

# 40 Well Walk

Design and Access Statement  
October 2024

327\_31

FLOWER MICHELIN

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40 Well Walk  
London, NW3 1BX

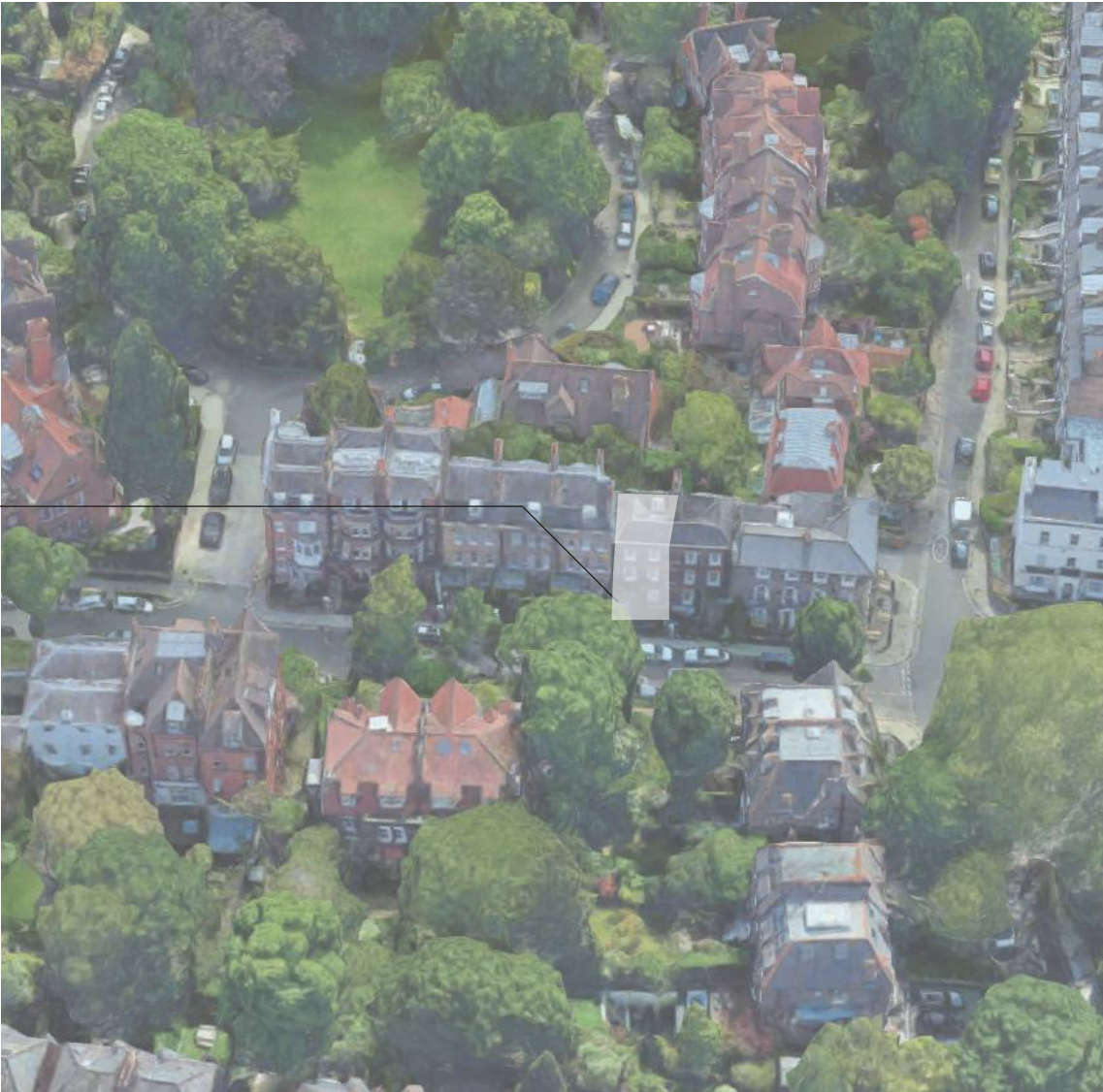


Fig.1 Aerial view  
Not to scale



INTRODUCTION

THE PROPERTY

40 Well Walk is a five storey terraced house in the London Borough of Camden. The building is grade II listed and is located in the Hampstead conservation area.

The building has undergone a series of alterations in the past such as a front porch extension in the late 19th century and internal layout alterations more recently.

The changes proposed in the following document, look to sensitively restore and rejuvenate the property through minor internal layout changes. The document hopes to outline these changes while being sensitive in conserving the property as a Grade II listed terrace house.





EXISTING PHOTOGRAPHS

FRONT ELEVATION





EXISTING PHOTOGRAPHS

REAR ELEVATION





EXISTING PHOTOGRAPHS

LOWER GROUND FLOOR



EXISTING PHOTOGRAPHS

LOWER GROUND FLOOR SHOWER ROOM





EXISTING PHOTOGRAPHS

LOWER GROUND FLOOR UTILITY,  
HALLWAY, AND BOILER ROOM





EXISTING PHOTOGRAPHS

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LOWER GROUND FLOOR LIGHTWELL





EXISTING PHOTOGRAPHS

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GROUND FLOOR KITCHEN AND LIVING





