



14 RED LION SQUARE LONDON WC1R 4QH

ROOM BY ROOM
SCHEDULE

19 SEPTEMBER 2024

14-17 RED LION SQUARE

DOCUMENT CONTROL

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NB: THIS DOCUMENT
IS ACCURATE AT TIME OF ISSUE.

ROOM BY ROOM SCHEDULE INDEX

EXECUTIVE SUMMARY

14 RED LION SQUARE

14 - HALLWAY & STAIRS

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- 14-OB-02
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- 14-OB-04

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- 14-00-01
- 14-00-02
- 14-00-03
- 14-00-04

FIRST FLOOR

- 14-01-01
- 14-01-02
- 14-01-03

SECOND FLOOR

- 14-02-01
- 14-02-02
- 14-02-03

THIRD FLOOR

- 14-03-01



EXECUTIVE SUMMARY

HWO ARCHITECTS HAVE BEEN APPOINTED BY 13-17 RED LION SQUARE LLP TO PREPARE AND SUBMIT A PLANNING APPLICATION AND LISTED BUILDING CONSENT FOR ALTERATIONS TO 14 RED LION SQUARE.

THE SUBJECT PROPERTY IS GRADE II LISTED AND LOCATED WITHIN A GEORGIAN SQUARE IN CAMDEN, WITHIN BLOOMSBURY CONSERVATION AREA.

THE FOLLOWING DOCUMENT CONTAINS A ROOM BY ROOM SURVEY OF THE MAIN AREAS IN THE TOWN HOUSES TO CLARIFY THE INTENDED RESTORATION AND CONSERVATION WORKS.

THE SIGNIFICANCE NOTED FOR EACH ROOM OR ELEMENT RELATES SPECIFICALLY TO ANY ITEMS CONSIDERED TO BE OF HISTORICAL INTEREST AND/OR ORIGINAL OR EARLY PARTS OF THE BUILDING.

THE CONDITION RATING IS BASED ON THE VISIBLE CONDITION OF A DESCRIBED ROOM AS PER THE TABLE BELOW:

SIGNIFICANCE	HISTORIC QUALITIES
HIGH	SIGNIFICANT REMAINING HISTORIC FABRIC / ORIGINAL ROOM LAYOUT.
MEDIUM	SOME REMAINING HISTORICAL FABRIC / ORIGINAL ROOM LAYOUT.
LOW	NONE OR MINOR REMAINING HISTORICAL FABRIC / ORIGINAL ROOM LAYOUT.

WHERE ITEMS OF JOINERY, DECORATIVE FEATURES AND SPECIFIC ITEMS OF ARCHITECTURAL INTEREST ARE NOTED AS 'RETAINED' AND IN POOR CONDITION THESE WILL BE REPAIRED IN SITU (IF POSSIBLE) DEPENDENT UPON CONDITION.

THE ABOVE INDICATES WHERE FEATURES LOOK ORIGINAL BUT FURTHER INVESTIGATION MAY BE REQUIRED ONCE SPACES ARE OCCUPIED.

WE TRIED TO IDENTIFY 'ORIGINAL' FEATURES AS OPPOSED TO MODERN BUT CLEARLY MORE THOROUGH INVESTIGATIONS WILL BE REQUIRED TO ESTABLISH WHETHER THEY BELONG TO NICHOLAS BARBON'S ORIGINAL CONSTRUCTION OR, WHETHER THEY ARE LATE 18TH / EARLY 19TH CENTURY ADDITIONS.

WE GENERALLY FOUND THAT LITTLE ORIGINAL WALL OR CEILING FABRIC HAS BEEN RETAINED DURING NUMBER 14'S REFURBISHMENTS. HOWEVER SOME FEATURES AND PANELLING SURVIVE AND ARE IDENTIFIED.

GENERALLY STAIRWAY HAS RETAINED MOST OF THEIR ORIGINAL PANELS BALUSTERS AND HANDRAILS.



ROOM REFERENCE

14-HALLWAY & STAIRS

Existing Use: Entrance
Proposed Use: Entrance
Significance: High

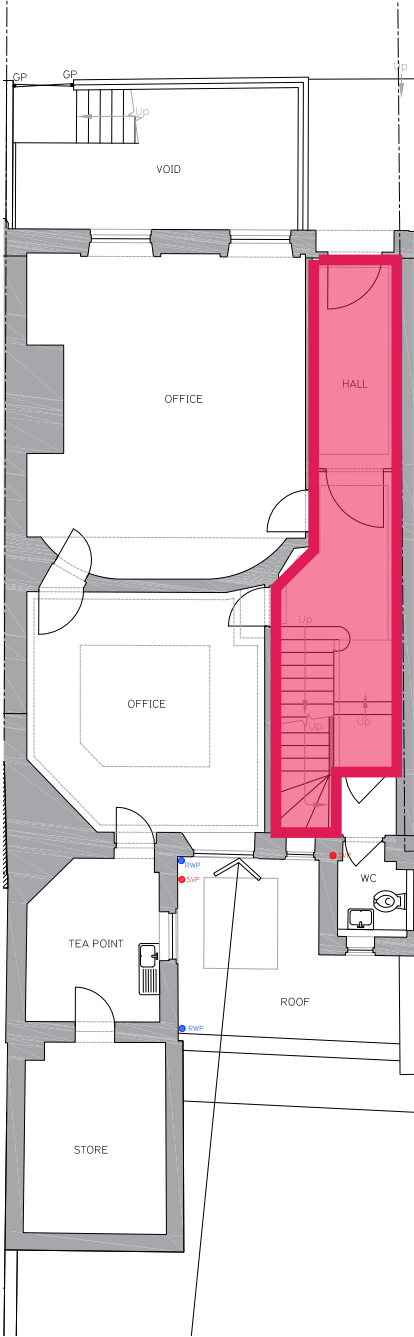
Ceiling
Carefully repair and nail back any original lath & plaster ceiling with Ring shank plastering lath nails or similar. Modern coving and lighting to be removed in entrance hallway and to be replaced with sympathetic upgrades.

Walls
Original decorative timber panelling on walls to be retained and restored.

