

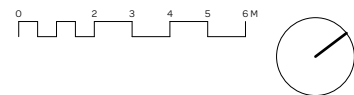
notes:

General notes:  
1. Do not scale drawings. Dimensions govern.  
2. All dimensions are in millimeters unless noted otherwise.  
3. All dimensions shall be verified on site before proceeding with the work.  
4. Square Feet Architects shall be notified in writing of any discrepancies.

Party Wall Act 1996:  
Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory notice.

C.D.M. Regulations 2015:  
These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 2015. If advice is required please do not hesitate to contact Square Feet Architects.

KEY  
black lines existing  
green lines to be demolished  
red lines proposed

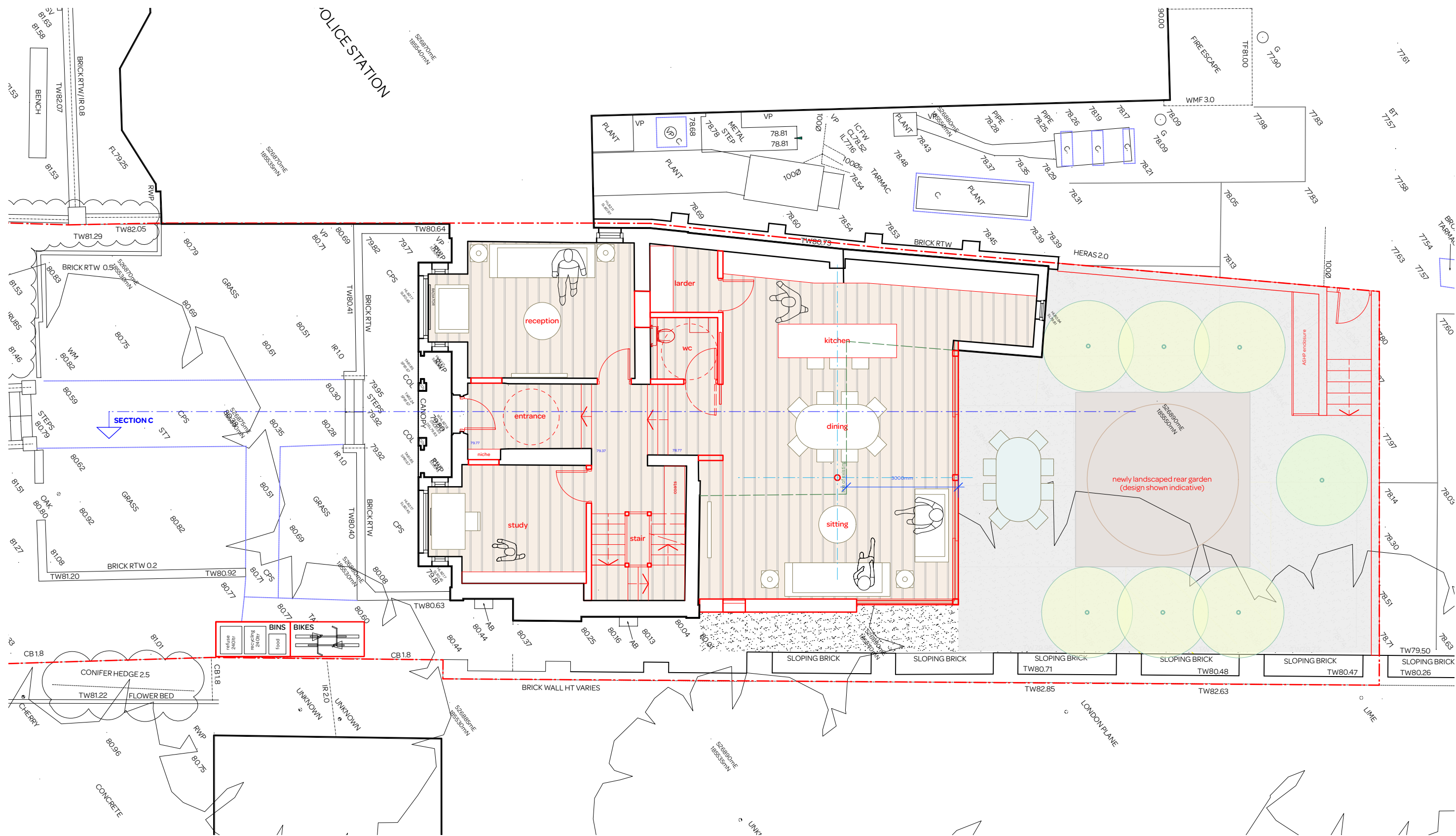


revision:	
*	10/10/24 Planning Issue



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drawing title: <b>PROPOSED SITE PLAN 200</b>	
