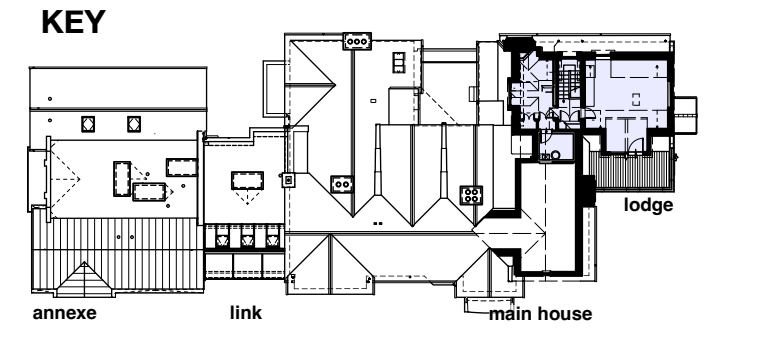


- scheme 4: revisions to scheme 3**
- 40 annex: rooftop dormers containing glazing units are omitted
 - 41 annex: green roof is omitted from flat roof to reveal waterproof single ply polymeric roof membrane.
 - 42 link: proposals for contemporary new built link is omitted, revised scheme is amplified and reduced; amended design utilises the volume and structure of the existing building and retains existing masonry facades to the north and south. flat roof and structure are removed and replaced with new incorporating improved thermal performance, single glazing glass roof and south elevation are removed and replaced with new double glazing fixed to powder coated aluminium frames, revised proposals are naturally ventilated and more simply headed.
 - 43 main house: sliding bay window, which was proposed for demolition in the previously approved scheme to accommodate the contemporary link, is returned to the application process.
 - 44 lodge: new built cupboards are formed in new partitioning in preference to loose furniture providing storage in the formerly approved scheme.
 - 45 lodge: former roof space is utilised to accommodate a domestic boiler and inverted cylinder to service the lodge, path of boiler flue is indicated as a dotted line.

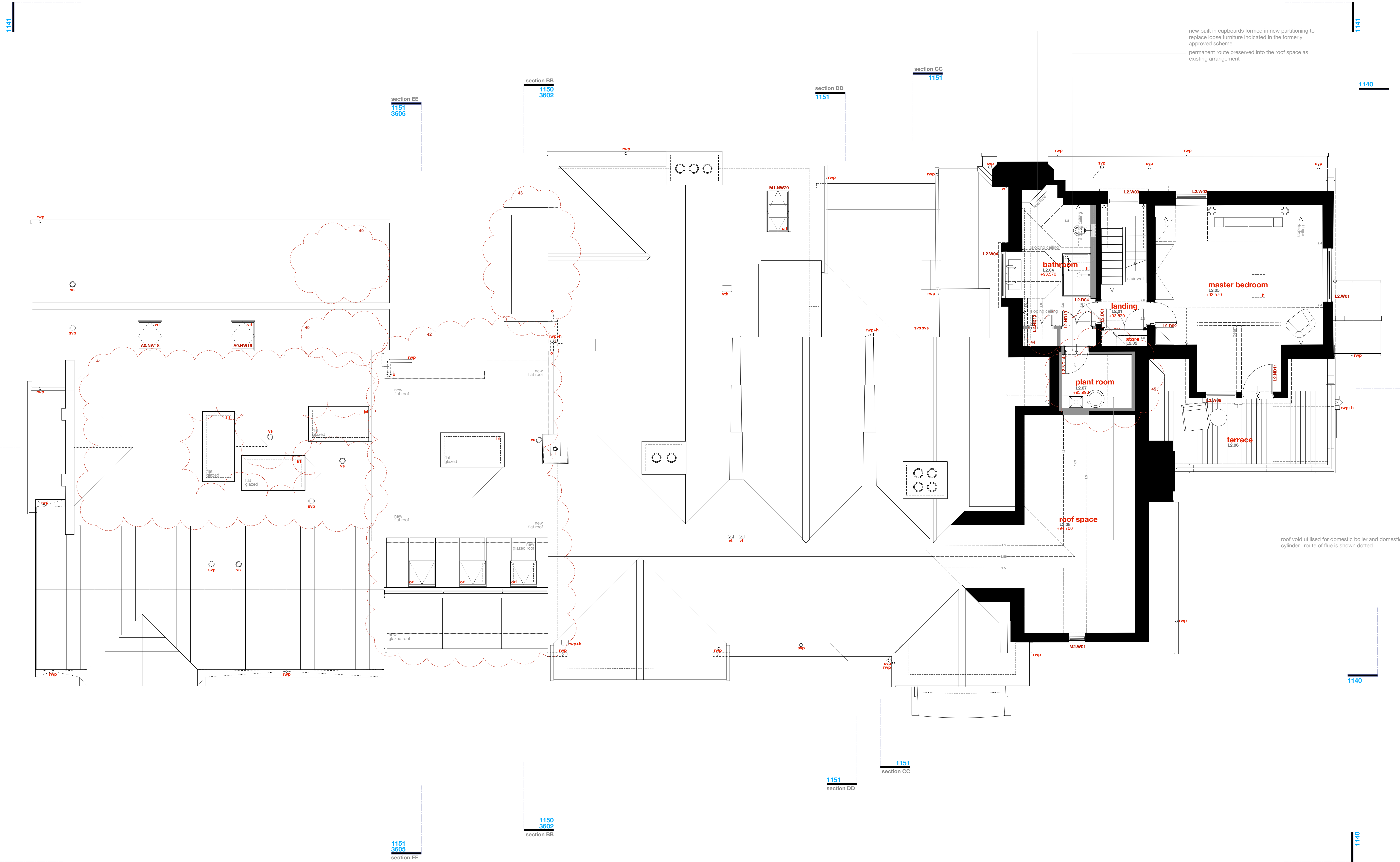
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 CHECK ALL DIMENSIONS ON SITE.
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS.

