

# Section 73 Design Statement

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Prepared by DSDHA

Submitted on behalf of Lab Selkirk House Ltd  
Selkirk House, 166 High Holborn and 1 Museum Street, 10-12 Museum Street,  
35-41 New Oxford Street and 16A-18 West Central Street, London, WC1A 1JR

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## *1.0 Summary of Changes*

# 1.0 Summary of Changes

## 1.1 Introduction

### Purpose of the Design Statement

This Design Statement has been prepared by DSDHA and other members of the design team to support a Section 73 application being submitted by the Applicant 'Lab Selkirk House Ltd', hereafter referred to as 'the Applicant'. This document should be read in conjunction with the application drawings and other documents within this application.

This Statement has been prepared to illustrate the design development and related design changes to the One Museum Street building part of the overall masterplan for the redevelopment of Selkirk House, 166 High Holborn and 1 Museum Street; and works of part-demolition and refurbishment to 10-12 Museum Street, 35-41 New Oxford Street, and 16A-18 West Central Street.

The Section 73 application is pursuant to Planning Permission Ref: 2023/2510/P

### Project Location

Museum Street, 10-12 Museum Street, 35-41 New Oxford Street and 16A-18 West Central Street, London, WC1A 1JR

The Site is located in the area historically known as St. Giles, which is set between Covent Garden, Holborn and Bloomsbury, in the London Borough of Camden. Site location is highlighted on the adjacent page.

### Planning Permission Ref: 2023/2510/P

*"Redevelopment of Selkirk House, 166 High Holborn and 1 Museum Street following the substantial demolition of the existing NCP car park and former Travelodge Hotel to provide a mixed-use scheme, providing office, residential, and town centre uses at ground floor level. Works of part-demolition and refurbishment to 10-12 Museum Street, 35-41 New Oxford Street, and 16A-18 West Central Street to provide further town centre ground floor uses and residential floorspace, including affordable housing provision. Provision of new public realm including a new pedestrian route through the site to link West Central Street with High Holborn. Relocation of cycle hire docking stations on High Holborn".*

### Section 73 Pre-Apps

Development of the proposed amendments has been made in consultation with Camden planning and design officers, with meetings held on the following dates: 28.03.24, 13.05.24, 19.06.2024 and 10.07.2024.

### Summary of Changes

#### One Museum Street Ground Floor:

- Ground Floor general layout arrangement
- Ground Floor elevations, focused on entrance locations

#### One Museum Street Servicing Strategy:

- Removal of vehicular lift previously proposed in lieu of an alternative servicing strategy, including loading bay with turntable at ground floor level.
- Core layout adjustments with relocation of the Goods lift in close proximity to the loading bay area
- Relocation of the refuse store to be closer to the Goods lift and loading bay area

#### One Museum Street Basement levels:

- Removal of vehicular lift.
- Removal of B1 basement level retail use to South East retail unit.
- Alterations to cycle store layout and capacity to match updated area schedule (Number of cycle parking spaces comply with The London Plan).
- Alterations to shower facilities layout and capacity to match updated area schedule (Number of showers and WC's comply with The London Plan).

#### One Museum Street Facade:

- Building levels have been adjusted to suit detailed design development of MEP and Structural strategies for the building - the overall building height and massing remains unchanged.
- The building crown has been elongated to match the adjusted building levels.
- Mirrored glass has been introduced to the crown
- The BMU plan position on the roof has been adjusted to match the altered roof plant layout - no height change.
- Overall building facade design includes a 100mm depth reduction - to the internal side of the facade only.
- Operable vent panels to office floorplates have been replaced with openable windows within the glazed area (improving the overall facade thermal performance).
- The glazing ratio of the North facade has been increased by 5% (from 46 to 51%) to improve daylighting.
- New inset terraces have been introduced on Levels 7,10,15 to provide enhanced amenity space.
- The South facing terrace on level 18 has been increased in area.

The building areas have been adjusted to match the amendments to the GA plans and alterations captured in the list above - refer to areas summary in Section 6.O.