client: SIMAT PROPERTIES LTD	
project: <b>26 Rosslyn Hill, London NW3 1PA</b>	
date: Sept 2024	scale: 1:50@A1 / 1:100@A3
drawing number: <b>2408_L_035</b>	revision: *



notes:

General notes:

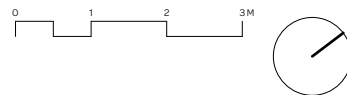
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KEY

black lines	existing
green lines	to be demolished
red lines	proposed



revision:
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	*	10/10/24	Planning Issue
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**SQUARE FEET**  
ARCHITECTS

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drawing title:

### PROPOSED GROUND PLAN

client:

SIMAT PROPERTIES LTD

project:	
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26 Rosslyn Hill, London NW3 1PA

date:	
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Sept 2024

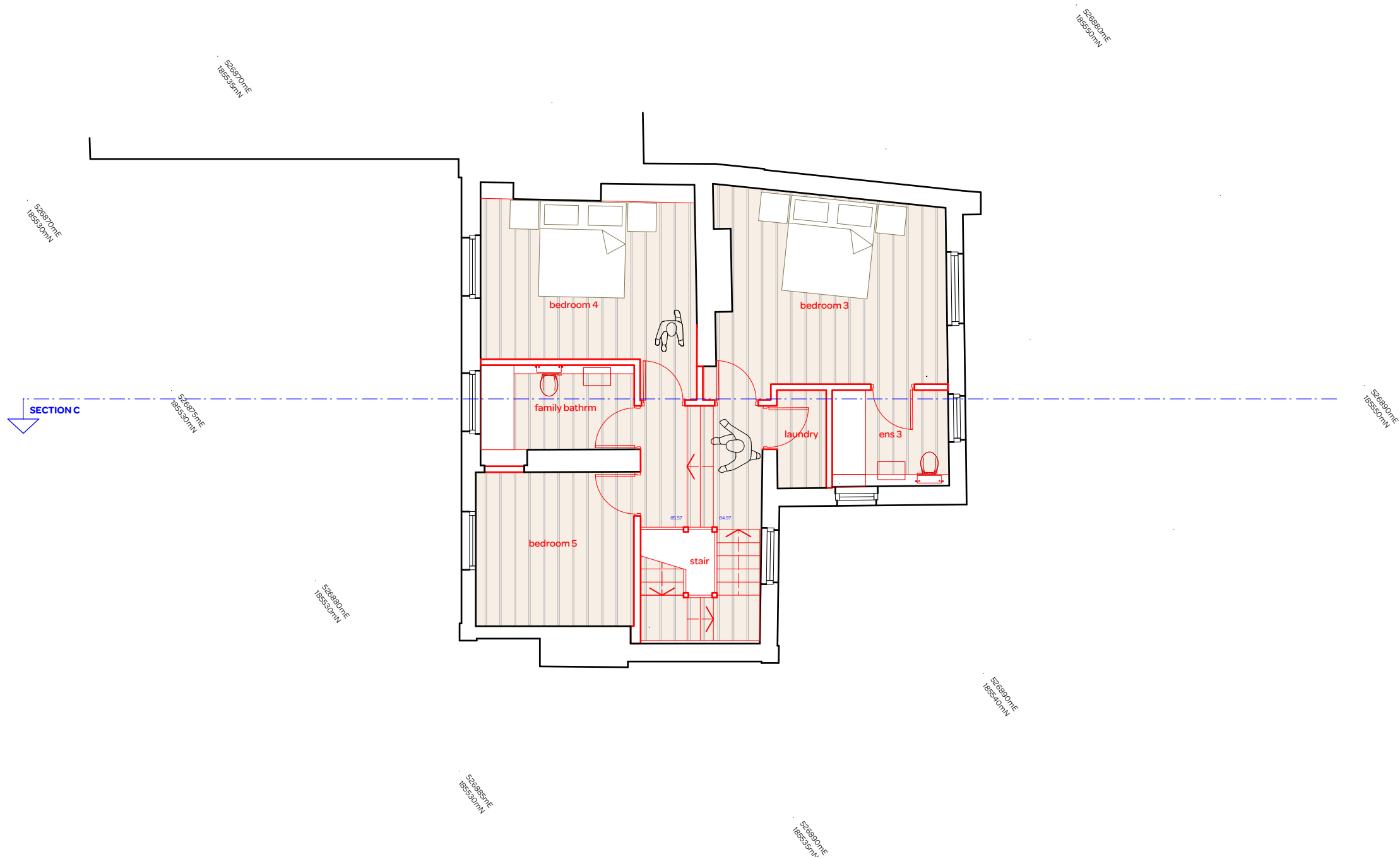
drawing number:

scale:
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1:50@

revision:
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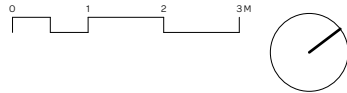
notes:

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KEY  
[black lines] existing  
[green lines] to be demolished  
[red lines] proposed



revision:

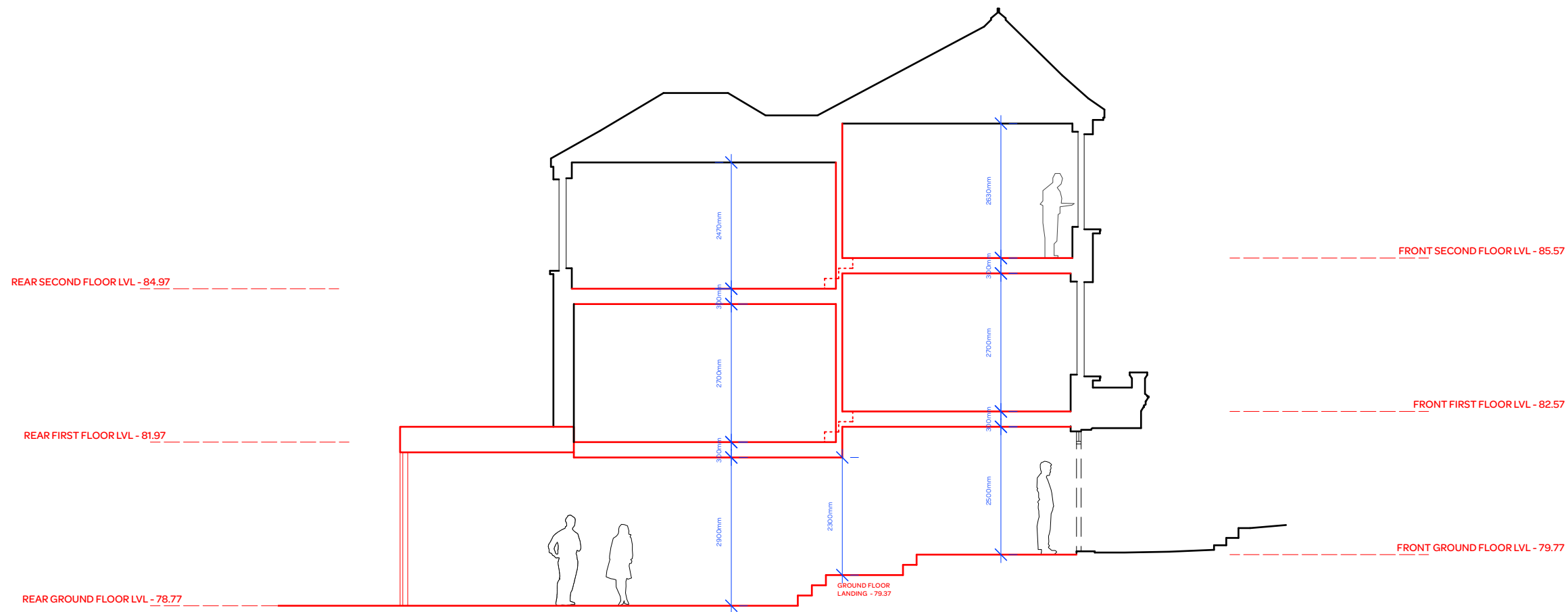
*	10/10/24	Planning Issue



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drawing title: <b>PROPOSED SECOND PLAN</b>	
client: SIMAT PROPERTIES LTD	
project: <b>26 Rosslyn Hill, London NW3 1PA</b>	
date: <b>Sept 2024</b>	scale: 1:50@A1 / 1:100@A3
drawing number: <b>2408_L_043</b>	revision: *





DATUM 76.00m

SECTION C - C

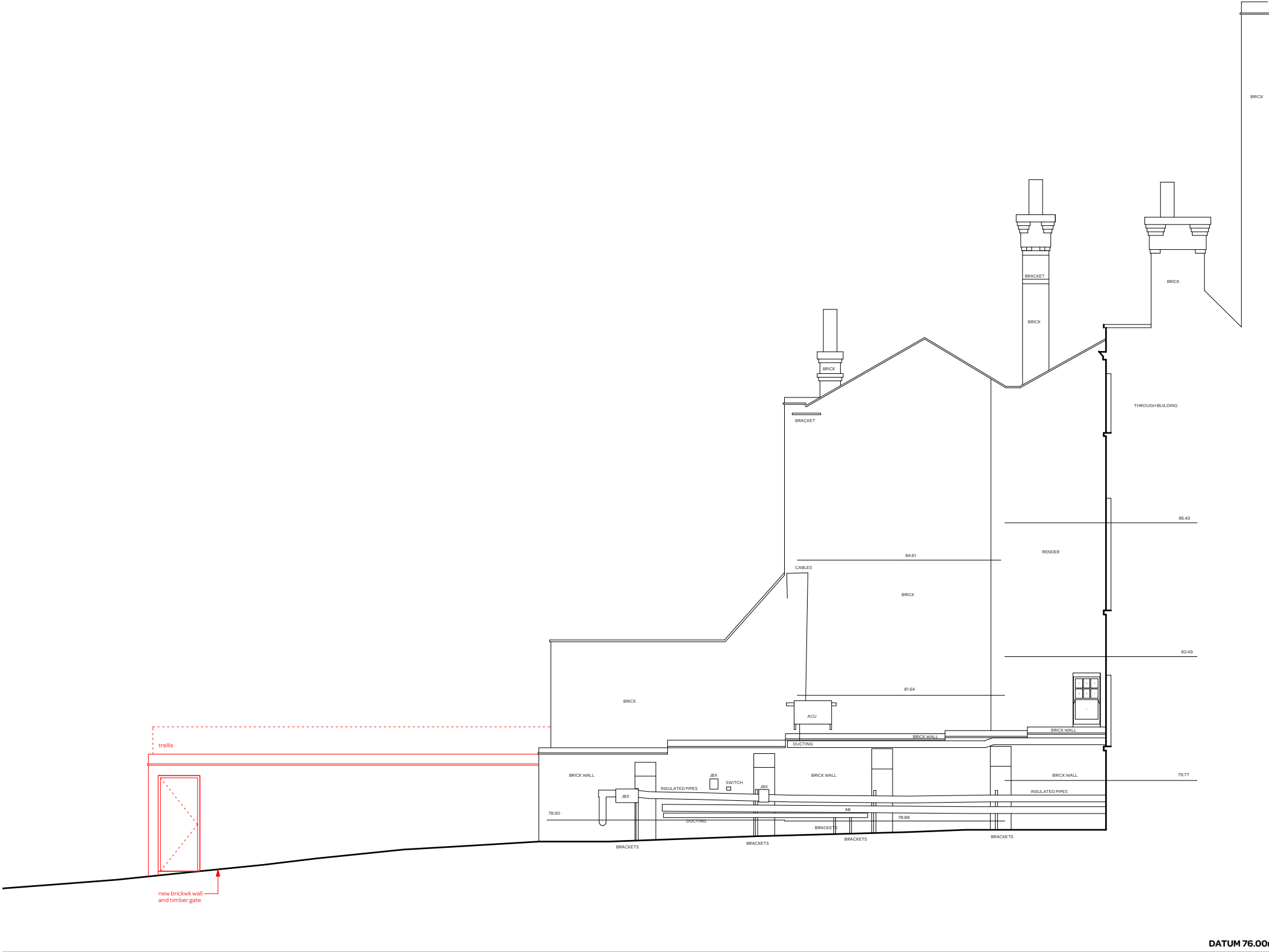
notes:		revision:		<div><div><div>SQUARE FEET</div><div>ARCHITECTS</div></div><div>A : 95 Bell St, London, NW1 6TL T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk</div></div>	drawing title:	
<div><div>General notes:</div><div>1. Do not scale drawings. Dimensions govern. 2. All dimensions are in millimeters unless noted otherwise. 3. All dimensions shall be verified on site before proceeding with the work. 4. Square Feet Architects shall be notified in writing of any discrepancies.</div><div>Party Wall Act 1996:</div><div>Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory notice.</div><div>C.D.M. Regulations 2015:</div><div>These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 2015. If advice is required please do not hesitate to contact Square Feet Architects.</div><div>KEY</div><div><div>black lines</div>existing</div><div><div>green lines</div>to be demolished</div><div><div>red lines</div>proposed</div></div> <div><div>0</div><div>1</div><div>2</div><div>3M</div></div>		* 10/10/24 Planning Issue			client:	
					SIMAT PROPERTIES LTD	
					project:	
					26 Rosslyn Hill, London NW3 1PA	
					date:	scale:
					Sept 2024	1:50@A1 / 1:100@A3
					drawing number:	revision:
					2408_L_047	*