EXISTING PHOTOGRAPHS

GROUND FLOOR HALLWAY AND WC





EXISTING PHOTOGRAPHS

FIRST FLOOR FRONT





EXISTING PHOTOGRAPHS

FIRST FLOOR REAR





EXISTING PHOTOGRAPHS

SECOND FLOOR BEDROOM





EXISTING PHOTOGRAPHS

SECOND FLOOR SHOWER ROOM AND  
HALLWAY





EXISTING PHOTOGRAPHS

THIRD FLOOR BEDROOM





EXISTING PHOTOGRAPHS

THIRD FLOOR BATHROOM

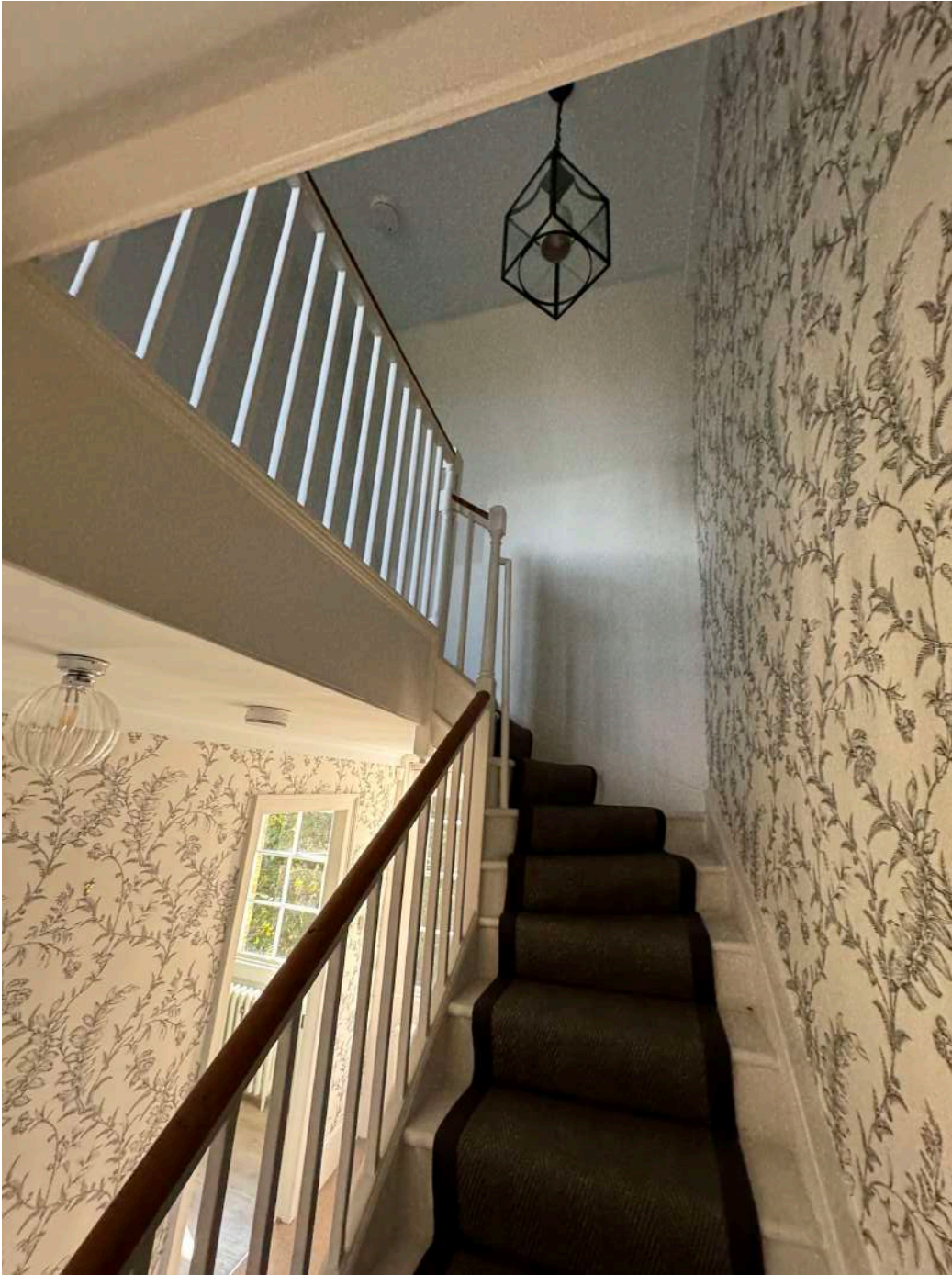




EXISTING PHOTOGRAPHS

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THIRD FLOOR HALLWAY AND LOFT





THE PROPOSAL

PREVIOUS/SURROUNDING PROPOSALS

Previous consents for 40 Well Walk:

**2018/4370/L - Granted, 2018  
40 Well Walk**

Internal repairs and upgrade works, repair of existing rear balcony with new cast iron support pole, installation of bathroom at third floor.

Neighbouring similar properties:

**2024/3015/L - Awaiting Decision, 2024  
32 Well Walk**

Erection of a single-storey rear extension at the lower ground level; reinstatement of the front lightwell stone staircase on the front elevation, and internal alterations

**9570108 - Granted, 1995  
34 Well Walk**

The erection of a single storey rear extension

**9170078 - Granted, 1991  
36 Well Walk**

Internal alterations to existing building

**8870572 - Granted, 1988  
38 Well Walk**

Installation of new bathrooms, utility space and improved drainage.

THE PROPOSAL

DESIGN AND ACCESS

The proposals has been informed by the following;

- London Borough of Camden’s Supplementary Planning Document - Home Improvements. Approved Jan 2021

**Materiality and Appearance**

Alterations to the property will be in keeping with the existing building as per precedent applications and supplementary planning guidance.

**Sustainability**

Sustainability is integral to our office culture and design approach. Where possible we look to produce designs which are efficient in its use of local and renewable materials, in the energy required to build them, and the energy generated while in use.

The proposal will seek to create a more efficient home.

Energy efficient services, fixtures and fittings will be implemented throughout where replaced.

Sustainably sourced materials, with low embodied energy, will be used where possible. Non-toxic paints and natural materials with minimal finishing involved will be used where possible.

**Use**

The use of the house will remain as a self-contained family residence.

**Access**

Access to and within the house property will remain as existing.

**Summary**

Care has been taken in researching current policy. Care has also been taken in analysing the original house and context, and reviewing past planning applications, to reach the submitted proposals. The proposals respond to the property and context with the appropriate scale and materials and are both subtle and subordinate to the existing house and context.

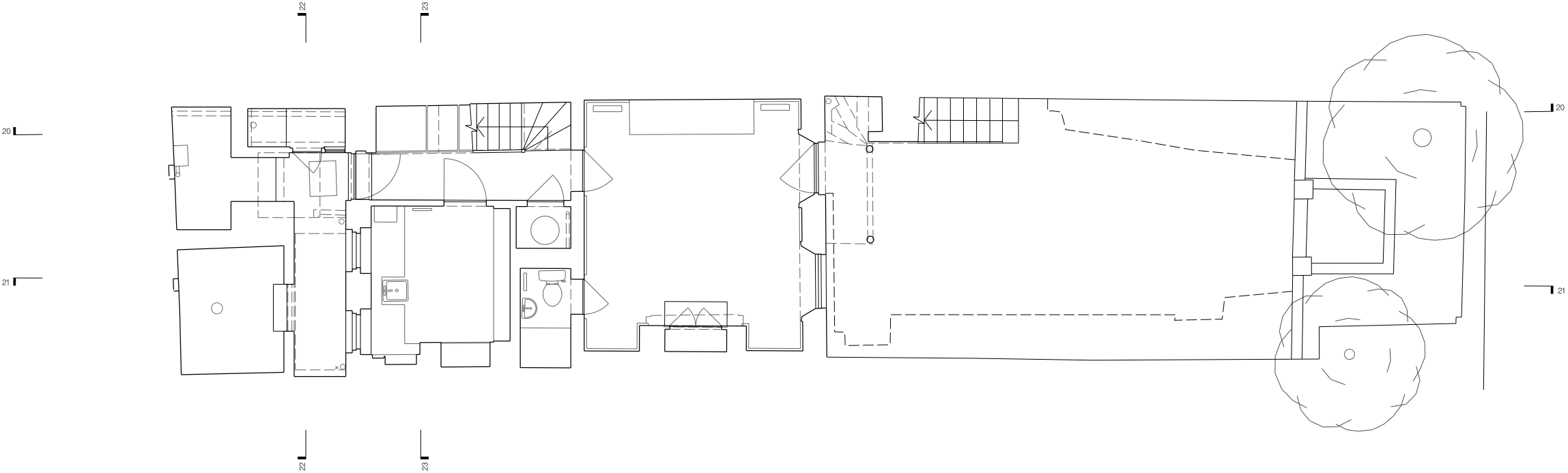
We look forward to receiving your comments, and please do contact us should you wish to discuss.



DRAWINGS

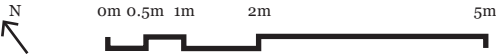
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EXISTING