View looking to New Public Realm on West Central Street (1 Museum Street on left of view)



# 1.0 Summary of Changes

## 1.1 Introduction



Aerial View of the Site



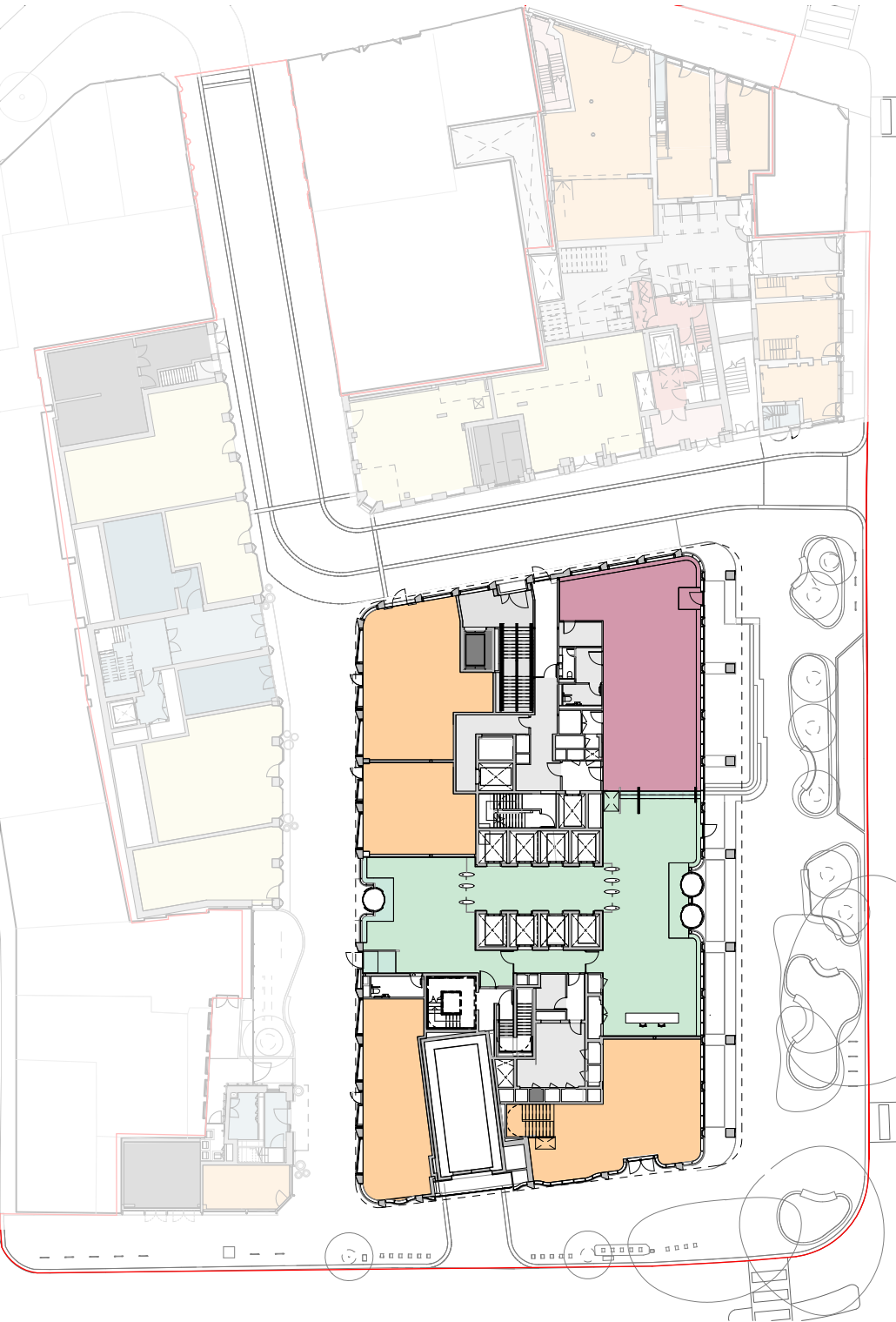
## 2.0 *Ground Floor*



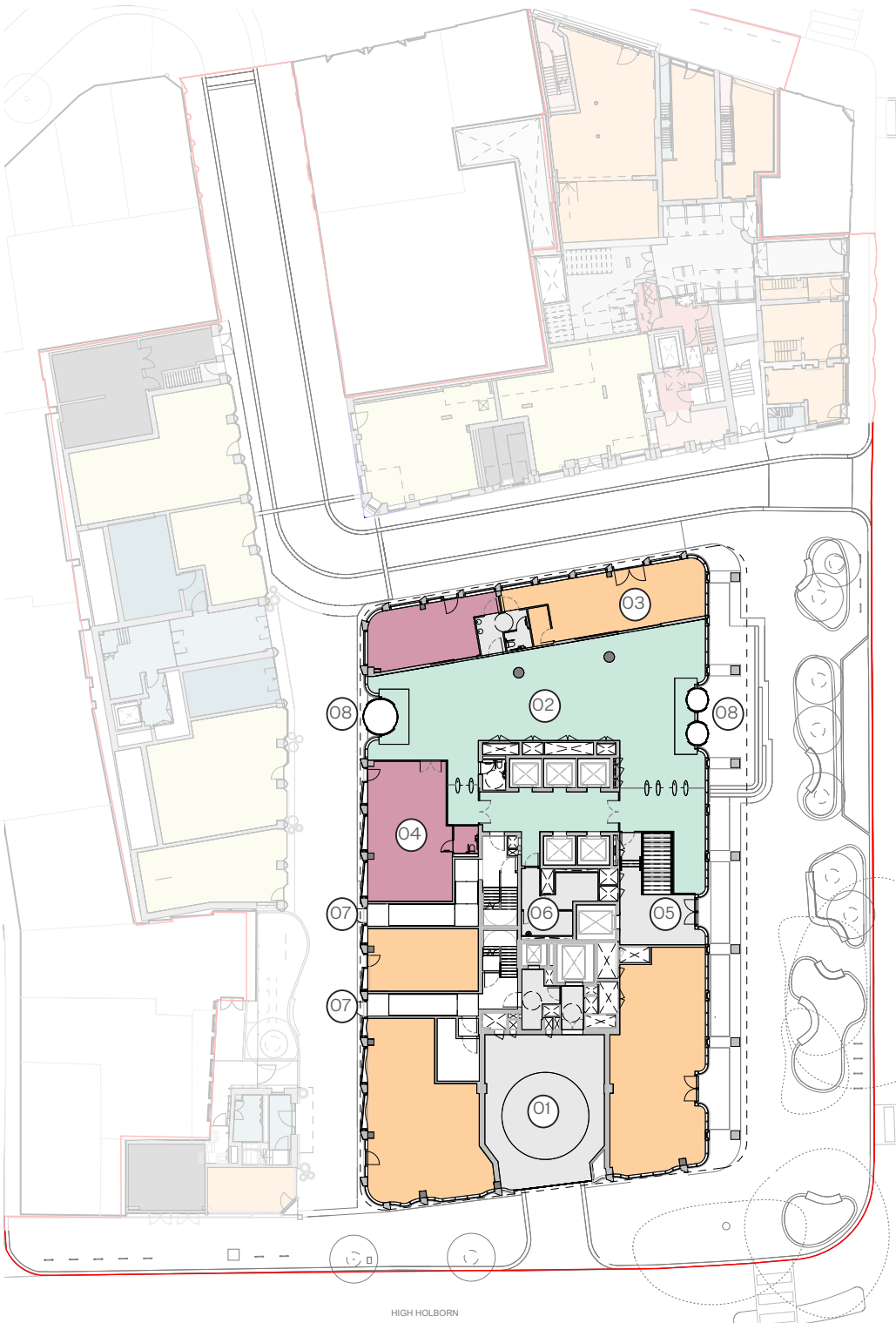
2.0 - Ground Floor

Ground Floor Layout

2.1.1 - Approved vs Proposed Ground Floor Plan



Approved - Ground Floor Plan



Proposed - Ground Floor Plan

Key Changes

- 01. Vehicular lift replaced with a vehicle turn-table.
- 02. Reposition of the office lobby to the north.
- 03. Reposition of the north retail unit further east.
- 04. The flexible event space has been relocated to the west, on Vine Lane.
- 05. The office cycle entrance has been relocated centrally along the Museum Street colonnade - with direct access to basement cycle parking.
- 06. The core layout has been refined.
- 07. Both fire escape routes from the upper floors are repositioned to exit onto Vine Lane.
- 08. Office entrance locations have been adapted to align with revised plan arrangement.

