Drawing inspiration from Camden's industrial heritage and artistic culture, it demonstrates a high-quality innovative design that aligns with the area's progressive history.
- 8.2.2. Policy D1 Design e. Comprises details and materials of high quality that complement the local character:
 - High-quality materials will be used for the rear extension. Galvanized steel, referencing Camden's industrial history and forward-thinking design ethos, will be used.
 - Street-facing works will remain consistent with the existing elevation. The side infill will use London Stock Brick and concrete coping, matching the existing brick tone.
 - The front stairs will be reclad in York stone. The

choice of York stone and London stock brick pays homage to the area's traditional materials, complementing the existing built fabric.

- 8.2.3. Policy D2 Heritage. Conservation areas. f. Resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area:
 - The Camden Square Conservation Area Appraisal and Management Strategy (2011) emphasizes a general presumption in favour of retaining all positive buildings.
 - The proposed works resist substantial demolition, retaining much of the existing building.
 - While the rear extension's rebuilding requires demolition, the new design will make a positive contribution to the area's special character.

8.3. Justification for Proposed Works

- 8.3.1. The existing lower ground floor rear extension, approved in 1973, is of modern construction. Its removal is deemed acceptable as it does not significantly impact the host building or the wider Conservation Area.
- 8.3.2. The proposed single-storey rear extension is a proportionate and subordinate addition. It will not harm the character or setting of the host or neighbouring properties. The depth and width of the proposed extension respect the existing pattern and rhythm of rear extensions in the area.
- 8.3.3. The extension maintains a similar footprint to the existing one, incorporating an area along the north-east boundary with 23 Marquis Road. The presence of similar single-storey rear extensions on this side of St. Paul's Crescent ensures the proposal remains in character and minimizes visual impact.
- 8.3.4. The lower ground floor bay window is largely retained, preserving a defining element of the historic dwelling.
- 8.3.5. While modern and curvilinear, the extension uses steel, tile, and curved glass. This complements the host dwelling's historic character while allowing the extension to be recognized as a modern addition. The modern design approach reflects the area's receptiveness to innovative designs while ensuring compatibility with the historic building.
- 8.3.6. The existing roof terrace at the upper ground floor level will be reinstated atop the new extension with a metal balustrade.
- 8.3.7. The terrace area will not increase substantially, limiting future impacts on neighbouring amenity.