Existing Site Plan

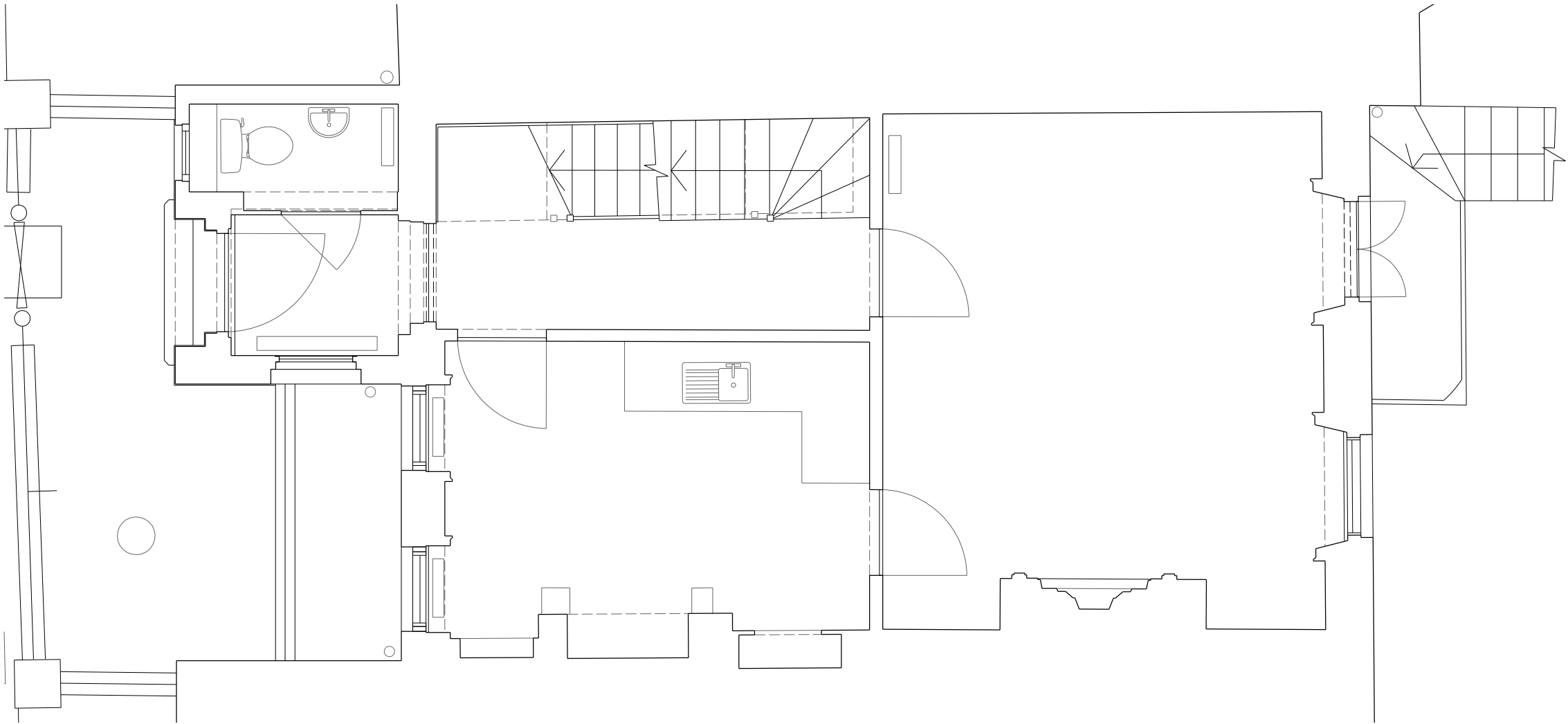
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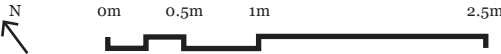
DRAWINGS

EXISTING



Existing Ground Floor Plan

Scale: 1:25 A3 / 1:50 A1

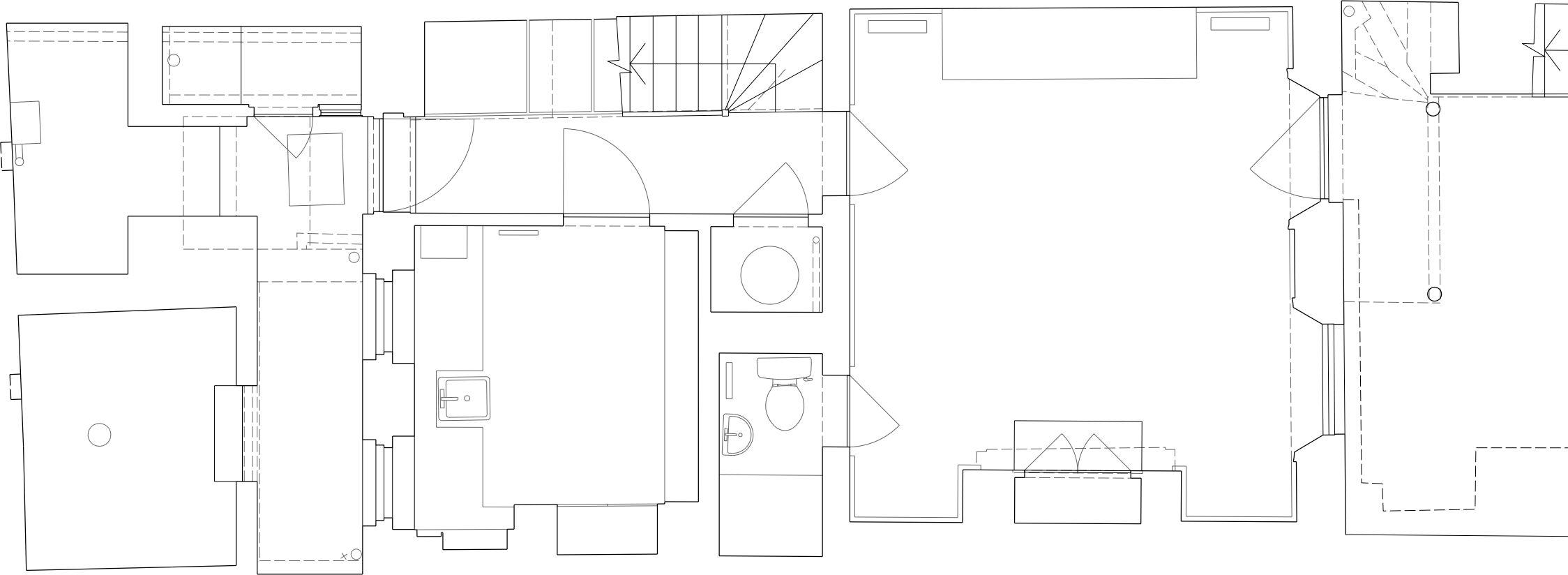




DRAWINGS

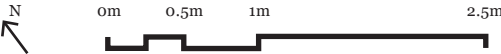
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EXISTING



Existing Lower Ground Floor Plan

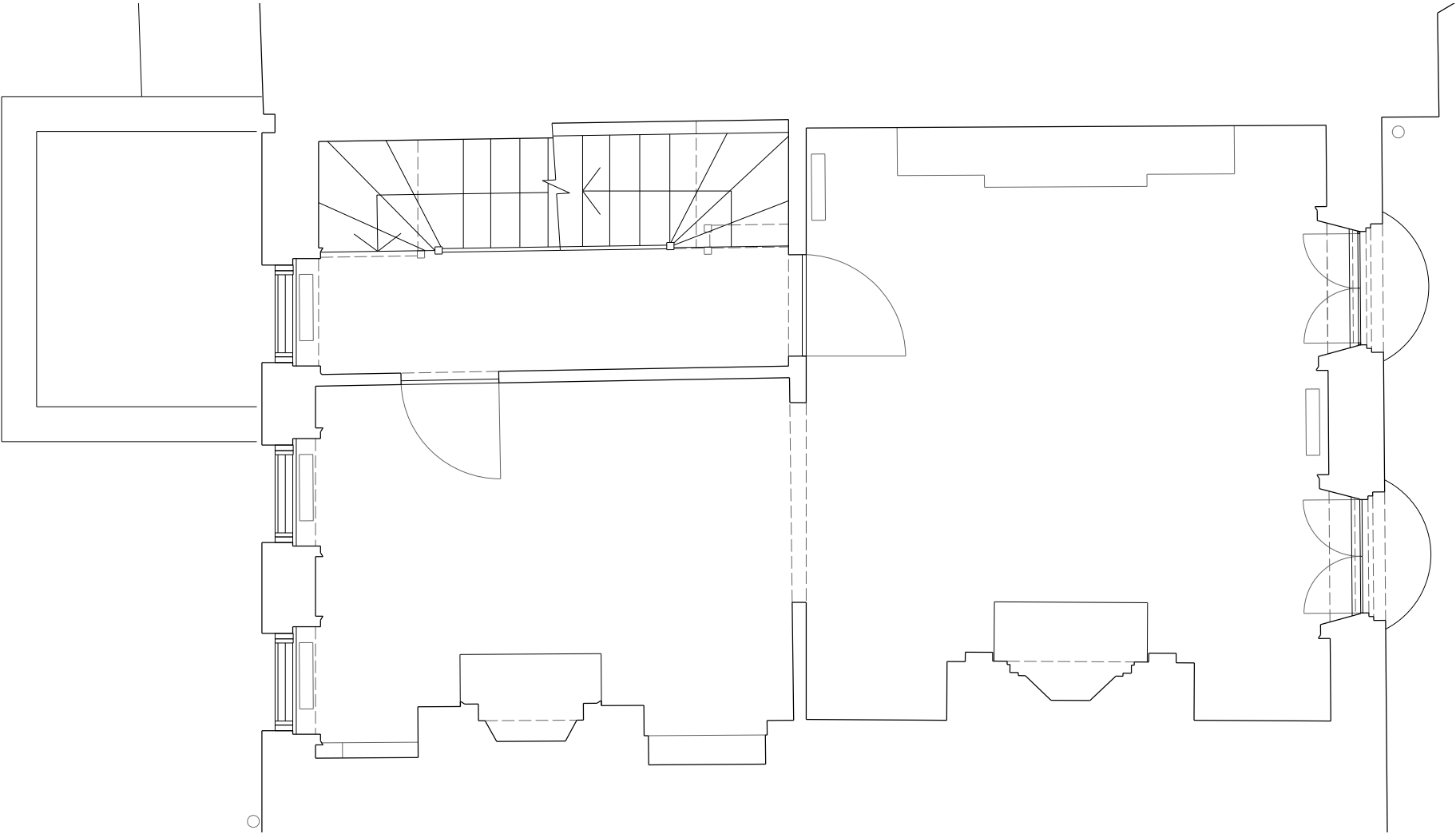
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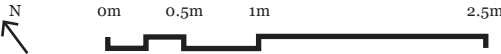
DRAWINGS

