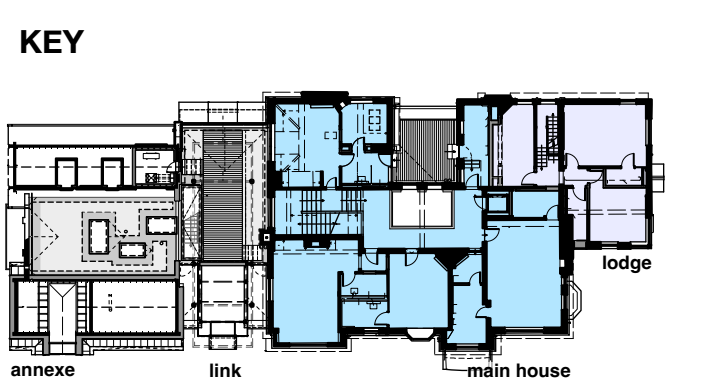


© BOWKER SADLER PARTNERSHIP LIMITED
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INSTRUMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS.
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN.
 REPORT ERRORS & OMISSIONS TO ARCHITECT
 CHECK ALL DIMENSIONS ON SITE
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

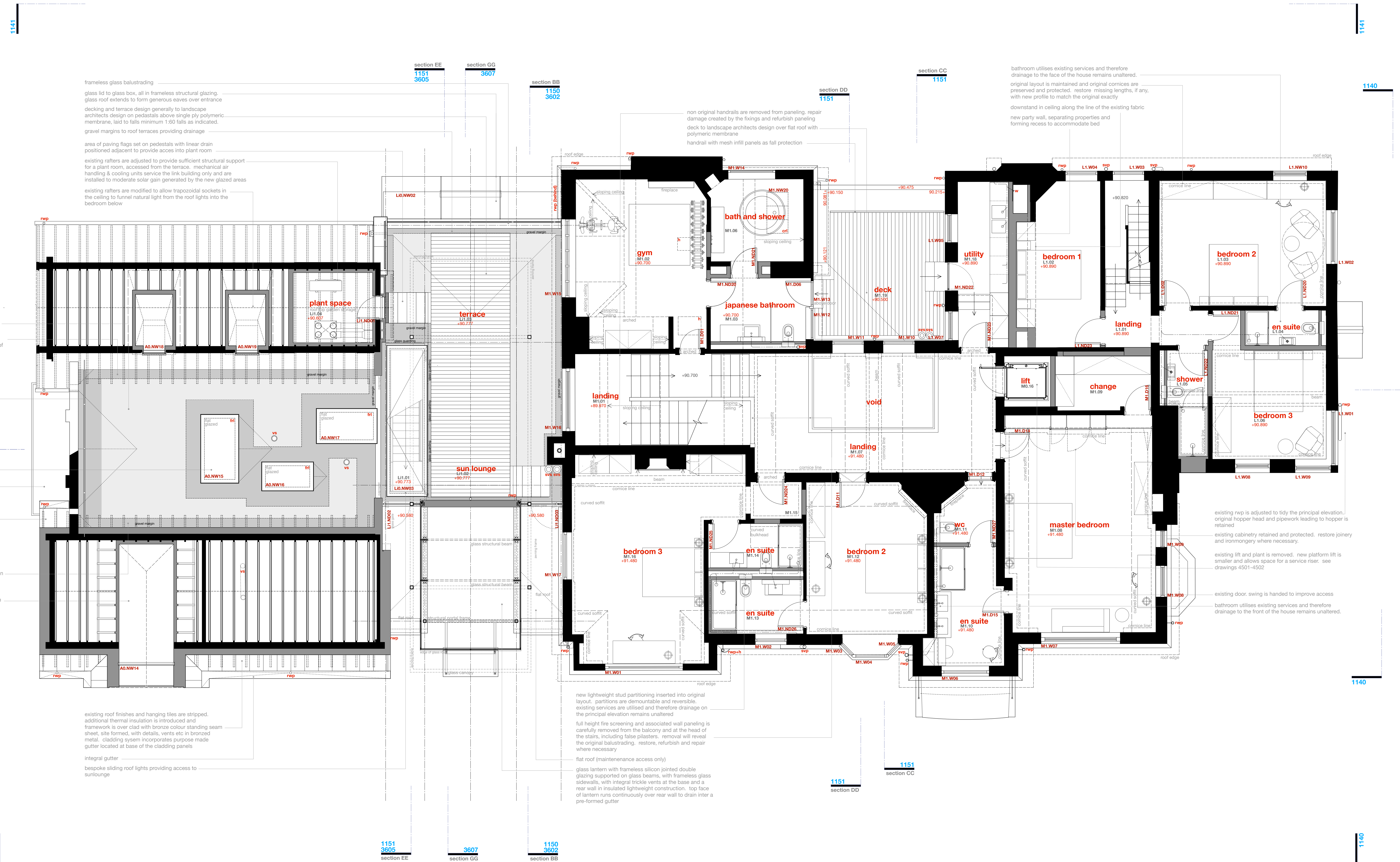
Some drawings are kindly provided by relevant Highways Local Councils and are assumed to accurately describe the existing buildings, services and external spaces.