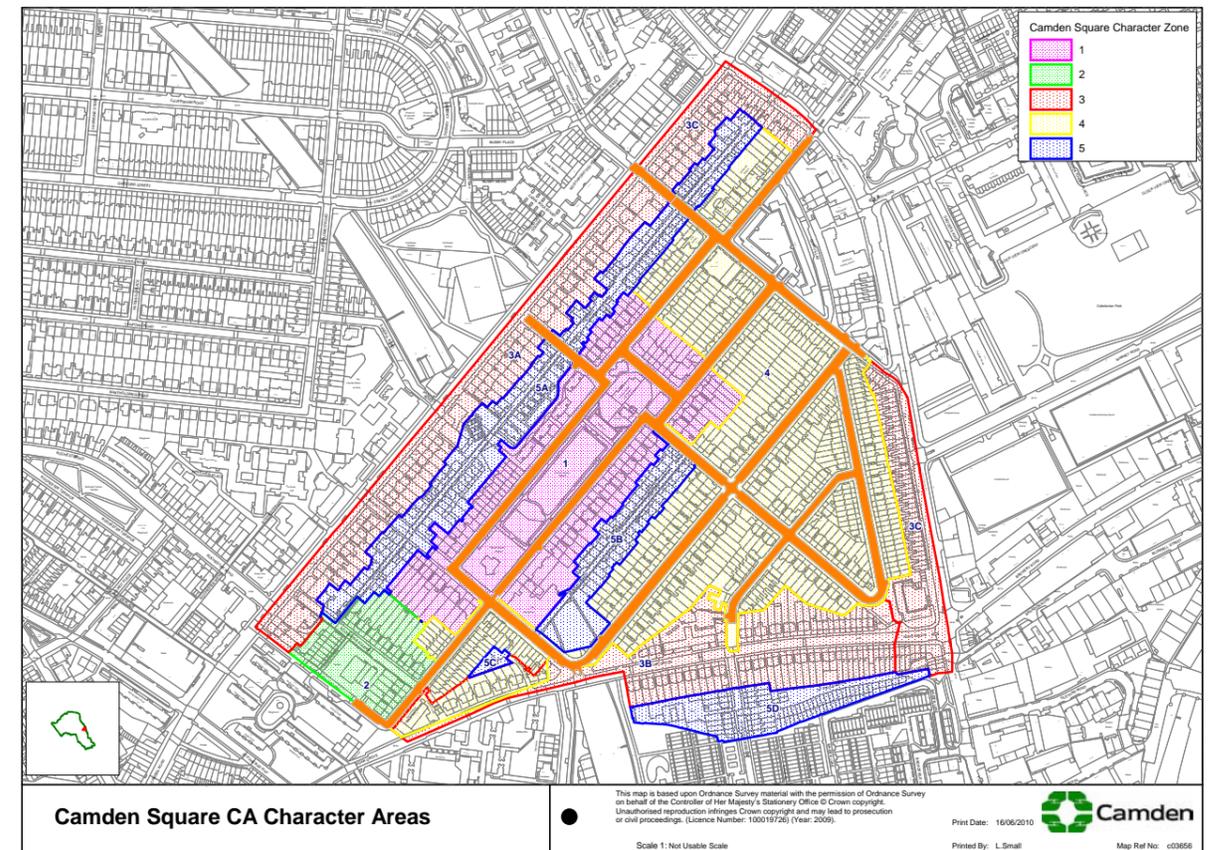
- 8.3.8. The side infill extension, replacing the pedestrian walkway, is a proportionate addition that will not harm the host or neighbouring properties.
- 8.3.9. A small, visible portion of the extension from the street is acceptable as it will enhance the streetscape. It will feature a matching brick facade and a false window, adding detail to the front elevation.
- 8.3.10. A coping stone with a green roof will surround the flat roof, benefiting biodiversity and water abatement.

8.4. Front Garden Works

- 8.4.1. Works to the front garden include reinstatement of the masonry boundary wall and piers and recladding the front steps with bull-nosed stone treads.
- 8.4.2. These are minor works that will not impact the host building's historic character or the wider Conservation Area.

8.5. Conclusion

- 8.5.1. The proposed alterations demonstrate sensitivity to the historic building and the Camden Square Conservation Area's character.
- 8.5.2. The proposals will enhance the property's functionality while preserving and enhancing the area's special character.
- 8.5.3. The use of high-quality materials and a considered design approach will result in a positive contribution to the built environment.
- 8.5.4. This Heritage Statement showcases a dedication to preserving and enhancing the Camden Square Conservation Area while adapting the property for modern living. The careful consideration of design, materials, and policy compliance strengthens the proposal.



9. Sustainability

9.1. Sustainable Design Statement

9.1.1. The proposal champions sustainable development and aligns with the policies outlined in the Camden Local Plan (2017) and other relevant national and local guidance.

9.2. Policy Considerations

9.2.1. Policy CC1. Climate change mitigation. d. support and encourage sensitive energy efficiency improvements to existing buildings:

- The project incorporates a "fabric first" approach to energy efficiency. This prioritizes minimizing energy demand through improvements to the building fabric before considering renewable energy technologies.
- Proposed extensions achieve high levels of air-tightness and will be constructed to achieve appropriate U-values that meet or exceed building regulations.
- These measures will significantly reduce energy consumption for heating and cooling, lowering the building's carbon footprint.

9.2.2. Policy CC2. Adapting to climate change. a. The protection of existing green spaces and promoting new appropriate green infrastructure:

- The proposal prioritizes enhancing green space on the property.
- All mature trees and shrubs will be retained.
- New vegetation will be introduced along the garden perimeter.
- The rear garden will be landscaped to include a new lawn.
- The side infill extension will feature a Sedum blanket green roof.
- These interventions will improve biodiversity, enhance local ecology, manage rainwater runoff, and contribute to the urban greening agenda.