EXISTING



Existing First Floor Plan

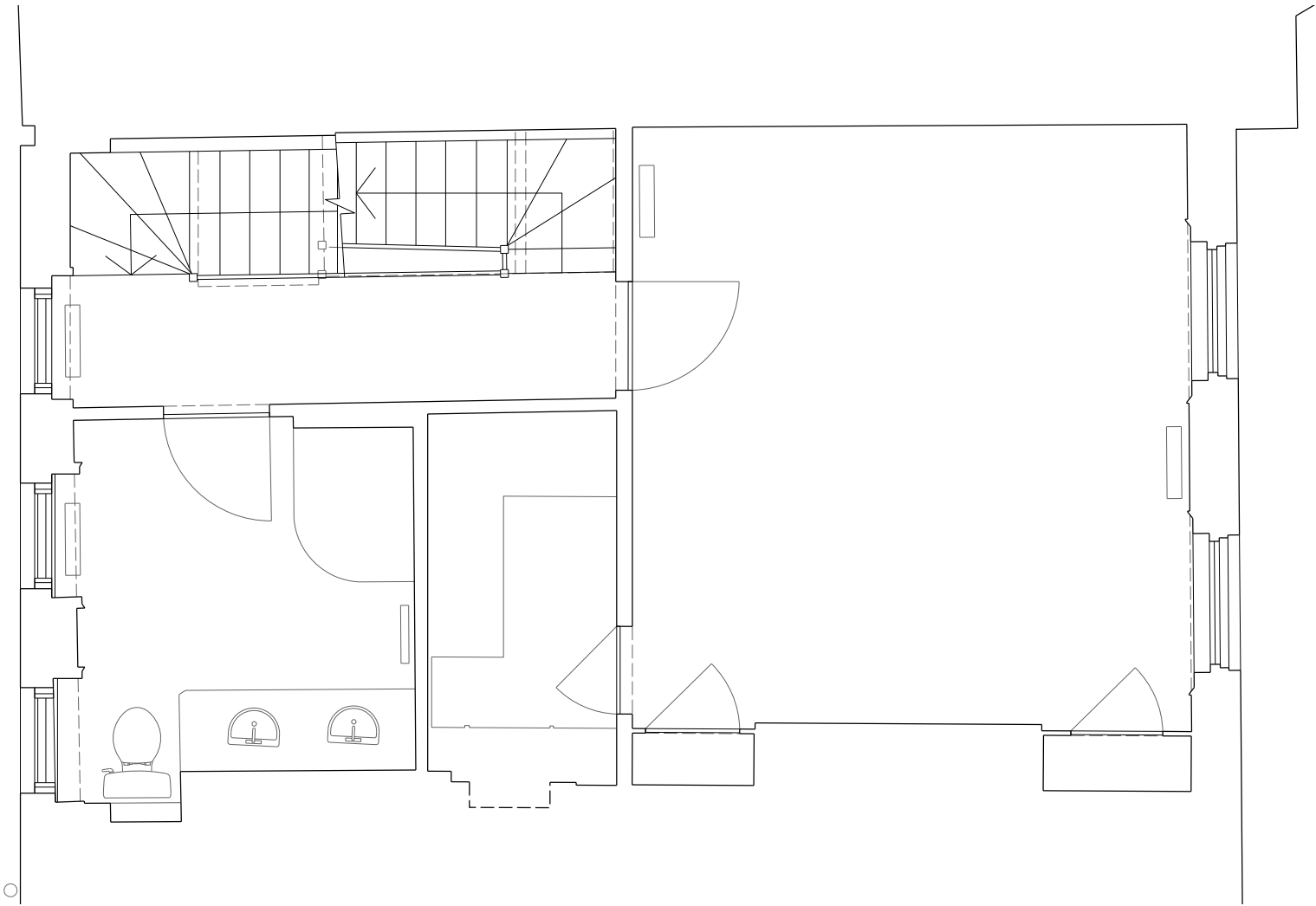
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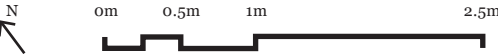
DRAWINGS

EXISTING



Existing Second Floor Plan

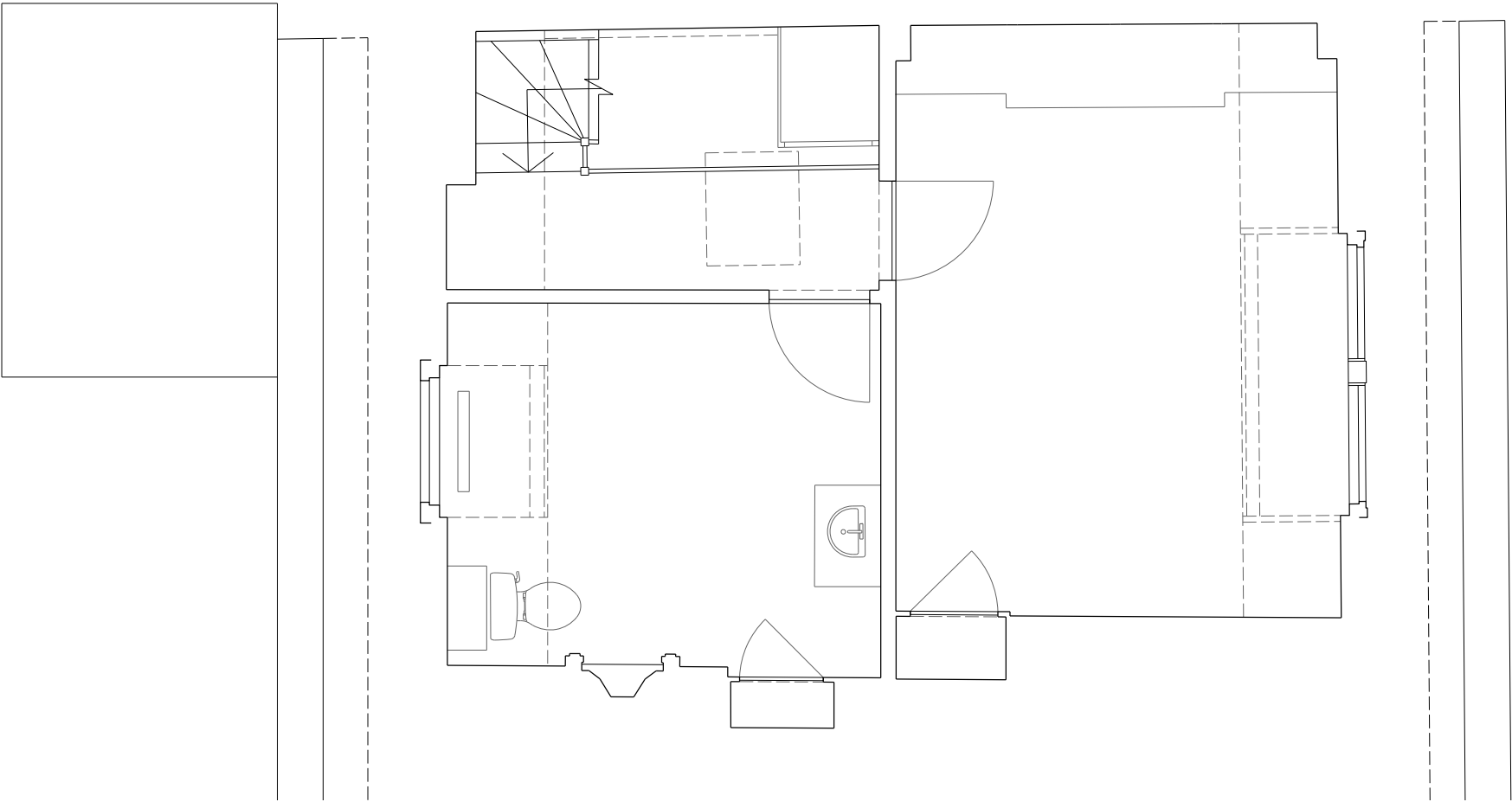
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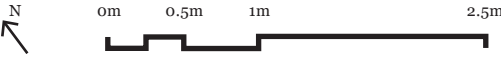
DRAWINGS