KEY

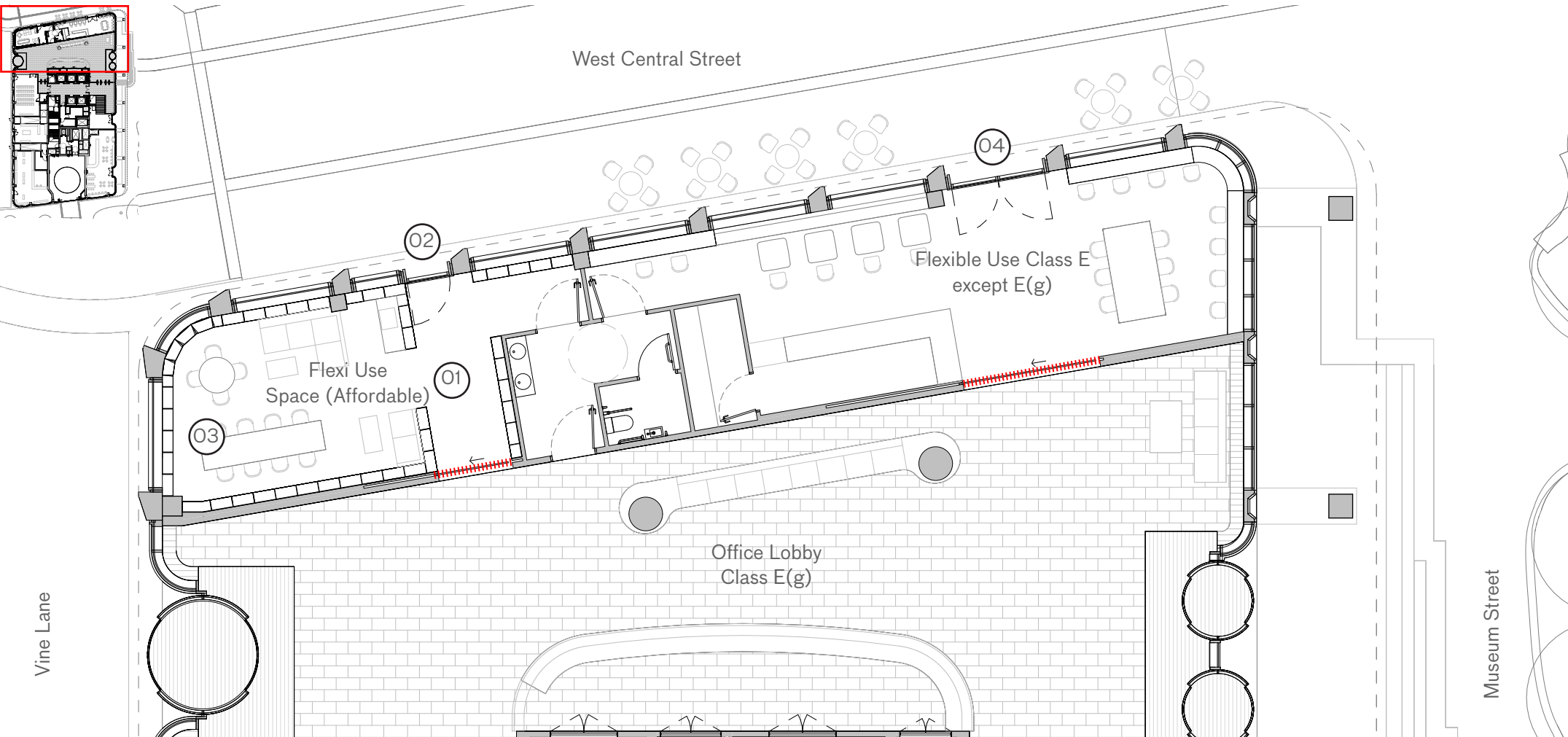
- Planning Boundary
- - Building Line Above
- Office Class E(g)
- Flexible Use Class E
- Flexible Class E except E(g)
- Flexible Class E except E(g) (Affordable)
- Social Rent Residential (C3)
- Intermediate Residential (C3)
- Market Residential (C3)
- Plant
- BOH
- Affordable Residential
- Market Residential



2.0 - Ground Floor

Ground Floor Layout

2.1.2 - Proposed Ground Floor Plan (Flexible Use spaces on West Central Street)



Key Changes

01. A Flexible Use space is located at the northwest corner of the ground floor, accessible to the community on the same terms as the adjacent Flexible Event space on Vine Lane as part of the affordable workspace offer.
- Available free of charge for a % of time during working hours, and additionally at weekends to qualifying occupants, bookable in advance.
  - The space will also be bookable and used by tenants of the building.
  - The space will offer a more intimate, calmer area for activities such as: homework clubs, study sessions, small local community meetings, and non-commercial educational activities and lessons.
02. This space can be accessed through a separate entrance off West Central Street or through the main office lobby via a pocket sliding door. The space has access to WC provision, along with drinking water at a coffee/tea point.
03. A calm library / lounge space designed to feature cosy, flexible furniture and seating suitable for small meetings, and quiet corners for reading or working.
04. A cafe space which activates the northeast corner of the ground floor, accessible to both the public and building tenants for a grab n' go coffee or informal meetings. A pocket sliding door provides direct access into the reception.

