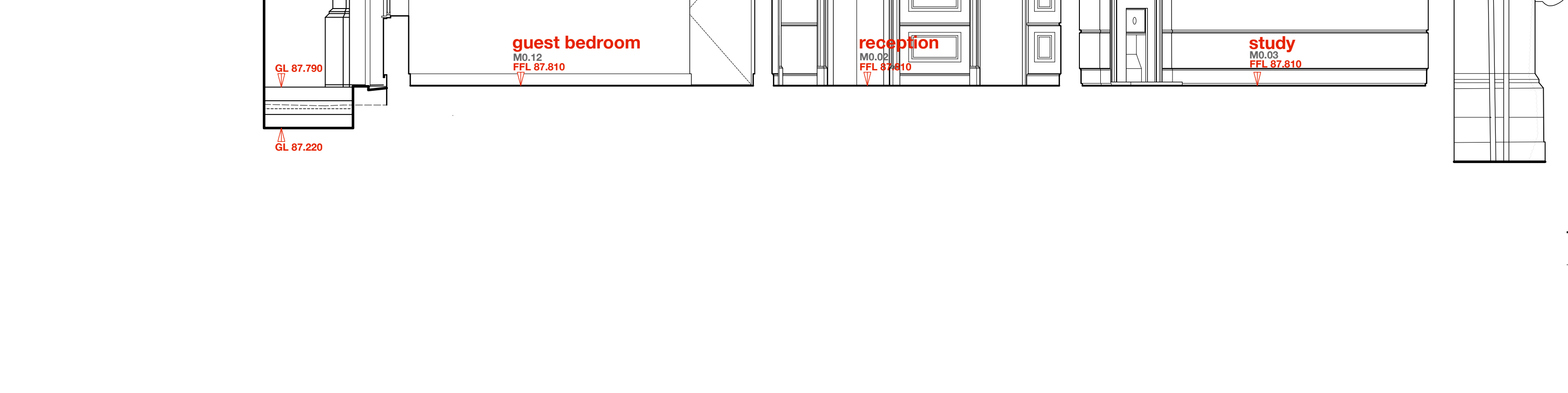


scheme 4: revisions to scheme 3

- 40 link: contemporary new build link and existing structures are omitted, underpinning to the rear house and annex is omitted, existing link is retained to the proposed scheme, minor adjustments to glass cladding of the annex to suit the revised profile of the link
- 41 link: undercroft structure providing access to the lower ground floor of the redesigned link is simplified, hard and soft landscaping is extended from the main house and levels revised to suit the elevated structure, the look of the hard and soft landscaping is reduced to suit the lower-key building, with the smaller mass and scale lessening the impact on the main house
- 42 annex: rooftop dormers containing plenum boxes are omitted
- 43 annex: elevation is no longer concealed by the link, new brickwork to close former openings, brickwork should match adjacent existing brickwork closely
- 44 annex: elevation is no longer incorporated into the link, existing brick and hanging sills should be repaired as required, repaired and cleaned, new stain coating to timber surfaces
- 45 annex: external levels are returned to existing arrangements to allow access to the link at lower ground and ground levels on the north elevation
- 46 external staircase leading to lightwell at rear of annex simplified and returned through 90 degrees, levels and falls in front of windows ALG.NW10 and ALG.NW11 are lowered and falls improved

existing brickwork wall marking boundary, proposals previously approved, please refer to 2023/2522/P and 2023/2538/L approved 11/09/23



Section CC: West



Section DD: East
DATUM BS.000

home office is naturally ventilated through automatically opening roof windows, triggered by heat and humidity, equipped with rain sensor and manual override grille providing natural ventilation to roof spaces in coloured zinc metal to match cladding

tiling to the existing roof and walls are stripped, additional thermal insulation is introduced and framework is over clad with coloured zinc cladding with standing seams, with details, hoods, vents etc in metal to match

existing roof covering, deck and structure are removed, steelwork is inserted to support a new joisted structure that provides an open plan space below, the new roof is fitted at a reduced level to allow an increased depth of insulation and upgraded thermal performance.

existing single glazed glass roof and timber structures are stripped, new double glazed units are supported on a powdercoated aluminium frame, in wide format panes to improve view, ridge mounted automatic retractable awnings provide external shading to moderate solar gain, awnings are triggered by heat and humidity and are fitted with a wind sensor and manual override aluminium frames to new glass roof are supported by the existing steel structure

boxing for vertical solar shading to glass elevation is concealed within the eaves, shading sits externally and moderates solar gain, triggered by heat and humidity and equipped with manual override

south elevation is reformed: existing single glazed timber frames are removed and brickwork reduced to a single course above the existing floor level, new double glazed units are fitted into powdercoated aluminium frames, floor to eaves windows in wide formats improve view into the garden from the home office

existing floor is overlaid with 90mm rigid insulation below circa 71mm screed to establish a level between the bar and the sitting room floors, 18mm floor finish assumed

floating staircase: 38mm hill top yorkstone paving carried on powdercoated steel trays supported between powdercoated steel strings that support glass guarding frameless glass balustrade, 1100mm high hill top yorkstone paving, 600x900x38mm, lifted on adjustable pedestals

new brickwork face to match, with soldier course detail at head concealing fixing channel for glass balustrade

in-situ concrete roof structure above ginnel, fitted with min 150mm tapered insulation below single ply polymeric membrane as waterproof layer, tapered insulation creates to min 150 falls, draining towards rainwater outlet positions