EXISTING



Existing Third Floor Plan

Scale: 1:25 A3 / 1:50 A1

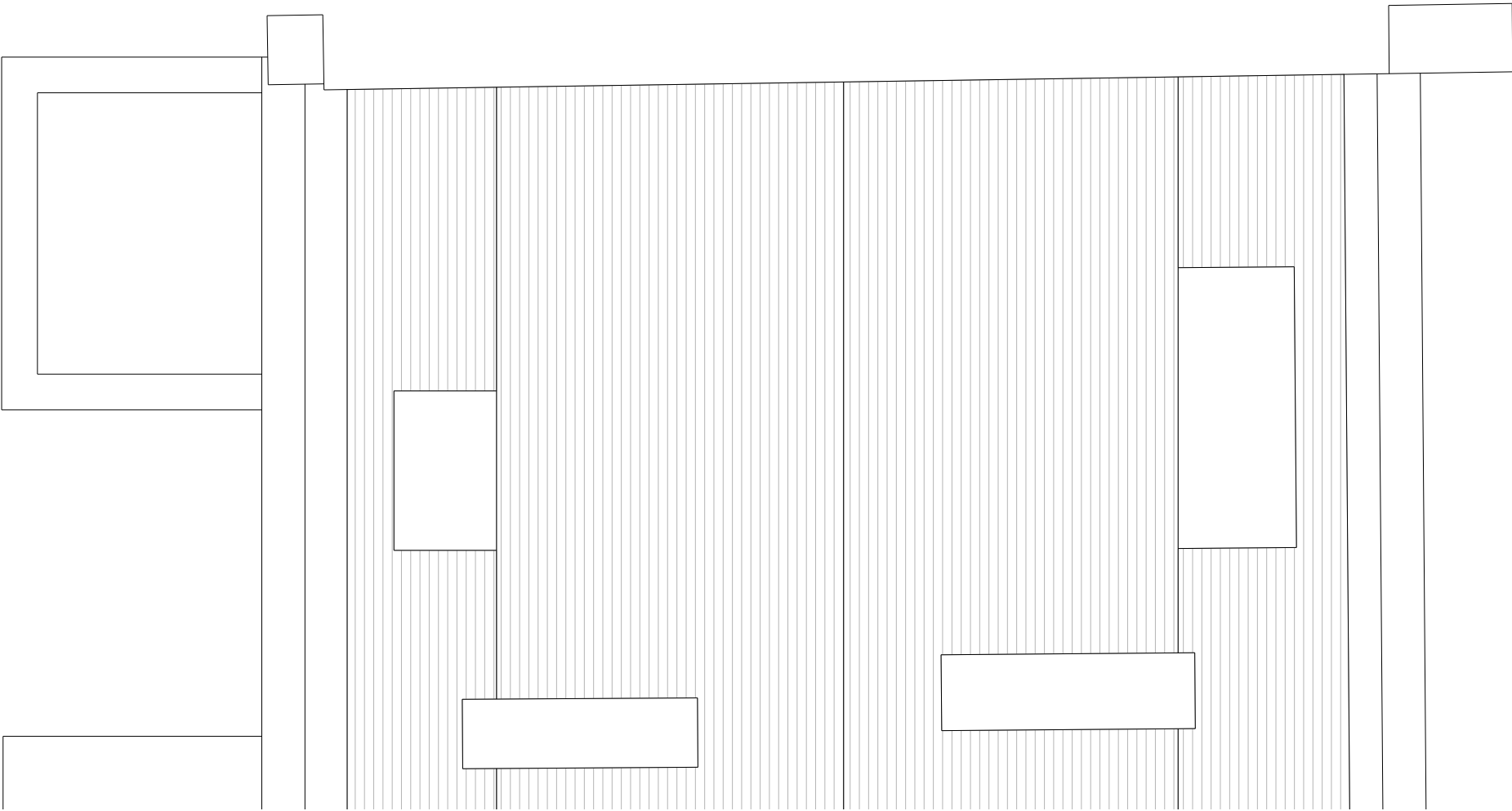




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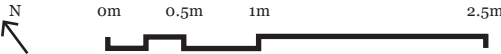
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EXISTING