Survey drawings are kindly provided by Moxon Hughes Land Survey, Ltd and are assumed to accurately describe the existing buildings, services and external spaces.



- Features**
- windows**
- bhc bottom hung timber casement window
 - lhc top hung timber casement window
 - ahc side hung casement
 - vss vertical sliding sash timber window
 - ll fixed light timber window
 - ll roof light (flat roof)
 - vtl velux style roof light (pitched roof)
 - ort conservation style roof light (pitched roof)
 - ort simple opening roof light (conservatory)
 - hh ceiling hatch
 - hf floor hatch
 - sd sliding door
 - sd sliding folding door
- ventilation and flues**
- f wall roof mounted flue to gas boiler / gas fire, terminal colour is black
 - ab1 air brick wall terminal as extract to bathrooms, kitchens etc, man house and lodge. 200x200mm breeze block set into brickwork in powder coated aluminium, colour to suit brickwork
 - ab2 air brick wall terminal as extract to bathrooms, kitchens etc, man house and lodge. 200x200mm breeze block set into brickwork in powder coated aluminium, colour is black
 - ab3 air brick wall terminal as extract to bathrooms, kitchens etc, man house and lodge. 200x200mm breeze block set into brickwork in powder coated aluminium, colour is black
 - vt in-use existing terracotta airbrick
 - vt low profile ventilated roof tile, colour and size matched to existing
 - vh hooded ventilated roof tile, colour and size matched to existing
 - vs ventilation stack, black
 - svs ventilation stack, polished stainless steel
- drainage services and landscape**
- mh Existing manhole
 - ic Existing inspection chamber
 - wic Existing water service inspection chamber
- FWIC 01**
- ic Inspection chamber collecting foul water drainage
 - svp Soil vent pipe and underground foul water drainage
 - w Waste pipe from washbasin/shower to foul water drainage
 - rwp Rainwater pipe, gully and underground surface water drainage
 - rwp-h Rainwater hopper drawing into rainwater hopper
 - sp Rainwater spout
 - o Rainwater outlet
- mechanical: heating**
- gas fired boiler and wall mounted flue
 - inverted cylinder



- REV L** 02 Oct 2024 GM/G notes pertaining to earlier and approved applications are removed to improve clarity of the adjusted proposals
- REV K** 10 Jul 2024 GM/G Proposed link is revised again. South terrace deck is extended across the entire width of the link on GF and entrance at LDF level is revised to accommodate head height. Garden store is provided underneath terrace. Existing glazed roof and flat roof are removed and upgraded to include additional insulation and double glazing to improve thermal performance. Brickwork on south elevation is reduced to allow taller windows. Existing timber frames are removed in preference for powder coated aluminium with wider panes of glass
- REV J** 21 Dec 2023 GM/G Proposed scheme is simplified. Contemporary link is omitted and existing link structure is returned into the proposals. Existing west facing bay window, previously proposed for demolition, is returned to the proposed scheme. Rooftop dormers are removed from the Annex.
- REV OH** 28 Oct 2023 GM/G issued for construction
- REV H** 15 Sep 2022 GM/G Planning Approved scheme with active applications for non material and minor material amendments integrated into the drawing. All updates are made for tender issue.
- REV G** 08 Jun 2022 GM/G Non material amendment application and minor material amendment planning applications are unified into one consistent and unified scheme
- REV F** 03 Mar 2022 GM/G The previously approved scheme (scheme 2) is altered to include a number of minor, non material amendments, the amendments included mostly rationalise the alterations at Rev E
- REV E** 08 Sep 2021 GM/G The previously approved scheme (scheme 2) is altered to include a number of small amendments.
- REV D** 15 Sep 2021 GM/G Planning Application further revised, in response to planning and conservation officers comments
- REV C** 10 Aug 2020 GM/G Revised Planning Application marked as Revision B
- REV B** 05 Dec 2019 GM/G Original Planning Application marked as Revision A

PROJECT	The Hoo, Scheme 3 17 Lyndhurst Gardens, Hampstead, London
CLIENT	Mr and Mrs Yu REPRESENTED BY JAGA Developments (London)
DRAWING	Second Floor Layout as Proposed
SCALE	1:50
SHEET SIZE	A0
DRAWN	GM/G
CHECKED	
DATE	May 2020

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JOB NO.	19013	DRAWING NO.	1123	REVISION	L
STATUS	PLANNING				