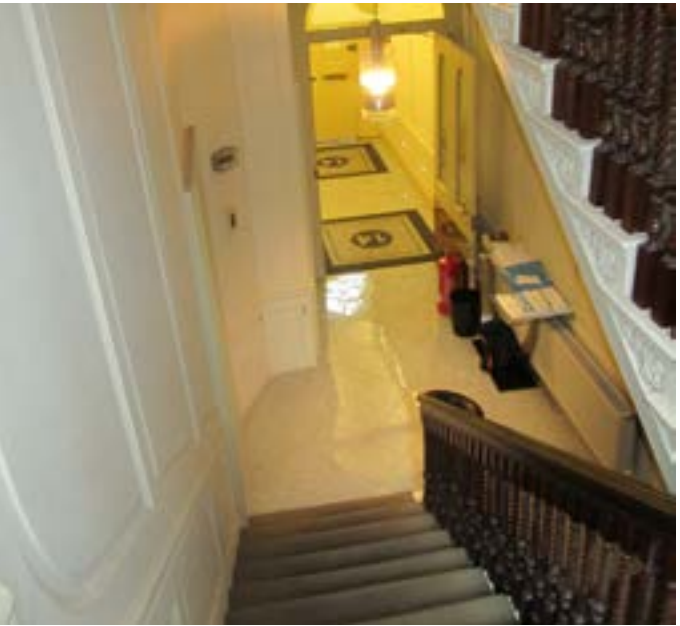
Doors/Doorways
Original entrance door to be retained. Georgian style fanlight above front door. Original lobby door to be retained. Original door to basement to be retained.

Floors
Modern tile/stone flooring in lobby to be removed. Modern carpet on stair to be removed, carefully repair or fix back any original creaking steps. The proposal will include a carpet runner with metal rods to replace the wide carpet on the stairs.

Services
Electrical light fitting, intercoms, pendant unit with integrated lights, fire exit sign, fire detector to be removed. Fire systems and lighting to be replaced with sympathetic upgrades.



1
OFFICE PLAN



2
ROOM PHOTOGRAPHS



ROOM REFERENCE

14-0B-01

Existing Use: Office
Proposed Use: Living Area
Significance: Low

Ceiling
Painted modern plasterboard to be removed.
Modern suspended ceiling feature with concealed lighting to be removed.

Walls
Modern decorative timber panelling from half way down the wall to be removed

Skirting and cornice
Modern skirting and corning to be removed and replaced with a sensitive upgrade.

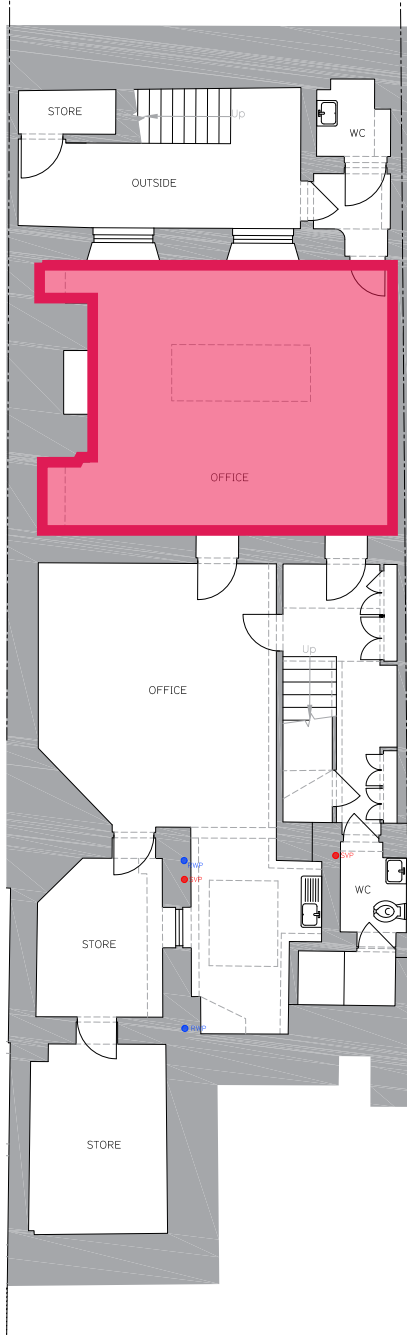
Doors/Doorways
Access Door – leading to the main staircase: steel door to be retained. 2 x Room Door – leading to 14-0B-02, 04: painted timber door to be removed.

Windows
Period sashes (Late 18th Century) 2x painted timber, single glazed sash window 4 panels, 115/115 opening, applied moulding shutters. All sash windows are to be checked for soundness and carefully repaired as required with like for like timber sections. Any rotten section of cills are to be carefully repaired piecing in matching timber.

Floors
Modern carpet on cement floor to be removed and replaced with engineered timber flooring or similar.

Decorative Features
Exposed brick fireplace wall asymmetric built-in shelving units both sides of the fireplace. Modern units to be removed.

Services
Electrical light fitting, intercoms, pendant unit with integrated lights and built-in fan coil unit, fire exit sign, fire detector to be removed. Fire systems and lighting to be replaced with sympathetic upgrades.



1
OFFICE PLAN



2
ROOM PHOTOGRAPHS



ROOM REFERENCE

14-0B-02

Existing Use: Office
Proposed Use: Guest Bedroom / Outside
Significance: Low

Ceiling
Painted modern plasterboard to be removed.

Walls
Modern decorative timber panelling from half way down the wall to be removed

Skirting and cornice
Modern skirting and corning to be removed and replaced with a sensitive upgrade.

Doors/Doorways
Access Door – leading to the main staircase: door to be retained.

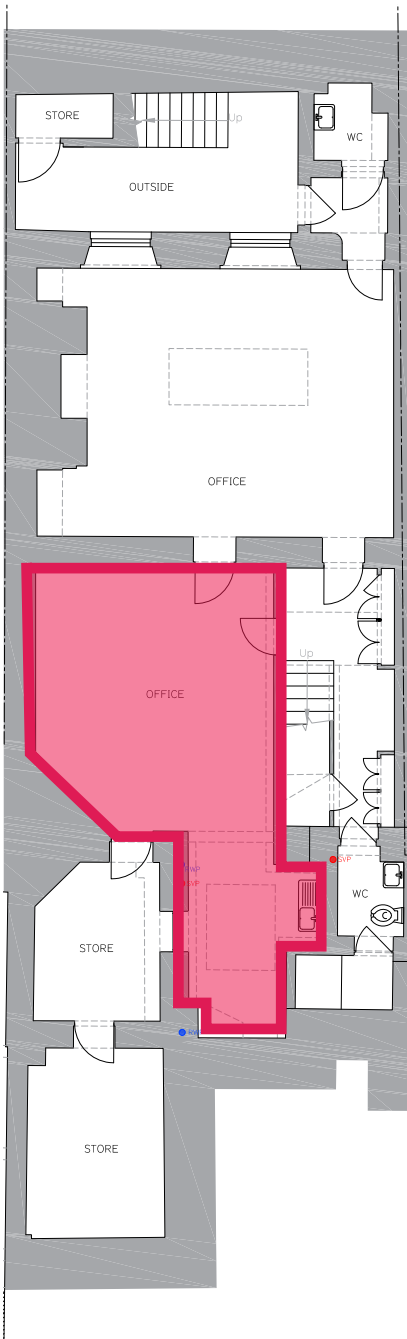
Windows
NA

Floors
Modern carpet on cement floor to be removed and replaced with engineered timber flooring or similar.

