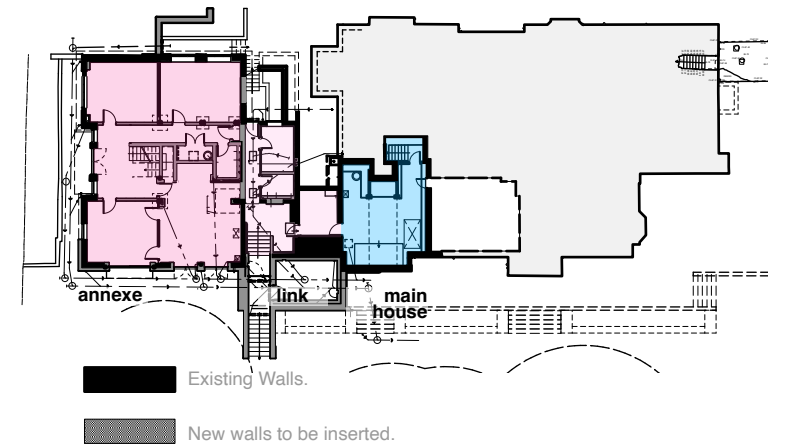


- 42** annexe: former rainy and staff room, which were within the main house dormer. becomes a small cinema room and repatriated into the annexe dormer
- 43** annexe: cinema room, bathroom and circulation formerly associated with the rainy and staff rooms are repatriated into the annexe dormer
- 44** annexe: former wc is omitted
- 45** link: proposals for contemporary new built link and associated landscape to front and rear are omitted. revised scheme is simplified and reduced. amended design follows the volume and structure of the existing building and retains existing masonry facade to the north and south. flat roof and structure are removed and replaced with new incorporating improved thermal performance. single glazed glass roof and south elevation are removed and replaced with new double glazing filled to powder coated aluminium frames. new glazing in wide pane formats allows an improved view of the garden from inside the office. revised proposals are naturally ventilated and more simply heated.
- 46** external staircase leading to lightwell at rear of annexe simplified and returned through 50 degrees
- 47** possible existing service shaft uncovered during additional investigations included on drawing

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 CHECK ALL DIMENSIONS ON SITE
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

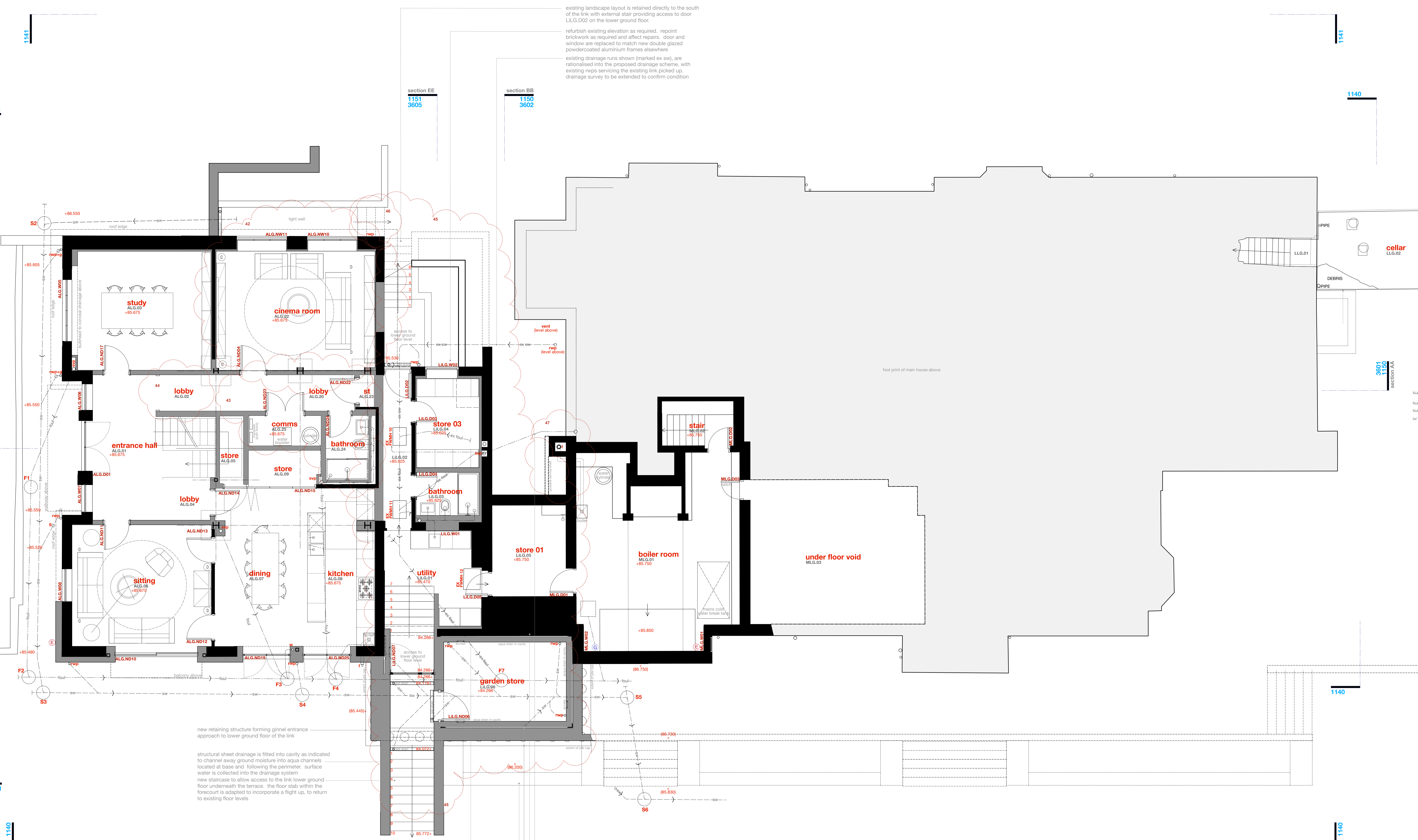
Survey drawings are kindly provided by Moxon Hughes Land Survey Ltd and are assumed to accurately describe the existing buildings, services and external spaces.



