

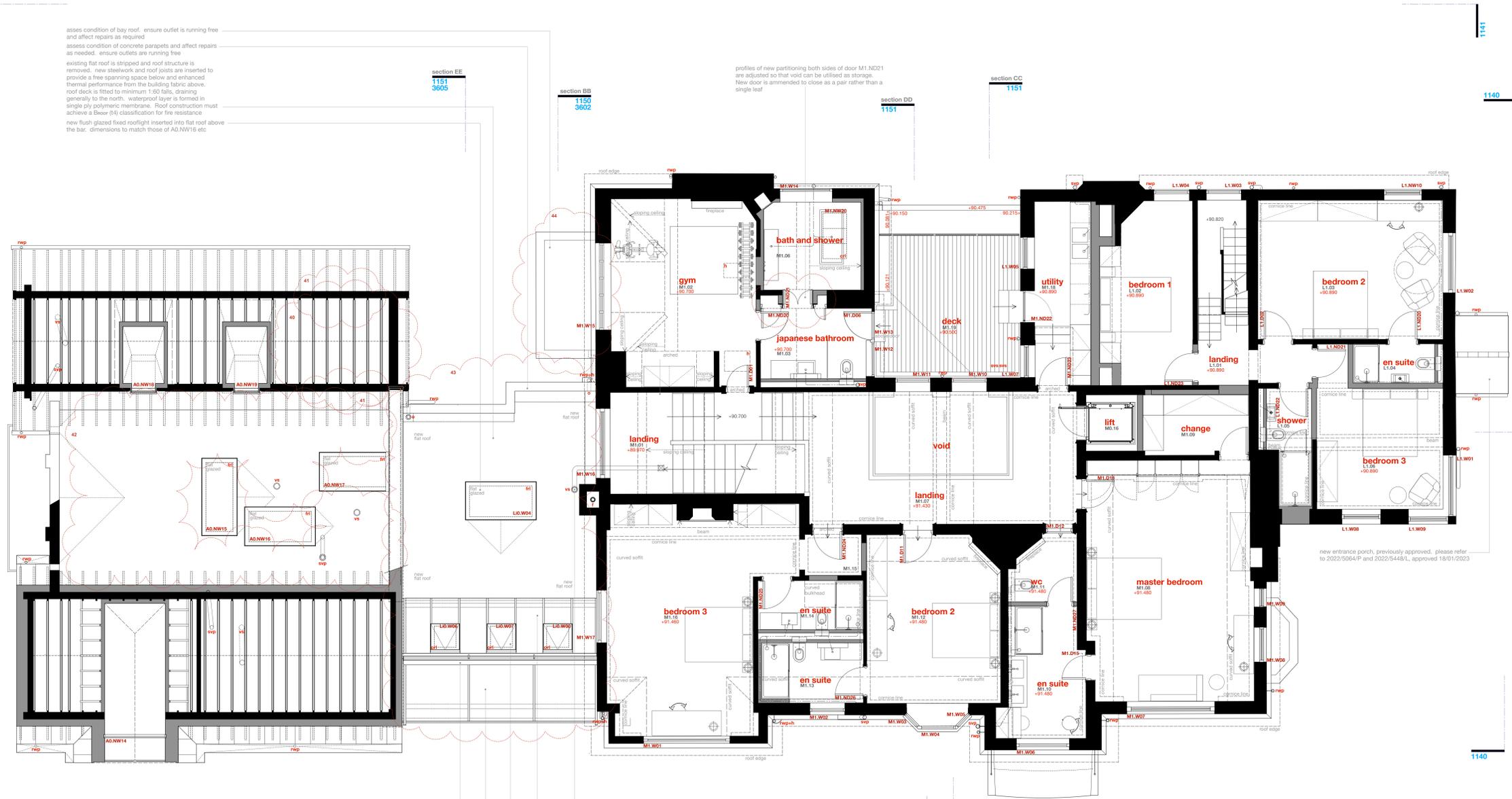
**scheme 4: revisions to scheme 3**

- 40 annex: the plant room that occupied roof space is omitted. plant controlled the climate of the contemporary link, which has also been omitted from the scheme, and is therefore no longer required.
- 41 annex: rooftop dormers containing plenum boxes are omitted.
- 42 annex: green roof is omitted from flat roof to reveal weatherproof single ply polymeric roof membrane.
- 43 link: proposals for contemporary new build link is omitted. revised scheme is simplified and reduced. amended design utilizes the volume and structure of the existing building and retains existing masonry facades to the north and south. flat roof and structure are removed and replaced with new incorporating improved thermal performance. single glazed glass roof and south elevation are removed and replaced with new double glazing fitted to powder coated aluminium frames. revised proposals are naturally ventilated and more simply heated.
- 44 main house: existing bay window, which was proposed for demolition in the previously approved scheme to accommodate the contemporary link, is retained to the application proposals.
- 45 main house: arrangement of new partitions revised so that former void can be utilized as storage. M1.ND.21 is altered to provide a pair of doors in preference to a single leaf.

asses condition of bay roof. ensure outlet is running free and affect repairs as required. assess condition of concrete parapets and affect repairs as needed. ensure outlets are running free.

existing flat roof is stripped and roof structure is removed. new steelwork and roof joists are inserted to provide a free spanning space below and enhanced thermal performance from the building fabric above. roof deck is fitted to minimum 150 falls, draining generally to the north. waterproof layer is formed in single ply polymeric membrane. Roof construction must achieve a Bower (N) classification for fire resistance.

new flush glazed fixed rooflight inserted into flat roof above the bar. dimensions to match those of A0.NW16 etc.



new ventilation stack servicing WC.07 is positioned out of sight when viewed from window M1.W16.

existing single glazed glass roof is removed and replaced with double glazed roof with powder coated aluminium frames. north facing roof is split into 7 bays, incorporating 3no opening roof lights to provide natural ventilation. glazing drains directly onto flat roof.