Decorative Features
Modern up-lighting boxing and fittings to be removed from outer perimeter of room.

Services
Electrical light fitting, intercoms, pendant unit with integrated lights and built-in fan coil unit, fire exit sign, fire detector to be removed. Fire systems and lighting to be replaced with sympathetic upgrades.

Other
Modern extension to rear to be carefully removed and reverted to external courtyard.



1
FLOOR PLAN



2
ROOM PHOTOGRAPHS



ROOM REFERENCE

14-0B-03

Existing Use: Office
Proposed Use: Bathroom
Significance: Low

Ceiling
Painted modern plasterboard to be removed.

Walls
Modern plasterboard to be removed and replaced.

Skirting and cornice
Modern skirting and cornicing to be removed and replaced with a sensitive upgrade.

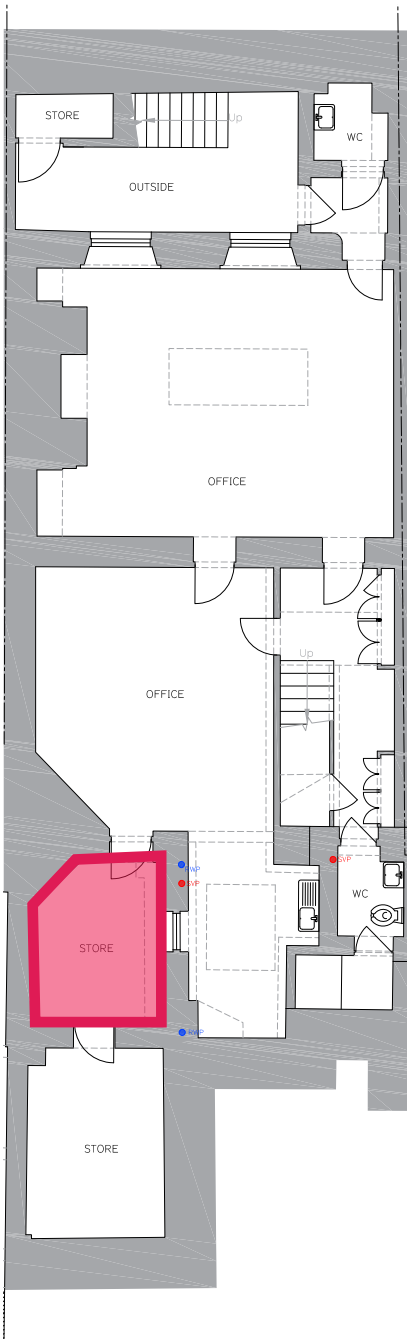
Doors/Doorways
Modern access door – leading from office to be replaced.

Windows
NA

Floors
Modern carpet on cement floor to be removed and replaced with engineered timber flooring.

Decorative Features
Modern up-lighting boxing and fittings to be removed from outer perimeter of room.

Services
Electrical light fitting, intercoms, pendant unit with integrated lights and built-in fan coil unit, fire exit sign, fire detector to be removed. Fire systems and lighting to be replaced with sympathetic upgrades.



1
FLOOR PLAN



2
ROOM PHOTOGRAPHS



ROOM REFERENCE

14-0B-04

Existing Use: Office

Proposed Use: Wardrobe / Plant Storage

Significance: Low

Ceiling

Painted modern plasterboard to be removed.

Walls

Modern plasterboard to be removed.

Skirting and cornice

Modern skirting and cornicing to be removed and replaced with a sympathetic upgrade.

Doors/Doorways

Modern access door – leading from office to be replaced.

Windows

NA

Floors

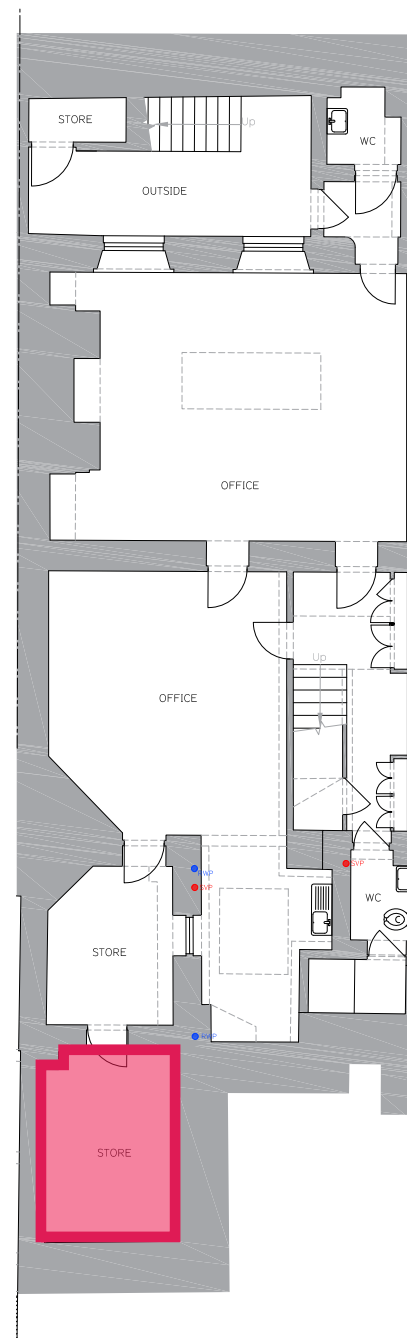
Modern carpet on cement floor to be removed and replaced with engineered timber flooring.

Decorative Features

Modern up-lighting boxing and fittings to be removed from outer perimeter of room.

Services

Electrical light fitting, intercoms, pendant unit with integrated lights and built-in fan coil unit, fire exit sign, fire detector to be removed. Fire systems and lighting to be replaced with sympathetic upgrades.



1
FLOOR PLAN



ROOM REFERENCE

14-00-01

Existing Use: Office
Proposed Use: Formal Reception Room
Significance: Medium

Ceiling
Modern Plasterboard ceiling to be replaced. Modern suspended ceiling feature with concealed lighting to be removed.

Walls
Original decorative lath & plaster walls to be repaired. Modern plasterboard to be removed.