KEY
 Existing Walls
 New walls to be inserted

Features

- windows**
- bhc bottom hung timber casement window
 - thc top hung timber casement window
 - shc side hung casement
 - vss vertical sliding sash timber window
 - ss fixed light timber window
 - st roof light (flat roof)
 - vtl velux style roof light (pitched roof)
 - ctrl conservation style roof light (pitched roof)
 - coll ceiling hatch
 - hf floor hatch
 - sd sliding door
 - std sliding folding door
- ventilation and flues**
- f wall / roof mounted flue to gas boiler / gas fire, terminal colour is black
 - ab1 air brick wall terminal as outlet to bathrooms, kitchens etc, grille only. standard PVC weather down, service able, in powder coated aluminium, colour to suit brookwood
 - ab2 air brick wall terminal as outlet to bathrooms, kitchens etc, main house and ridge. 200x220mm landscape fit and mesh vent with vertical slots in powder coated aluminium, colour is black
 - ab3 as ab2, with flyscreen removed for greater ventilation rate
 - ab4 re-use existing terracotta airbrick
 - vt low profile ventilated roof tile, colour and size matched to existing
 - vth hooded ventilated roof tile, colour and size matched to existing
 - vs ventilation stack, black
 - svs ventilation stack, polished stainless steel
- drainage services and landscape**
- mh Existing manhole
 - ic Existing inspection chamber
 - wic Existing water service inspection chamber
- FWIC 01**
- ic Inspection chamber collecting foul water drainage
 - uwp Soil vent pipe and underground foul water drainage
 - w Waste pipe from washbasin/shower to foul water drainage
 - rwp Rainwater pipe, gully and underground surface water drainage
 - rwpsh Rainwater hopper draining into rainwater hopper
 - rs Rainwater outlet
 - ro Rainwater outlet
- mechanical heating**
- g gas fired boiler and wall mounted flue
 - uc unvented cylinder



frameless glass balustrading
 glass lid to glass box, all in frameless structural glazing.
 glass roof extends to form generous eaves over entrance
 decking and terrace design generally to landscape architects design on pedestals above single ply polymeric membrane, laid to falls minimum 1:80 falls as indicated.
 gravel margins to roof terraces providing drainage
 area of paving flags set on pedestals with linear drain positioned adjacent to provide access into plant room
 existing rafters are adjusted to provide sufficient structural support for a plant room, accessed from the terrace. mechanical air handling & cooling units service the link building only and are installed to moderate solar gain generated by the new glazed areas
 existing rafters are modified to allow trapezoidal sockets in the ceiling to funnel natural light from the roof lights into the bedroom below

non original handrails are removed from panelling, repair damage created by the fixings and refurbish panelling deck to landscape architects design over flat roof with polymeric membrane
 handrail with mesh infill panels as fall protection

bathroom utilises existing services and therefore drainage to the face of the house remains unaltered.
 original layout is maintained and original corices are preserved and protected, restore missing lengths, if any, with new profile to match the original exactly
 downstand in ceiling along the line of the existing fabric
 new party wall, separating properties and forming recess to accommodate bed

flat roof, maintenance access only, accessed from main roof terrace via lockable glass gate, adjacent to main stair
 gravel margin for drainage and to resolve level between main roof spaces and junction with pitched roofs. design of roof to landscape architects design

glass gaurding as edge protection against falling

new flush glazed rooflights inserted into flat roof above staircase and bathrooms
 new balcony below

existing roof is overlaid with bronzed coloured standing seam sheet system with integrated formed gutter at the base

gravel margin for drainage and to resolve level between main grassed roof spaces and junction with pitched roofs
 existing roof trusses are modified to create an attic roof above the double bedroom. ceiling shape is extruded from the profile of the south facing gable AJ.NW14

existing roof finishes and hanging tiles are stripped, additional thermal insulation is introduced and framework is over clad with bronzed colour standing seam sheet, site formed, with details, vents etc in bronzed metal. cladding system incorporates purpose made gutter located at base of the cladding panels

integral gutter
 bespoke sliding roof lights providing access to sunlounge

new lightweight stud partitioning inserted into original layout, partitions are demountable and reversible.
 existing services are utilised and therefore drainage on the principal elevation remains unaltered
 full height fire screening and associated wall paneling is carefully removed from the balcony and at the head of the stairs, including false plaster. removal will reveal the original balustrading, restore, refurbish and repair where necessary

flat roof (maintenance access only)
 glass lantern with frameless silicon jointed double glazing supported on glass beams, with frameless glass side walls, with integral trickle vents at the base and a rear wall in insulated lightweight construction. top face of lantern runs continuously over rear wall to drain into a pre-formed gutter

existing rwp is adjusted to tidy the principal elevation, original hopper head and pipework leading to hopper is retained
 existing cabinetry retained and protected, restore joinery and ironmongery where necessary

existing lift and plant is removed, new platform lift is smaller and allows space for a service riser. see drawings 4501-4502

existing door, swing is handed to improve access
 bathroom utilises existing services and therefore drainage to the front of the house remains unaltered.

REV F 09 Mar 2020 GM/G The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments. The amendments included mostly rationalise the alterations at Rev E

REV E 06 Sep 2021 GM/G The previously approved scheme (scheme 2) is altered to include a number of minor amendments.

REV D score

REV C 15 Jan 2021 GM/G Planning Application further reviewed, in response to planning and conservation officers comments

REV B 10 Aug 2020 GM/G Revised Planning Application marked at Revision B

REV A 05 Dec 2019 GM/G Original Planning Application marked at Revision A

PROJECT
The Hood: Scheme 3
17 Lyndhurst Gardens,
Hampstead, London
 Planning & Consent: Victorian House To Private Domestic Accommodation, NW3 5NU

CLIENT
Mr and Mrs Yu
 REPRESENTED BY
JAGA Developments (London)

DRAWING
First Floor Layout
 as Proposed

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G	GM/G	May 2021

BOWKER SADLER ARCHITECTURE
 A: Hathelow House, Hathelow, Ramsey, Stoughton SG8 3DY
 T: 0161 406 7333
 E: info@bowker-sadler.co.uk
 W: www.bowker-sadler.co.uk

JOB NO.	DRAWING NO.	REVISION
19013	1122	F

STAGE: PLANNING