3no automatically opening roof lights fitted within north facing glass roof. opening mechanism is triggered by high humidity and temperature. rain protection and manual over-ride. roof lights are sized sufficiently to contribute to secure natural ventilation of the home office and bar areas.

existing single glazed glass roof is removed and replaced with double glazed roof with powder coated aluminium frames. south facing roof is split into 3 bays of fixed glazing. the glazing wide panes allow a much improved view from the home office into the garden, including up into the tree canopy.

externally mounted solar shading to south facing roof glazing only, automatically controlled. shading to moderate solar gain within the home office and control glare. shades are triggered by high heat and humidity measured within the home office, with wind protection and manual over-ride.

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- REPORT ERRORS & OMISSIONS TO ARCHITECT
- CHECK ALL DIMENSIONS ON SITE
- DRAWINGS TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Survey drawings are kindly provided by Mutton Hughes Land Survey Ltd and are assumed to accurately describe the existing buildings, services and external spaces.



- Existing Walls
- New walls to be inserted

**Features**

- windows**
- bhc bottom hung timber casement window
  - thc top hung timber casement window
  - shc side hung casement
  - vss vertical sliding sash timber window
  - fl fixed light timber window
  - st roof light flat roof
  - vt velux style roof light pitched roof
  - crf conservation style roof light (conservatory)
  - orf simple opening roof light (conservatory)
  - h ceiling hatch
  - lf floor hatch
  - sd sliding door
  - slsd sliding sliding door

- ventilation and flues**
- f wall / roof mounted flue to gas boiler / gas fire. terminal colour as black
  - ab1 air brick wall terminal as extract to bathrooms, kitchens etc. terminal colour as black. standard 100mm weather louvre. various sizes. in powder coated aluminium, colour to suit brickwork
  - ab2 air brick wall terminal as extract to bathrooms, kitchens etc. main house and lodge. 220x200mm tongue & groove. with vertical slots in powder coated aluminium, colour is black as ab2, with flyscreen removed for greater ventilation rate
  - ab3 as ab2, with flyscreen removed for greater ventilation rate
  - vt re-use existing terracotta vent
  - vt1 low profile ventilated roof tile, colour and size matched to existing
  - vt2 hooded ventilated roof tile, colour and size matched to existing
  - vs ventilation stack, black
  - svs ventilation stack, polished stainless steel

- drainage services and landscape**
- mhc Existing manhole
  - ic Existing inspection chamber
  - wlc Existing water service inspection chamber

- FWIC 01**
- ic inspection chamber collecting foul water drainage
  - wp soil vent pipe and underground foul water drainage
  - wp waste pipe from washbasin/shower to foul water drainage
  - wp rainwater pipe, gully and underground surface water drainage
  - wp rainwater hopper draining into rainwater gutter
  - wp rainwater spout
  - wp rainwater outlet
- mechanical: heating**
- gc gas fired boiler and wall mounted flue
  - uc unvented cylinder

- REV L** 02 Oct 2024 GMcG  
 Notes pertaining to earlier and approved applications are removed to improve clarity of the adjusted proposals.
- REV K** 10 Jul 2024 GMcG  
 Proposed link is revised again. South terrace deck is extended across the entire width of the link on LF and entrance at LF level is revised to accommodate head height. Garden store is provided underneath terrace. Existing glazed roof and flat roof are removed and upgraded to include additional insulation and double glazing to improve thermal performance. Brickwork on south elevation is reduced to allow taller windows. Existing timber frames are removed in preference for powder coated aluminium with wide panes of glass.
- REV J** 21 Dec 2023 GMcG  
 Proposed scheme is simplified. Contemporary link is omitted and existing link structure is returned to the proposed scheme. Existing east facing bay window, previously marked for demolition, is returned to the proposed scheme. Rooftop plant room and associated rooftop dormers are removed from the Annex.
- REV D01** 28 Oct 2023 GMcG  
 Issued for construction
- REV H** 15 Sep 2022 GMcG  
 Planning approved scheme with active applications for non material and minor material amendments integrated into the drawing. All updates are made for tender issue.
- REV G** 08 Jun 2022 GMcG  
 Non material amendment application and minor material amendments planning applications are unfixed into one consistent and unfixed scheme.
- REV F** 09 Mar 2022 GMcG  
 The previously approved scheme (scheme 2) is altered to include a number of minor non material amendments. The amendments included mostly rationalise the alterations at Rev E.
- REV E** 08 Sep 2021 GMcG  
 The previously approved scheme (scheme 2) is altered to include a number of small amendments.
- REV D** spare
- REV C** 15 Jan 2021 GMcG  
 Planning Application further amended, in response to planning and conservation officers comments.
- REV B** 10 Aug 2020 GMcG  
 Revised Planning Application marked at Revision B.
- REV A** 09 Dec 2019 GMcG  
 Original Planning Application marked at Revision A.

**PROJECT**  
**The Hoo: Scheme 3**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
 Grand Victorian House to Private Domestic Accommodation  
 NW3 5NU

**CLIENT**  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**

**DRAWING**  
**First Floor Layout**  
**as Proposed**

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GMcG		May 2023

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JOB No	DRAWING No	REVISION
19013	1122	L

STATUS: **PLANNING**