Skirting and cornice
Cornicing might be original or 18th Century. Further investigations are required once the building is vacant. If original or historic skirting and cornicing to be retained and restored.

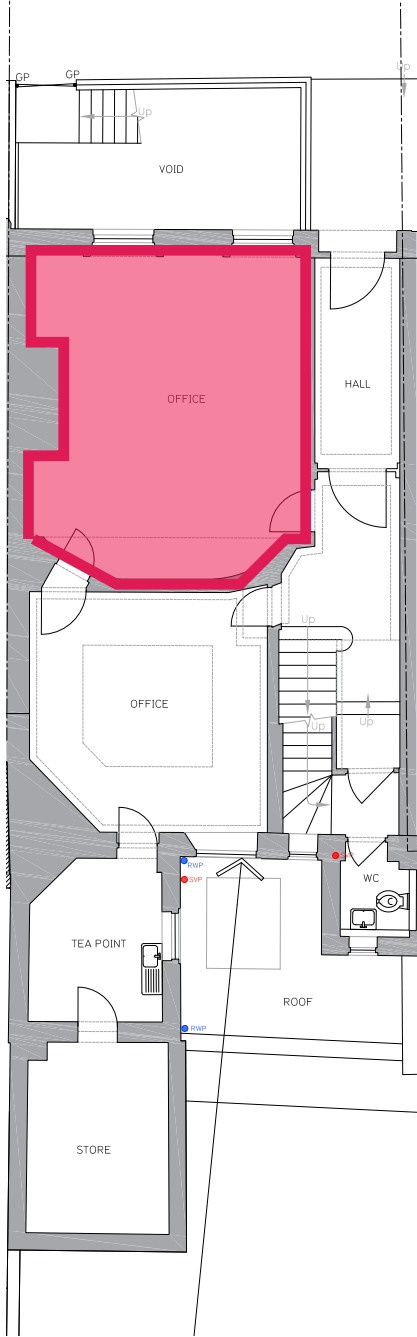
Doors/Doorways
Non-original main access door leading to the main staircase to be replaced with new door. Hidden door into adjacent office to be retained.

Windows
Period sashes (Late 18th Century) painted timber, single glazed sash window 12 panels. All sash windows are to be checked for soundness and carefully repaired as required with like for like timber sections. Any rotten section of cills are to be carefully repaired piecing in matching timber.

Floors
Modern carpet on timber floorboards to be removed, carefully repair or fix back any original creaking floorboards, taking care not to remove large sections when access to joists is required.

Decorative Features
Non-original fireplace removed and replaced with a more in keeping fire place.

Services
Electrical light fitting, intercoms, pendant unit with integrated lights and built-in fan coil unit, fire exit sign, fire detector to be removed. Fire systems and lighting to be replaced with sympathetic upgrades.



1
OFFICE PLAN



2
ROOM PHOTOGRAPHS



ROOM REFERENCE

14-00-02

Existing Use: Office
Proposed Use: Reception Room
Significance: Medium

Ceiling
Carefully repair and nail back any original lath & plaster ceiling. Remove fan coil unit and central false ceiling.

Walls
Modern panelling to be removed. Remove electrical box over door and re-install panelling.

Skirting and cornice
Modern cornicing to be removed and replaced with a sympathetic upgrade.

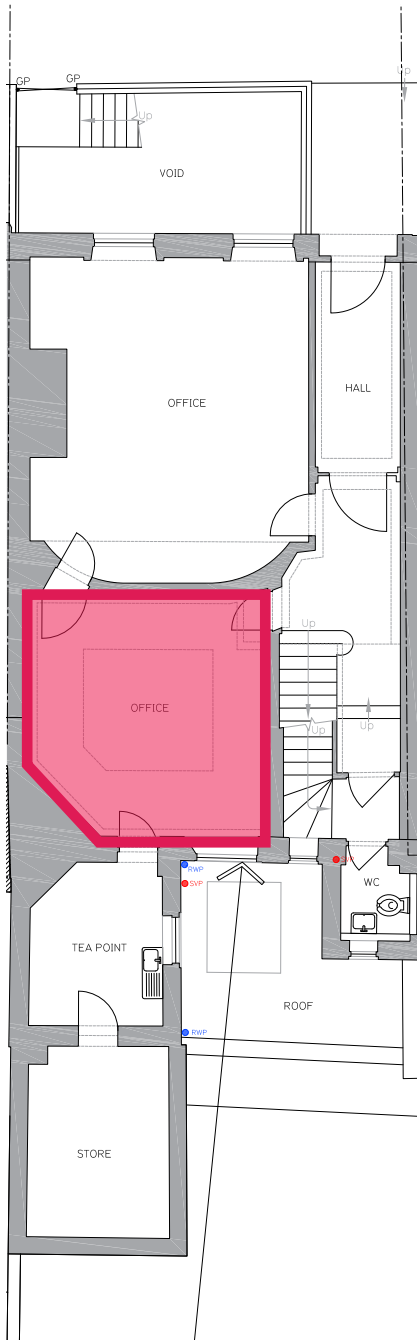
Doors/Doorways
Modern access Door with glass panel leading to the main staircase to be replaced. Internal room doors with mouldings to office (2 doors back to back) be replaced with new doors.

Windows
Period sashes (Late 18th Century) painted timber, single glazed sash window 12 panels. All sash windows are to be checked for soundness and carefully repaired as required with like for like timber sections. Any rotten section of cills are to be carefully repaired piecing in matching timber.

Floors
Modern carpet on timber floorboards to be removed, carefully repair or fix back any creaking floorboards, taking care not to remove large sections when access to joists is required

Decorative Features
NA

Services
Electrical light fitting, intercoms, pendant unit with integrated lights and built-in fan coil unit, fire exit sign, fire detector to be removed. Fire systems and lighting to be replaced with sympathetic upgrades without further damage to panelling.



1
OFFICE PLAN



2
ROOM PHOTOGRAPHS



ROOM REFERENCE

14-00-03

Existing Use: Tea Point
Proposed Use: Store
Significance: NA

No access at time of survey.