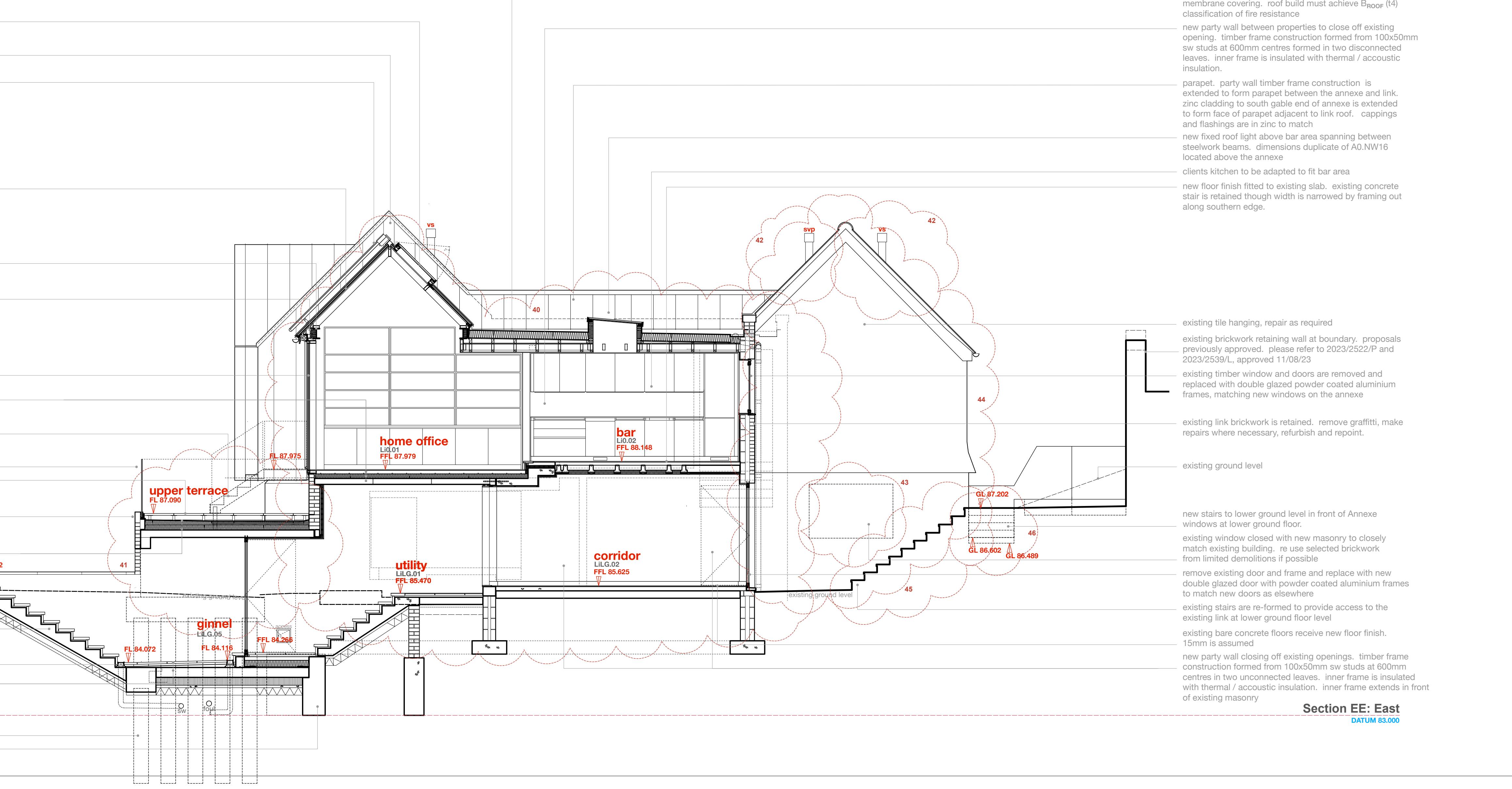
pile cap supporting head of stairs

new external staircase allowing access to lower ground floor level beneath the terrace, existing slab within the utility is adapted to accommodate a new staircase returning levels to existing

slot drain carrying away surface water from base of stairs, ginnel floor is sloped to encourage sw drainage towards slot drain

concrete slab with sand cement screed above creating min 140 falls in floor finish, draining towards slot drain, 38mm hill top yorkstone paving

pile foundations, dotted, as designed by the structural engineer, please refer to structural drawings and spec underpinning required to existing elevation of link, to resolve change of levels, anticipated existing foundation position shown dotted, see engineers details.