- Features**
- windows**
- bhc bottom hung timber casement window
 - bhc top hung timber casement window
 - bhc side hung casement
 - vw vertical sliding sash timber window
 - vw vertical sliding sash timber window
 - fl fixed light timber window
 - fl roof light (flat roof)
 - vt velux style roof light (pitched roof)
 - vt conservation style roof light (pitched roof)
 - vt simple covering roof light (conservation)
 - h ceiling hatch
 - hf floor hatch
 - sd sliding door
 - sd sliding folding door
- ventilation and flues**
- f wall roof mounted flue to gas boiler / gas fire. terminal colour is black
 - ab1 air brick wall terminal as extract to bathrooms, kitchens etc., in new only. standard WLD20 weather louvre, service hole in powder coated aluminium, colour to suit brickwork

- drainage services and landscape**
- mh Existing manhole
 - ic Existing inspection chamber
 - wic Existing water service inspection chamber
- FWIC 01**
- ic Inspection chamber collecting foul water drainage
 - svp Soil vent pipe and underground foul water drainage
 - wf Waste pipe from washbasin/shower to foul water drainage
 - rwf Rainwater pipe (gully) and underground surface water drainage
 - rwf-h Rainwater hopper draining into rainwater gutter
 - sp Rainwater spout
 - o Rainwater outlet
- mechanical: heating**
- g gas fired boiler and wall mounted flue
 - u unvented cylinder
- utilities**
- e electricity meter, built in type where in external leaf of masonry
 - g gas meter, built in type where in external leaf of masonry. locate min 300mm away from flue
 - w water meter positions in footpath adjacent to gate

- REV M** 02 Oct 2024 GM/G
 Adjustments made to ginnel and garden store and staircase leading to lower ground floor to incorporate most up to date structural information. notes pertaining to earlier and approved applications are removed to improve clarity of the adjusted proposals
- REV L** 10 Jul 2024 GM/G
 Proposed link is revised again. South terrace dock is extended across the entire width of the link on GF and entrance at LGF level is revised to accommodate head height. Garden store is provided underneath terrace. Existing glazed roof and flat roof are removed and upgraded to include additional insulation and double glazing to improve thermal performance. Brickwork on south elevation is reduced to allow taller windows. Existing timber frames are removed in preference for powder coated aluminium with wider panes of glass
- REV K** 21 Dec 2023 GM/G
 Proposed scheme is simplified. Contemporary link is omitted and existing link structure is returned into the proposals. Dormers are simplified; former rainy and staff room become a small cinema room and repatriated back into the annexe
- REV 001** Issued for construction 26 Oct 2023 GM/G
- REV J** General floor levels are removed from drawing to avoid confusion. Please refer to larger scale layouts and sections for more detailed and specific information. 5 May 2023 GM/G
- REV H** Scheme updated in general with revised area adjacent to LGF entrance and incorporates additional information locating under floor void below main house. Updates made for tender. 30 Aug 2022 GM/G
- REV G** Layout further updated to include new client requirements. Adjustments include removal of walls from the undercroft, reposition of kitchen and removal of area of the ancillary rooms, with a reduction of the cinema room to compensate, new doors to bar area. 2 Sep 2021 GM/G
- REV F** Layout updated. Issued for Tender 11 June 2021 GM/G
- REV E** Revised for Tender 14 May 2021 GM/G
- REV D** Layouts become scheme 3. Layouts are adjusted to incorporate planners and conservation officers latest comments before determination. Scheme also incorporates the clients latest preferences. 04 Feb 2021 GM/G



existing landscape layout is retained directly to the south of the link with external stair providing access to door LLG.D02 on the lower ground floor.

refurbish existing elevation as required. repoint brickwork as required and affect repairs. door and window are replaced to match new double glazed powdercoated aluminium frames elsewhere

existing drainage runs shown (marked ex sw), are rationalised into the proposed drainage scheme, with existing rwp's servicing the existing link picked up. drainage survey to be extended to confirm condition

new retaining structure forming ginnel entrance approach to lower ground floor of the link

structural sheet drainage is fitted into cavity as indicated to channel away ground moisture into aqua channels located at base and following the perimeter. surface water is collected into the drainage system

new staircase to allow access to the link lower ground floor underneath the terrace. the floor slab within the forecourt is adapted to incorporate a flight up, to return to existing floor levels

new section of internal drainage carrying foul waste from new wc MD.07 to existing drainage system in void below floor above. take up section of existing concrete / beam and block floor to install

limited underpinning required across width of the south elevation of the existing link

new retaining structure creating dry unheated storage space below the terrace

soft landscaping extended in front of terrace structure

existing drainage from the link is to be rationalised into the proposed drainage scheme. cctv survey is to be extended to confirm condition of re-utilised sections of existing drainage (marked ex sw/ex tou)

PROJECT
The Hoo: Scheme 3
17 Lyndhurst Gardens,
Hampstead, London
 Returning A Grand Victorian House To Private Domestic Accommodation
 NW3 5NU

CLIENT
Mr and Mrs Yu
 REPRESENTED BY
JAGA Developments (London)

DRAWING
Lower Ground Floor Layout
as Proposed

SCALE 1:50 **SHEET SIZE** @ A0 **DRAWN** GM/G **CHECKED** **DATE** May 2020

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JOB No. 19013 **DRAWING No.** 1120 **REVISION** M
STATUS PLANNING