Description

Ceiling
NA

Walls
NA

Skirting
NA

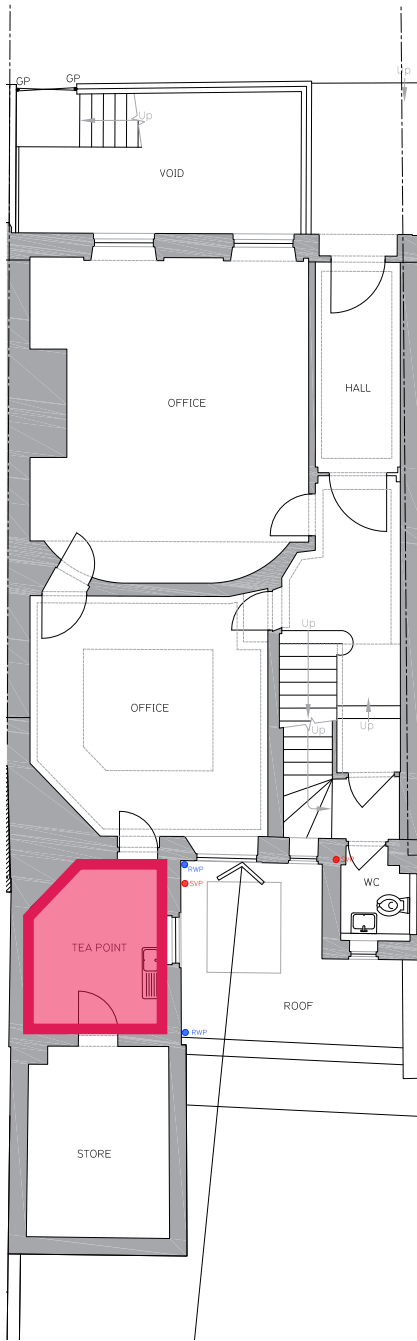
Doors/Doorways
NA

Windows
NA

Floors
NA

Decorative Features
NA

Services
NA



1
OFFICE PLAN



ROOM REFERENCE

14-00-04

Existing Use: Tea Point
Proposed Use: Store
Significance: NA

No access at time of survey. However this room is located in a modern rear extension.

Description

Ceiling
NA

Walls
NA

Skirting
NA

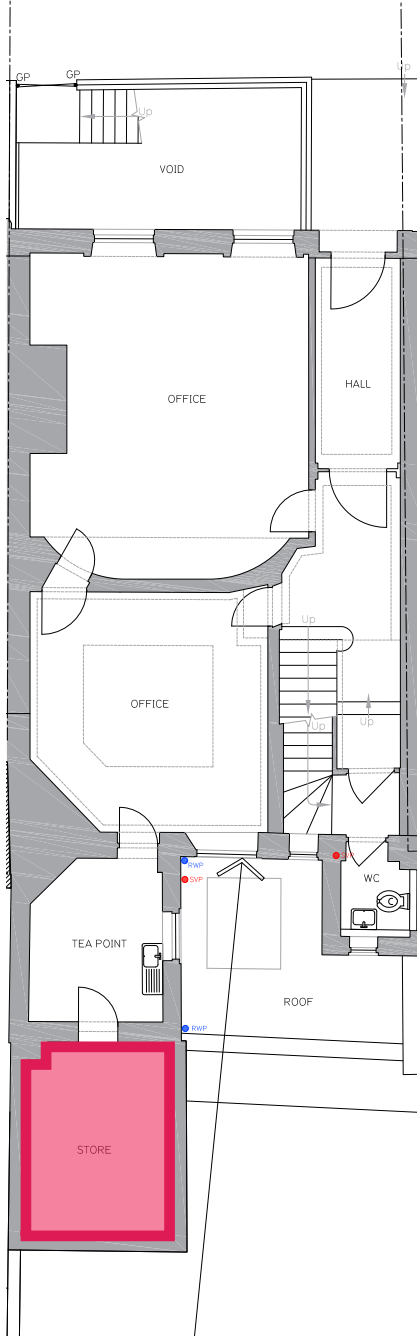
Doors/Doorways
NA

Windows
NA

Floors
NA

Decorative Features
NA

Services
NA



1
OFFICE PLAN



ROOM REFERENCE

14-01-01

Existing Use: Office
Proposed Use: Family Living / Dining
Significance: Medium

Ceiling
Retain original cornicing and lath & plaster ceilings. Modern suspended ceiling feature with concealed lighting to be removed. Carefully repair and nail back any original lath & plaster ceiling.

Walls
Original lath & plaster walls to be repaired. Any modern plasterboard to be removed.

Skirting and cornice
Retain skirting which appears to be original (TBC).

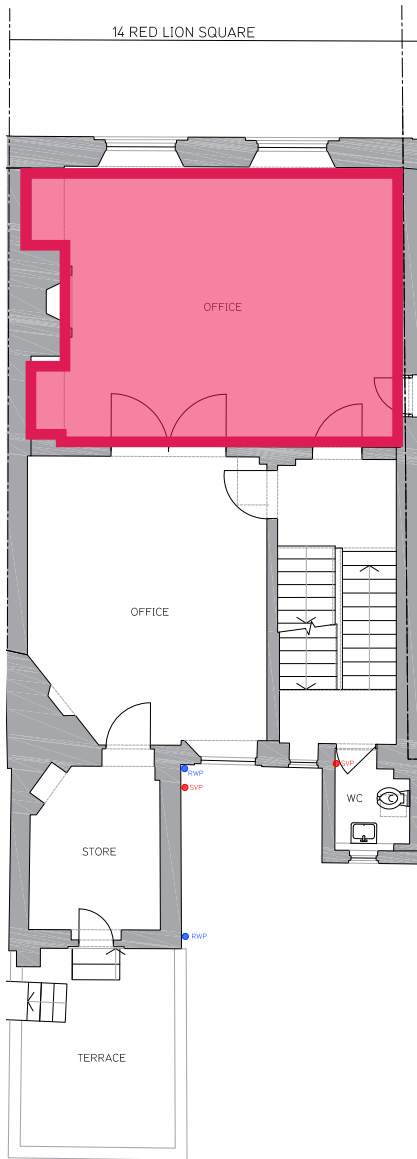
Doors/Doorways
2 x Non original room entrances and double panelled doors and architraves to be replaced. 1 x Modern door that connects townhouses to be removed and filled in. Original architraves to be retained.

Windows
Period sashes (Late 18th Century) 2 x painted timber, single glazed sash window 8 panels, moulding shutters. All sash windows are to be checked for soundness and carefully repaired as required with like for like timber sections. Any rotten section of cills are to be carefully repaired piecing in matching timber.