9.3. Sustainable Urban Drainage Systems (SuDS)

9.3.1. The design integrates various strategies to attenuate rainwater runoff and minimize the burden on the main sewer system.

9.3.2. These strategies include:

- A rainwater storage tank located beneath the rear garden terrace.
- The blue/green roof with a Sedum blanket on the side infill extension's flat roof.
- Permeable paving where appropriate.
- The retention and enhancement of soft landscaping in both the front and rear gardens.

9.3.3. These measures will reduce the risk of surface water flooding, improve water quality, and contribute to the sustainable management of water resources.

9.4. Material Selection

9.4.1. Material selection will prioritize durability, longevity, and sustainability.

9.4.2. The use of reclaimed or recycled materials will be explored where possible and appropriate.

9.4.3. This will contribute to a circular economy approach and reduce the environmental impact of the project.

9.5. Waste Management

9.5.1. A comprehensive waste management plan will be implemented during the construction phase.

9.5.2. This plan will prioritize:

- Waste reduction.
- Reuse and recycling of materials.
- Responsible disposal of unavoidable waste.

9.5.3. The aim is to divert a significant percentage of construction waste from landfill, minimizing the project's environmental impact.

9.6. Conclusion

9.6.1. The proposed design for 2 St. Paul's Crescent demonstrates a strong commitment to sustainable development principles, as evidenced through:

- A fabric-first approach to energy efficiency.
- The integration of SuDS.
- The prioritization of green infrastructure.
- A focus on responsible material selection and waste management.

9.6.2. These measures will result in a highly sustainable development that minimizes environmental impact, adapts to climate change, and contributes to Camden's sustainability goals.

9.6.3. This Sustainability Statement showcases a comprehensive and integrated approach to sustainable design and construction, aligning with best practices and policy requirements. The project's commitment to minimizing its environmental footprint while enhancing the local environment is clearly demonstrated.



Permeable paving mortar system



Sedum roof build up



Rainwater storage tanks

10. Consultation

- 10.1. House of Design Architects have sought pre-application advice from Camden Council. The engagement was welcomed and the proposal was positive received.
- 10.2. Recommendation in the advice letter have been addressed as follows:
- **6. Design and Conservation: Rear and Side Infill Extensions:** *Although the design of the extension is modern and curvilinear in form, the proposed use of steel, tile, and curved glass will complement the historic character of the host dwelling while allowing the extension to remain legible as a modern addition. Further details of the proposed materiality should be provided with any future application, the details of which are likely to be required by condition.*
 - **HOD:** Details of chosen materials have been included in this statement
 - *The existing roof terrace at upper ground floor level would be reinstated on top of the new extension, and a metal balustrade installed. The*

area of the terrace will not substantially increase, thus limiting any future impacts on neighbouring amenity. Details of the metal balustrade should be included with any future submission.

- **HOD:** A reference image has been included in this statement, and structural details of the balustrade have been submitted as part of this application.
- **7. Trees:** *Any trees proposed to be removed, either due to health and safety concerns, or due to development, will require permission from the Council. Any future application should include an Arboricultural Report, which will be reviewed and assessed by the Council's Tree Officer. The Arboricultural Report should be accompanied by a landscaping plan indicating the location of the replacement trees if any are to be removed.*
- **HOD:** A Tree Constraints Plan and an Arboriculture Implications Assessment have been commissioned and submitted as part of this application. Furthermore, a proposed landscaping plan has been included.

11. Conclusion

- 11.1. The proposals at 2 St Pauls Crescent are proportionate and complementary to the surrounding architectural context of Camden, considering its heritage and diversity.
- 11.2. The house is in need of refurbishment and repair as some aspects of the building are in poor condition and not fit for the modern day requirements of a family. A restoration of the house would not only benefit the inhabitants of 2 St Pauls Crescent but will have a positive visual impact on the street and surrounding conservation area.
- 11.3. The proposed extensions will greatly improve the amount of high-quality living space for the owner-occupiers of the property.
- 11.4. We hope the local planning authority will look favourably on this application.



Illustrative view of the rear extension and garden