ELEVATION 3

notes:		revision:		<div><div>SQUARE FEET ARCHITECTS</div><div>A : 95 Bell St, London, NW1 6TL T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk</div></div>	drawing title:	
<p>General notes:</p> <p>1. Do not scale drawings. Dimensions govern.</p> <p>2. All dimensions are in millimeters unless noted otherwise.</p> <p>3. All dimensions shall be verified on site before proceeding with the work.</p> <p>4. Square Feet Architects shall be notified in writing of any discrepancies.</p> <p>Party Wall Act 1996:</p> <p>Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory notice.</p> <p>C.D.M. Regulations 2015:</p> <p>These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 2015. If advice is required please do not hesitate to contact Square Feet Architects.</p> <p>KEY</p> <div><div>black lines</div>existing</div> <div><div>green lines</div>to be demolished</div> <div><div>red lines</div>proposed</div>		* 10/10/24 Planning Issue			client:	
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					project:	
					26 Rosslyn Hill, London NW3 1PA	
					date:	scale:
					Sept 2024	1:50@A1 / 1:100@A3
					drawing number:	revision:
					2408_L_053	*
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notes:

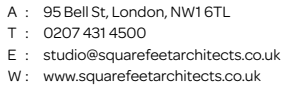
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KEY

black lines	existing
green lines	to be demolished
red lines	proposed

revision:

★	10/10/24	Planning Issue
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drawing title:

### PROPOSED ELEVATION 4

client:

SIMAT PROPERTIES LTD

project:

26 Rosslyn Hill, London NW3 1PA

date:

Sept 2024

scale:

1:50@A1/1:100@A3

drawing number:

2408\_L\_054

revision:

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