Section EE: East
DATUM BS.000

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- CHECK ALL DIMENSIONS ON SITE.
- DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS.

Some drawings are being provided to Mainwrights Land Services Ltd and are assumed to accurately describe the existing building, on site and external aspects.

KEY

- Features**
- windows**
- bhc bottom hung timber casement window
 - tlc top hung timber casement window
 - slc side hung casement
 - vss vertical sliding sash timber window
 - llr and turn window
 - llc fixed light timber window
 - llr roof light (flat roof)
 - vllc velux style roof light (pitched roof)
 - ovt conservation style roof light (pitched roof)
 - ovl simple opening roof light (conservation)
 - h ceiling hatch
 - sd sliding door
 - pd pivot door
- ventilation and flues**
- f wall / roof mounted fan to gas boiler / gas fire, terminal colour is black
 - ab1 air brick wall terminal as extract to bathrooms, kitchens etc, annex only, standard V10 weather flaps, surface made in powder coated aluminium, colour to suit brickwork
 - ab2 air brick wall terminal as extract to bathrooms, kitchens etc, main house and lodge, 200x200mm beechwood fin and rise vent with vertical slats in powder coated aluminium, colour is black
 - ab3 as ab2, with flyscreen removed for greater ventilation rate
 - ab4 re-use existing terracotta airbrick
 - vt low profile ventilated roof tile, colour and size matched to existing
 - vh hooded ventilated roof tile, colour and size matched to existing
 - vs ventilation stack, black
 - svs ventilation stack, polished stainless steel
- notes**
- existing windows are generally in-timber frames with hatched glazing (single glaze) and fire painted metal sashes, some metalwork has been replaced with painted timber to mirror the original sash.
 - on the north and the west elevations of the main house the windows are in-timber with single glazing and painted timber frames. There are a pair of painted metal frame windows on the north elevation
 - the timber casement windows found on the annex will be replaced by the profile double glazed units with an unobstructed aluminium frame
 - Existing building fabric and structures, including roof, masonry, windows, and all water goods are to be maintained and repaired/maintained where necessary, the conditions survey will form the basis from which the maintenance works will be scheduled and agreed.
- utilities**
- (E) electricity meter, built in type where in external leaf of masonry
 - (G) gas meter, built in type where in external leaf of masonry, locate min 300mm away from fan
 - (W) water meter positions in footpath adjacent to gates

- REV L 02 Oct 2024 GM/G notes pertaining to earlier and approved applications are removed to improve clarity of the adjusted proposals.
- REV K 13 Jul 2024 GM/G Proposed link is revised again. South terrace deck is extended across the entire width of the link on GF and entrance at LG level is revised to accommodate head height. Garden stone is provided underneath terrace. Existing glazed roof and flat roof are removed and upgraded to include additional insulation and double glazing to improve thermal performance. Brickwork on south elevation is reduced to allow taller windows. Existing timber frames are removed in preference for powder coated aluminium with water panes of glass.
- REV J 21 Dec 2023 GM/G Proposed scheme is simplified. Contemporary link is omitted and existing link structure is retained into the proposals. Interface with Annex is adapted to accept the returning existing link
- REV I 26 Oct 2023 GM/G issued for construction
- REV H 15 Sep 2022 GM/G Planning Approved scheme with active applications for non material and minor material amendments integrated into the drawing. All updates are made for tender issue.
- REV G 08 Jun 2022 GM/G Non material amendment application and minor material amendment planning applications are unfixed and scheme is unfixed
- REV F 09 May 2022 GM/G The previously approved scheme (scheme 3) is altered to include a number of minor non material amendments, the amendments included mostly rationalise the alterations at Rev E
- REV E 06 Sep 2021 GM/G The previously approved scheme (scheme 2) is altered to include a number of small amendments.
- REV D 19 Jan 2021 GM/G Planning Application further revised, in response to planning and conservation officers comments
- REV C 09 Sep 2020 GM/G Adjustments made to 3 wall box rooftop following confirmation of available sizes. Some co-ordination with structural engineer and adjustments made to levels of retaining wall and ground level, north elevation, notes for all handling behind paneled screen shown dotted. Canopy access panel and internal sign included.
- REV B 10 Aug 2020 GM/G Revised Planning Application marked at Revision B
- REV A 05 Dec 2019 GM/G Original Planning Application marked at Revision A

REV#	DATE	DRN	CHKD

PROJECT
 The Hood, Scheme 2
 17 Lyndhurst Gardens,
 Hampstead, London
 Returning A Great Victorian House To Phased Domestic Accommodation
 NW3 5NU

CLIENT
 Mr and Mrs Yu
 REPRESENTED BY
 JAGA Developments (London)

DRAWING
 Sections CC-EE
 as Proposed

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G		Oct 2019

BOWKER SADLER ARCHITECTURE
 A: Hatherlow House, Hatherlow, Romley, Stockport SK9 3DY
 T: 0161 406 7333
 E: info@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

DRAWING NO	REVISION
19013	L

STATUS: PLANNING