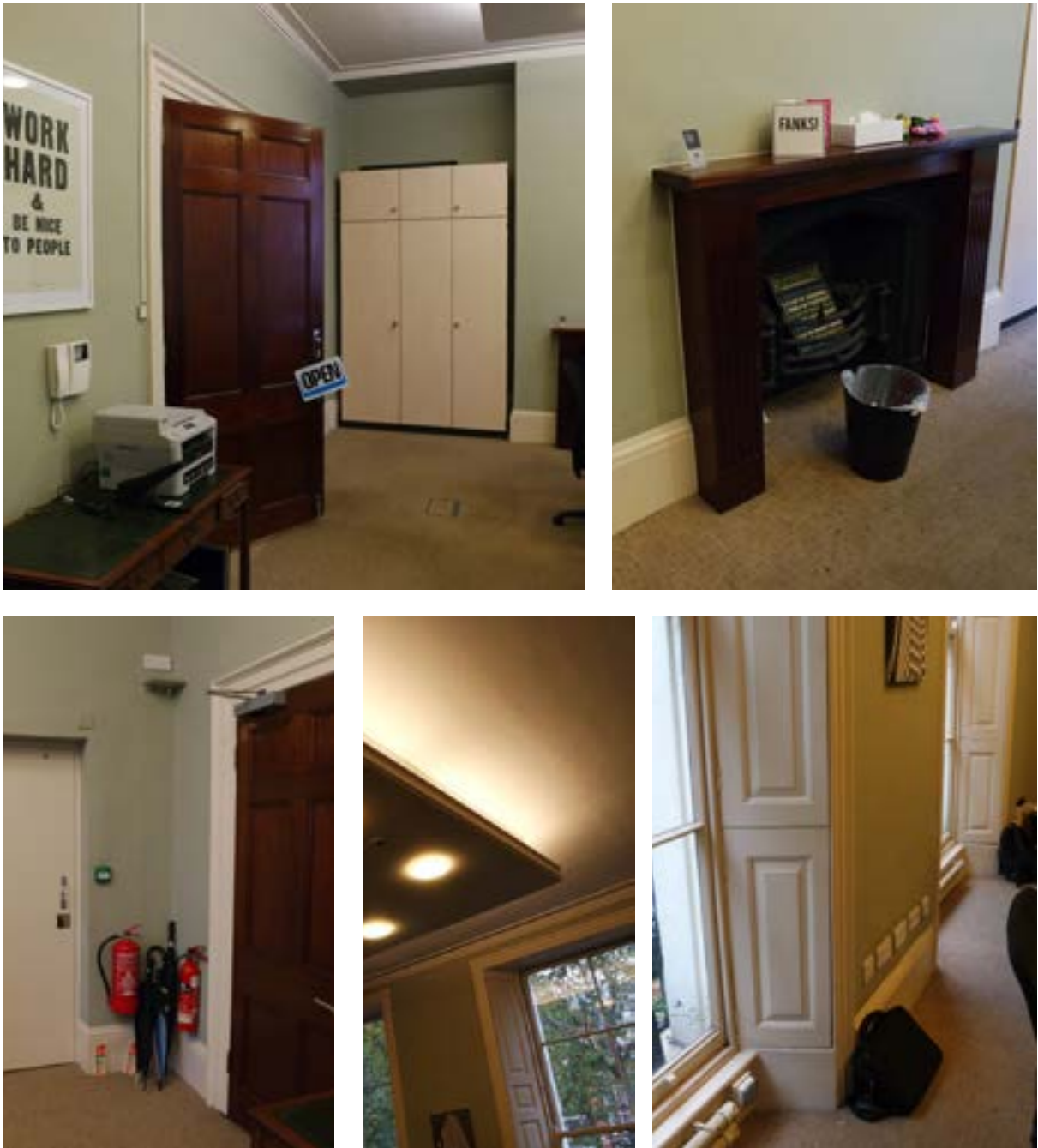
Floors
Modern carpet on timber floor boards to be removed, carefully repair or fix back any original creaking floorboards, taking care not to remove large sections when access to joists is required

Decorative Features
Non original fireplace with wooden surround to be removed and replaced with a more in keeping fire place.

Services
Electrical light fitting, intercoms, pendant unit with integrated lights and built-in fan coil unit, fire exit sign, fire detector to be removed. Fire systems and lighting to be replaced with sympathetic upgrades.



1
OFFICE PLAN



2
ROOM PHOTOGRAPHS



ROOM REFERENCE

14-01-02

Existing Use: Office
Proposed Use: Family Kitchen
Significance: NA

No access at time of survey.

Description

Ceiling
NA

Walls
NA

Skirting
NA

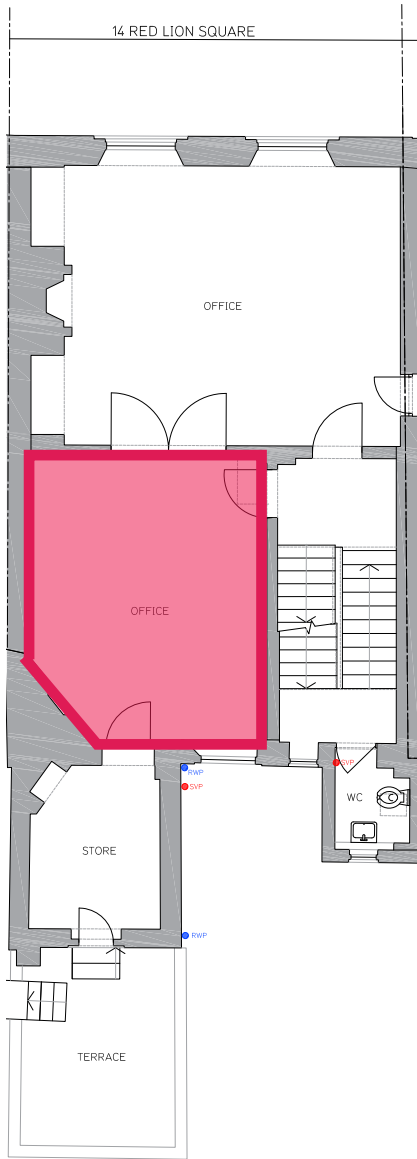
Doors/Doorways
NA

Windows
NA

Floors
NA

Decorative Features
NA

Services
NA



1
OFFICE PLAN



ROOM REFERENCE

14-01-03

Existing Use: Store
Proposed Use: Utility
Significance: NA

No access at time of survey.