Existing Roof Plan

Scale: 1:25 A3 / 1:50 A1



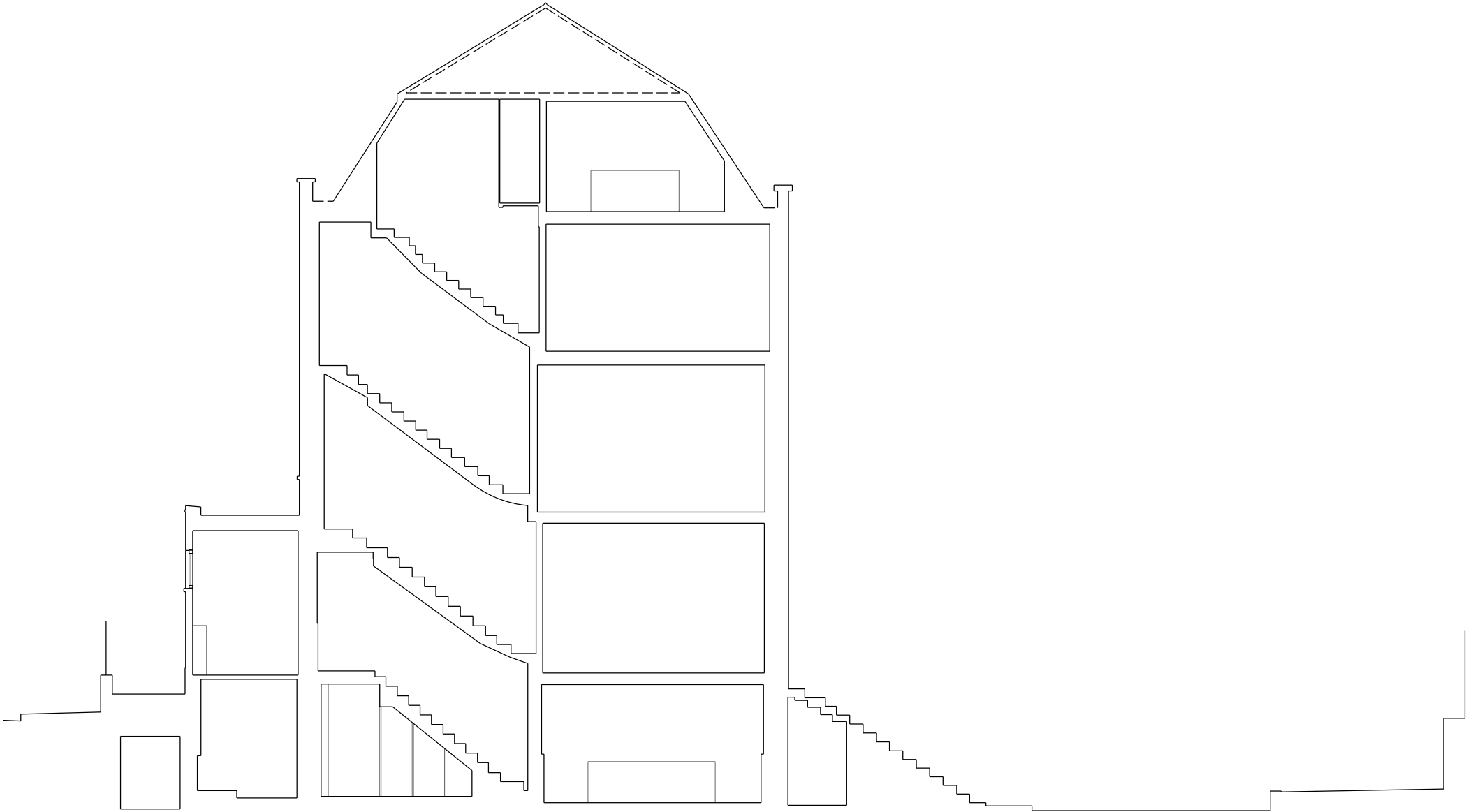
DRAWINGS

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EXISTING

Existing Section 20

Scale: 1:50 A3 / 1:100 A1





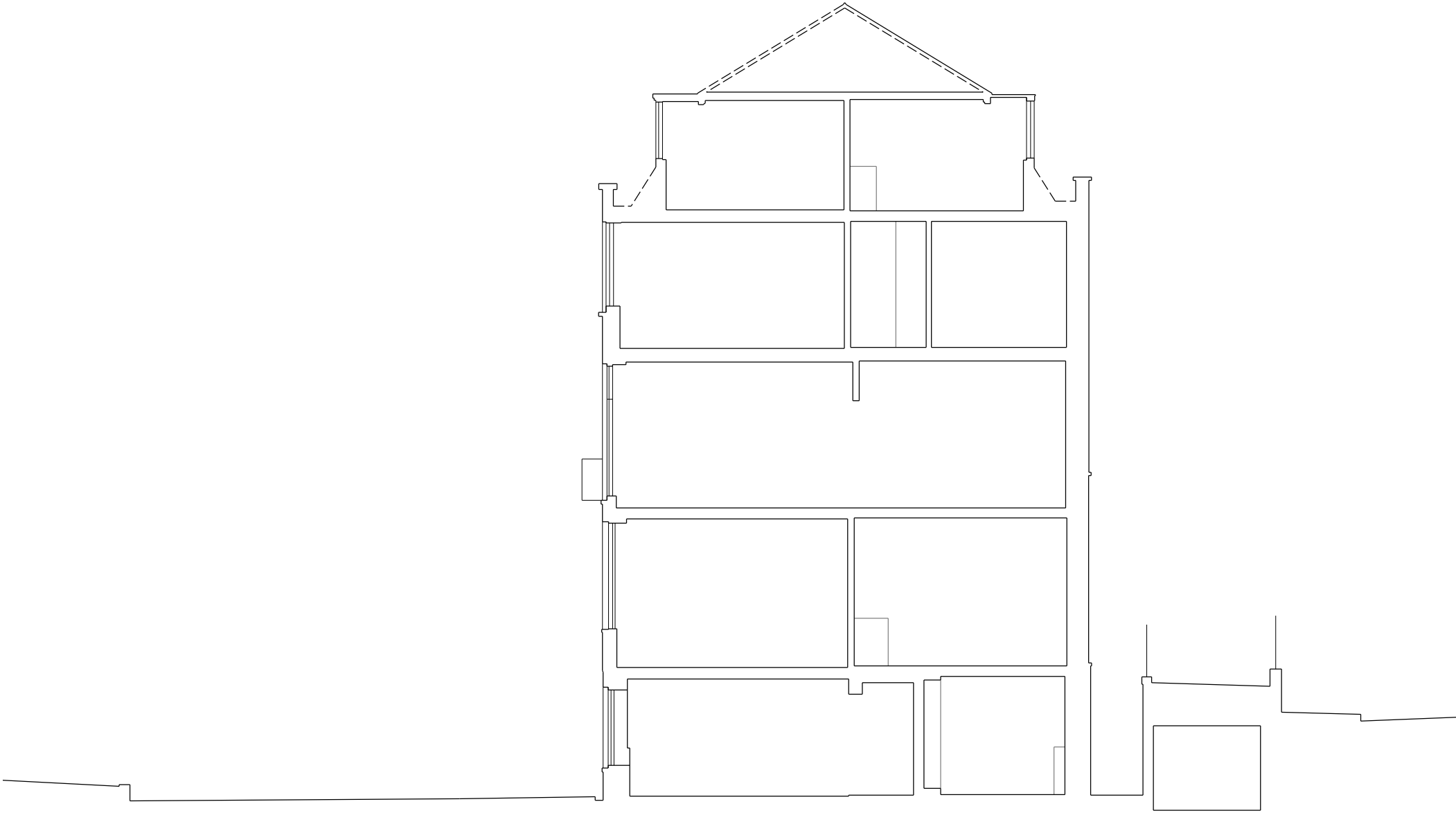
DRAWINGS

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EXISTING

Existing Section 21

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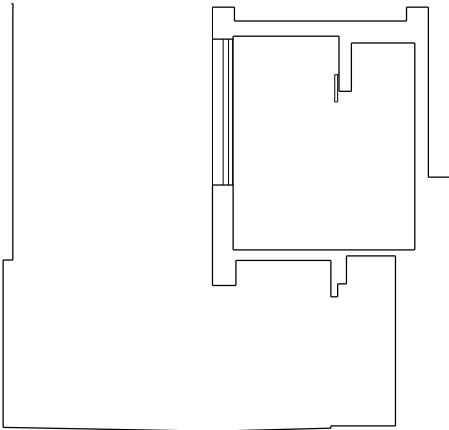