Description

Ceiling
NA

Walls
NA

Skirting
NA

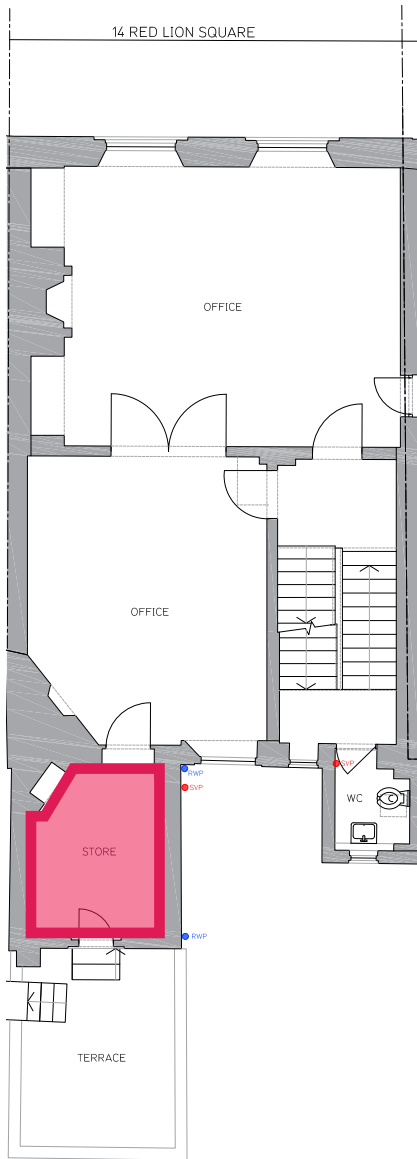
Doors/Doorways
NA

Windows
NA

Floors
NA

Decorative Features
NA

Services
NA



1
OFFICE PLAN



ROOM REFERENCE

14-02-01

Existing Use: Office
Proposed Use: Master Suite
Significance: Medium

Ceiling
Modern plasterboard recessed light fittings and fan coil units to be removed

Walls
Original decorative original lath & plaster walls to be repaired. Modern plasterboard to be removed.

Skirting and cornice
Cornice appears to be modern but is to be retained until further investigation. Original skirting to be retained and restored.

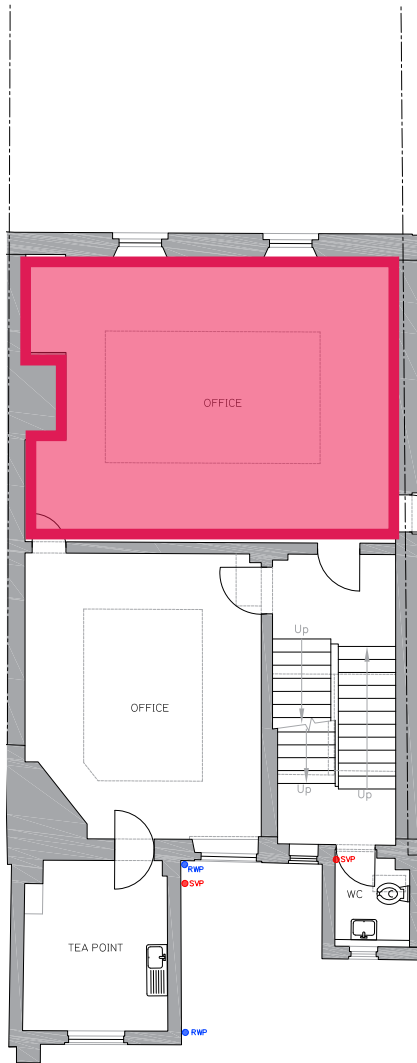
Doors/Doorways
Generally modern doors to be replaced. Architraves seem to be original (TBC).

Windows
Period sashes (Late 18th century) 2 x painted timber, single glazed sash window 8 panels, moulding shutters. All sash windows are to be checked for soundness and carefully repaired as required with like for like timber sections. Any rotten sections of cills are to be carefully repaired piecing in matching timber.

Floors
Modern carpet on timber floorboards to be removed, carefully repair or fix back any creaking floorboards, taking care not to remove large sections when access to joists is required

Decorative Features
Potentially period fireplace with painted wooden surround to be repaired.

Services
Electrical light fitting, intercoms, pendant unit with integrated lights and built-in fan coil unit, fire exit sign, fire detector to be removed. Fire systems and lighting to be replaced with sympathetic upgrades.



1
OFFICE PLAN



2
ROOM PHOTOGRAPHS



ROOM REFERENCE

14-02-02

Existing Use: Office
Proposed Use: Wardrobe
Significance: Medium

Ceiling
Painted modern plasterboard, false ceiling in centre, recessed lights and fan coil unit to be removed.

Walls
Original decorative timber panelling to be retained.

Doors/Doorways
Modern access door to be replaced with new door.

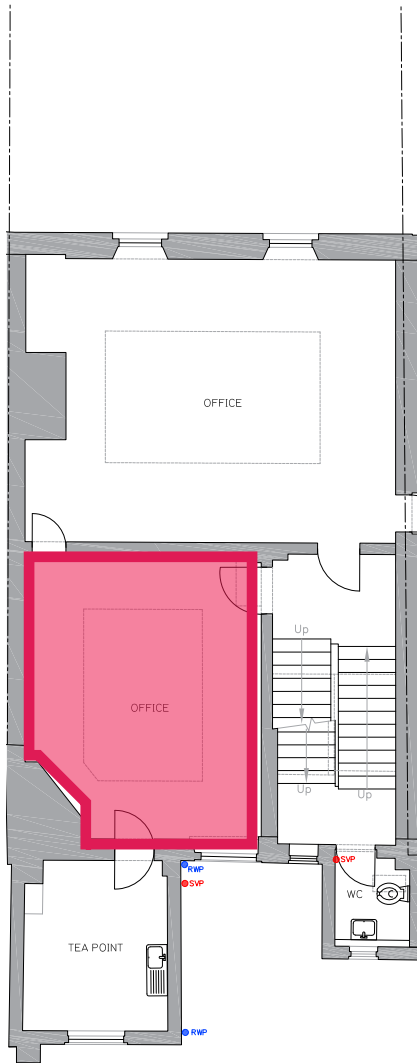
Windows
Period sashes (Late 18th century) 2 x painted timber, single glazed sash window 12. All sash windows are to be checked for soundness and carefully repaired as required with like for like timber sections. Any rotten sections of cills are to be carefully repaired piecing in matching timber.

Floors
Modern carpet on timber floor boards to be removed, carefully repair or fix back any creaking floorboards, taking care not to remove large sections when access to joists is required.

Decorative Features
Period fireplace, possibly 19th century, to be retained.

Services
Electrical light fitting, intercoms, pendant unit with integrated lights and built-in fan coil unit, fire exit sign, fire detector to be removed. Fire systems and lighting to be replaced with sympathetic upgrades.

Other
Electrical cupboard to be removed. Electrical dado rail to be removed and wall made good behind.



1
OFFICE PLAN



2
ROOM PHOTOGRAPHS



ROOM REFERENCE

14-02-03

Existing Use: Tea Point
Proposed Use: Ensuite
Significance: Medium

Significance: Medium

Ceiling
Modern ceiling to be replaced a new ceiling.

Walls
Modern plasterboard to be removed and replaced with a sympathetic upgrade.

Skirting and cornice
Period skirting and cornicing to be retained and restored.

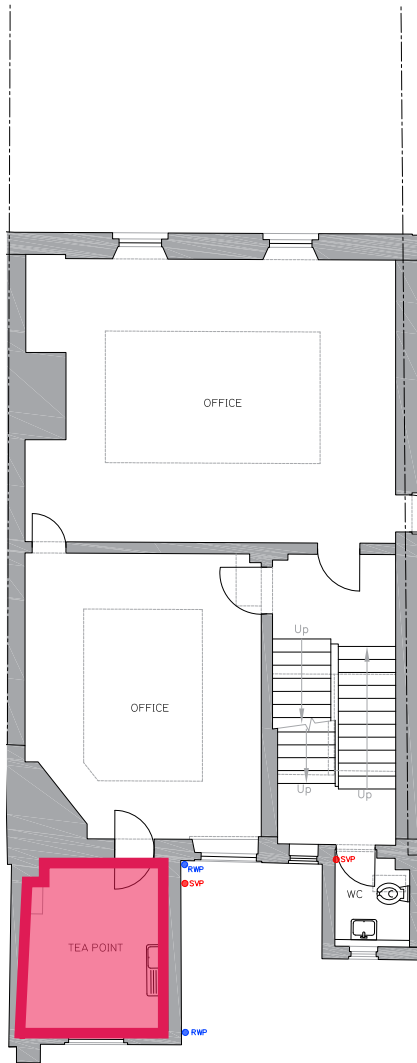
Doors/Doorways
Access door to be retained.

Windows
Period sashes (Late 18th Century) 1 x painted timber, single glazed sash window 12 panels. All sash windows are to be checked for soundness and carefully repaired as required with like for like timber sections. Any rotten sections of cills are to be carefully repaired piecing in matching timber.

Floors
Modern carpet on timber floor boards to be removed, carefully repair or fix back any creaking floorboards, taking care not to remove large sections where access to joists is required

Decorative Features
Period fireplace to be retained and restored.

Services
Electrical light fitting, intercoms, pendant unit with integrated lights and built-in fan coil unit, fire exit sign, fire detector to be removed. Fire systems and lighting to be replaced with sympathetic upgrades.



1
OFFICE PLAN



2
ROOM PHOTOGRAPHS



ROOM REFERENCE

14-03-01

Existing Use: Tea Point / Office (Modern roof extension)

Proposed Use: Ensuite

Significance: Low

Ceiling

Painted modern plasterboard to be removed.

Walls

Modern plasterboard to be removed

Skirting and cornice

Modern skirting and cornicing to be removed and replaced with a sympathetic upgrade.

Doors/Doorways

Access Door – leading to the main staircase: door to be retained.

Windows

Modern painted timber, single glazed sash window 16 panels. All sash windows are to be checked for soundness and carefully repaired as required with like for like timber sections. Any rotten sections of cills are to be carefully repaired piecing in matching timber.

Floors

Modern carpet on timber floor boards to be removed, carefully repair or fix back any creaking floorboards, taking care not to remove large sections when access to joists is required

Decorative Features

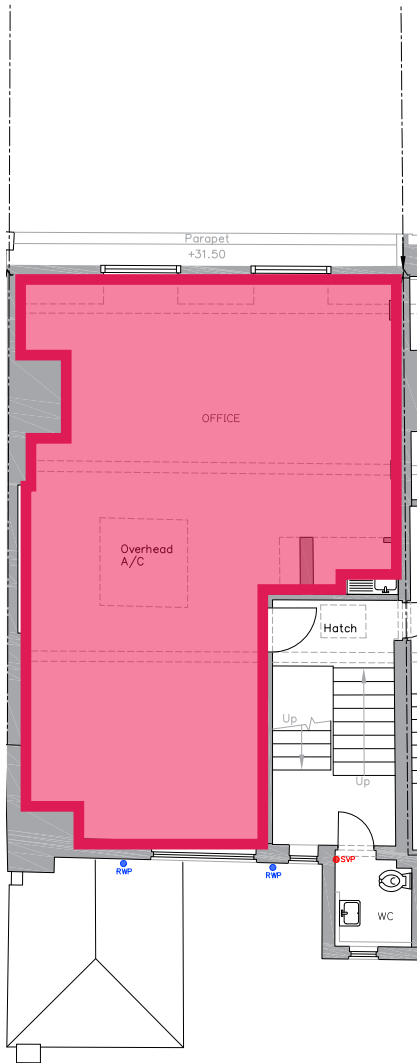
Modern up-lighting boxing and fittings to be removed from outer perimeter of room.

Services

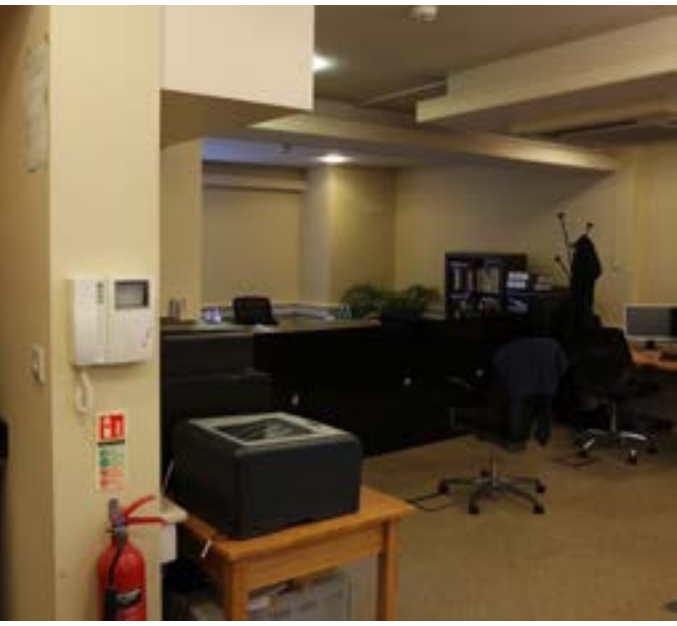
Electrical light fitting, intercoms, pendant unit with integrated lights and built-in fan coil unit, fire exit sign, fire detector to be removed. Fire systems and lighting to be replaced with sympathetic upgrades.

Other

Modern tea point fixtures and plumbing to be removed and made good.



1
OFFICE PLAN



2
ROOM PHOTOGRAPHS