DRAWINGS

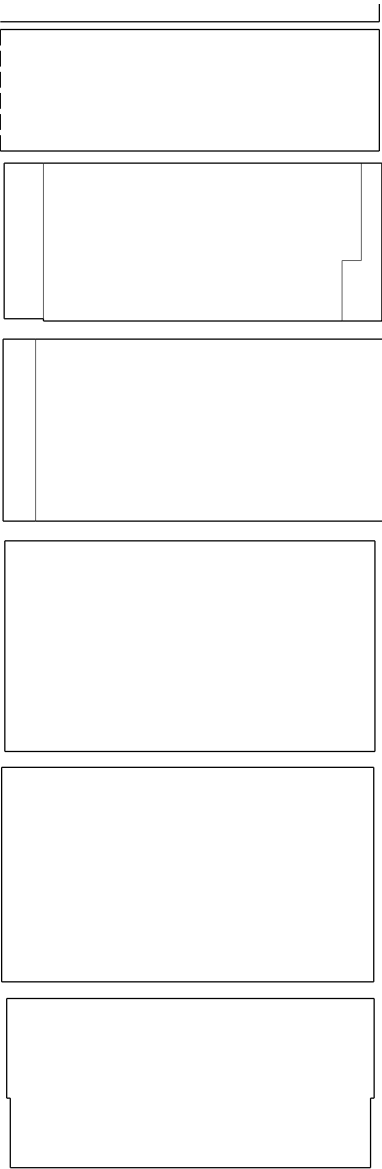
EXISTING

Existing Sections 22 and 23

Scale: 1:50 A3 / 1:100 A1



Section 22



Section 23



DRAWINGS

EXISTING

Existing Front and Rear Elevation

Scale: 1:50 A3 / 1:100 A1



Front Elevation



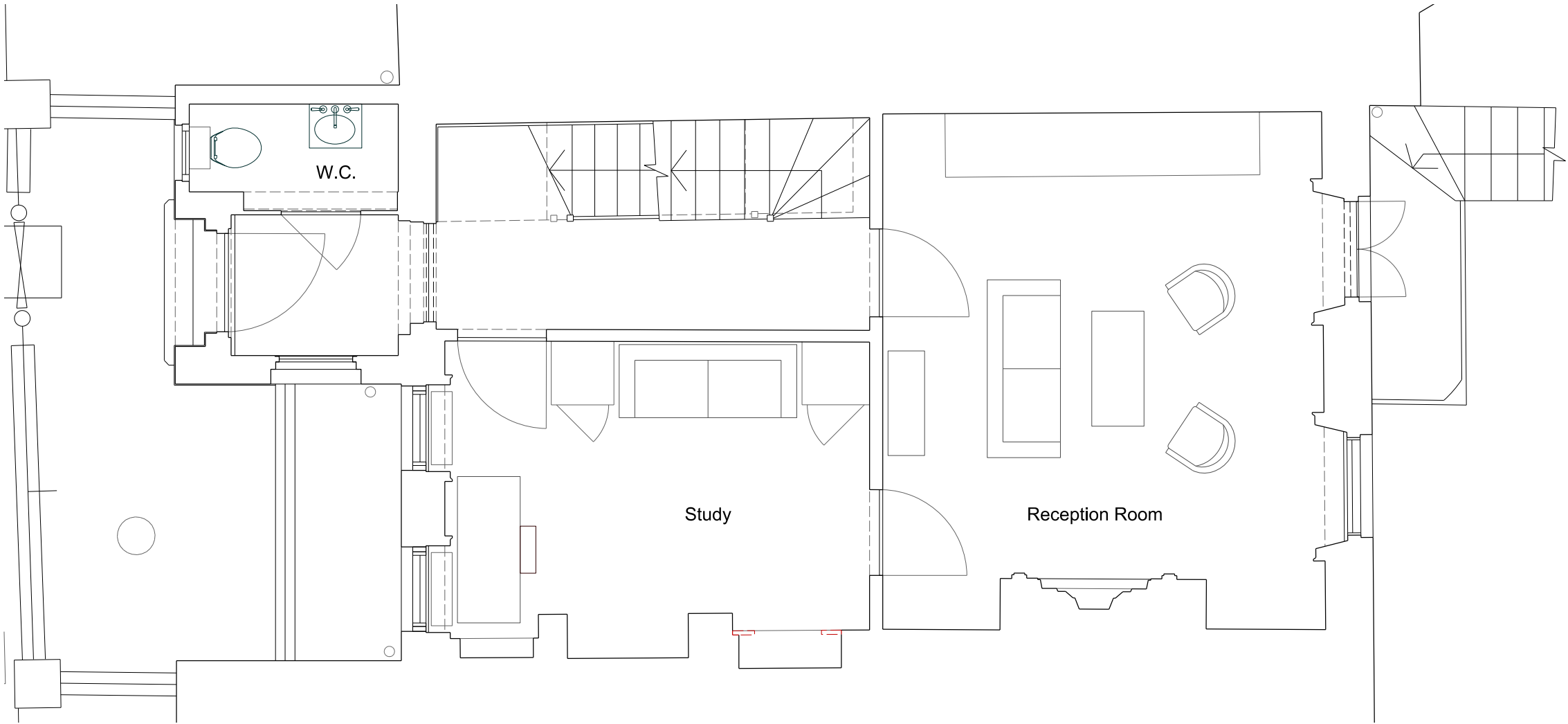
Rear Elevation

DRAWINGS

PROPOSED

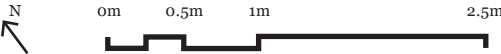
Notes

01



Proposed Ground Floor Plan

Scale: 1:25 A3 / 1:50 A1



--- Denotes Line of Existing

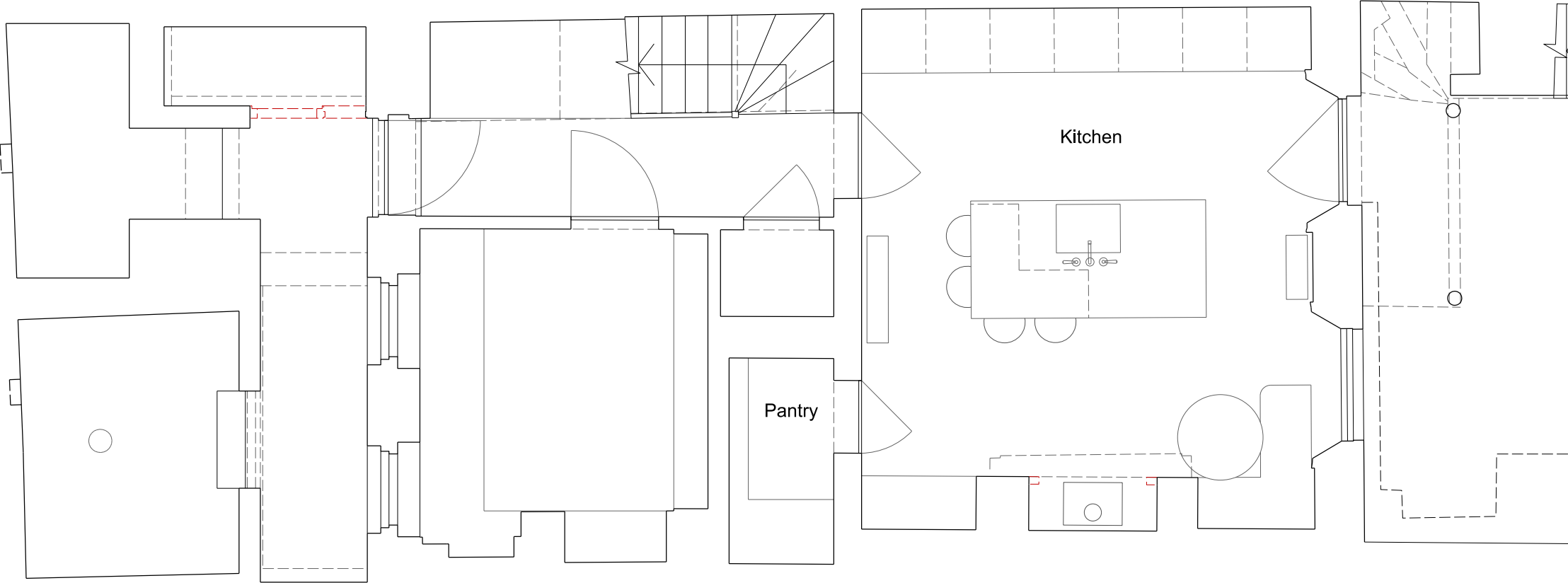


DRAWINGS

PROPOSED

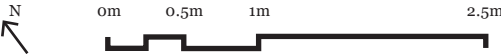
Notes

01



Proposed Lower Ground Floor Plan

Scale: 1:25 A3 / 1:50 A1



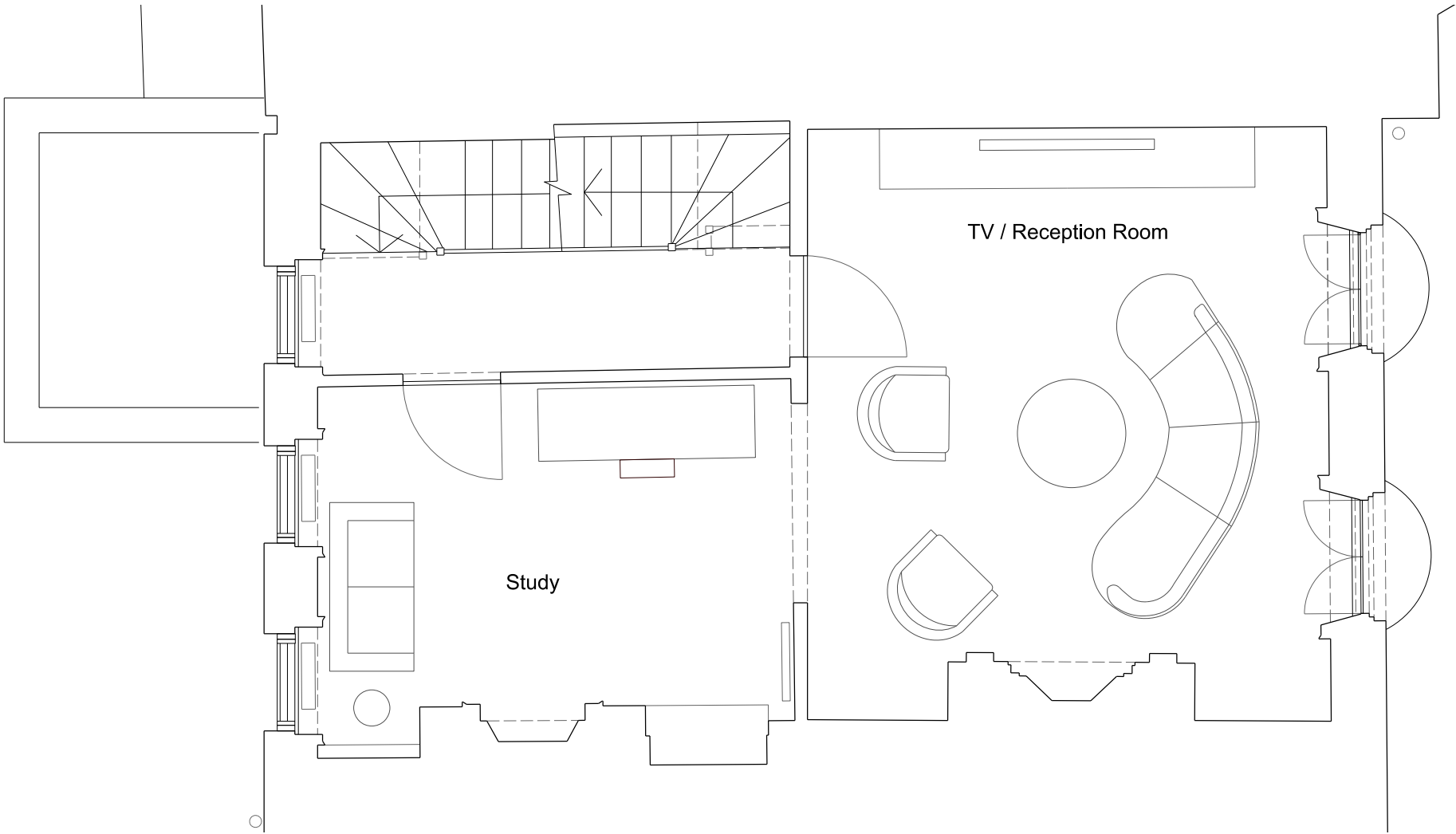
Denotes Line of Existing

DRAWINGS

PROPOSED

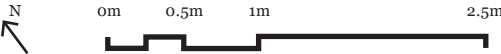
Notes

01



Proposed First Floor Plan

Scale: 1:25 A3 / 1:50 A1



..... Denotes Line of Existing



DRAWINGS

PROPOSED

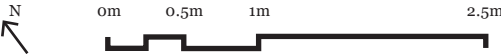
Notes

01



Proposed Second Floor Plan

Scale: 1:25 A3 / 1:50 A1



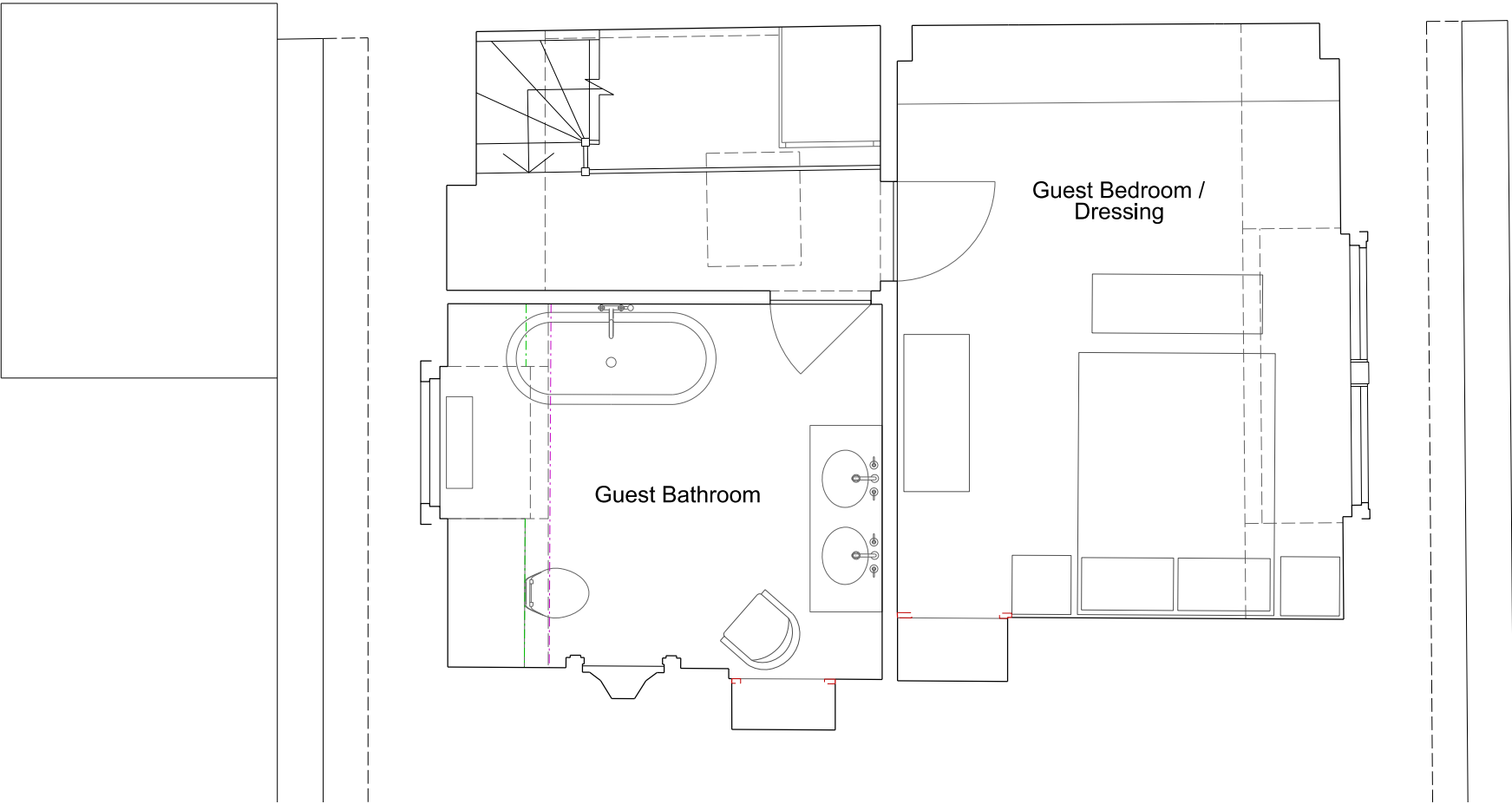
--- Denotes Line of Existing

DRAWINGS

PROPOSED

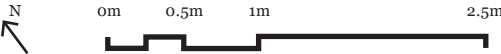
Notes

01



Proposed Third Floor Plan

Scale: 1:25 A3 / 1:50 A1



- Denotes Line of Existing
- Denotes Ceiling Height of 1500mm
- Denotes Ceiling Height of 1800mm