KEY - Lockable sliding door : - - - - -



Calm library / lounge



Homework club



Cosy, work-friendly, embellished space



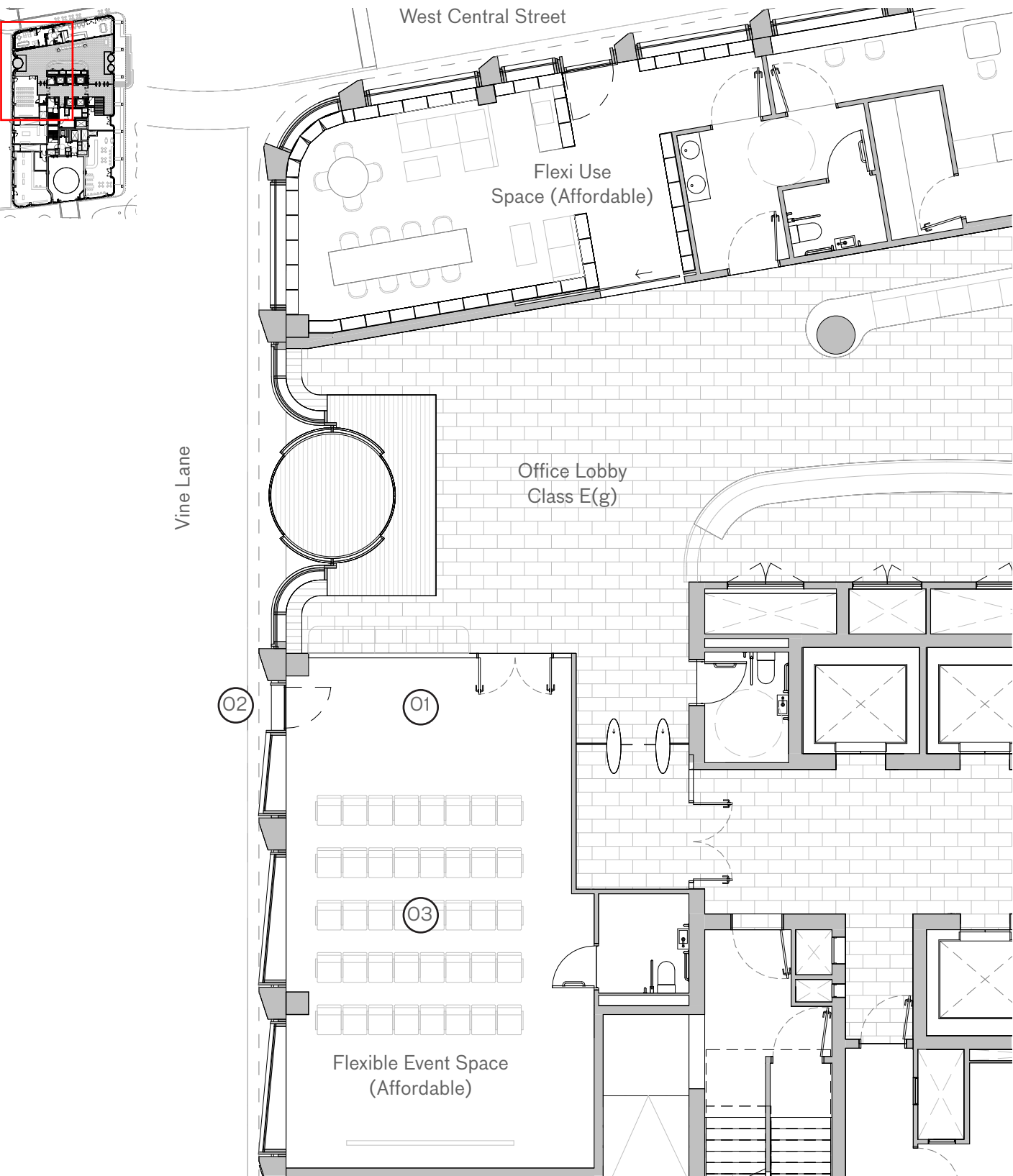
Cafe accessed off street / activating corner



## 2.0 - Ground Floor

### Ground Floor Layout

#### 2.1.2 - Proposed Ground Floor Plan (Flexible Event space on Vine Lane)



Product launch presentation space



Meeting space



Local makers market

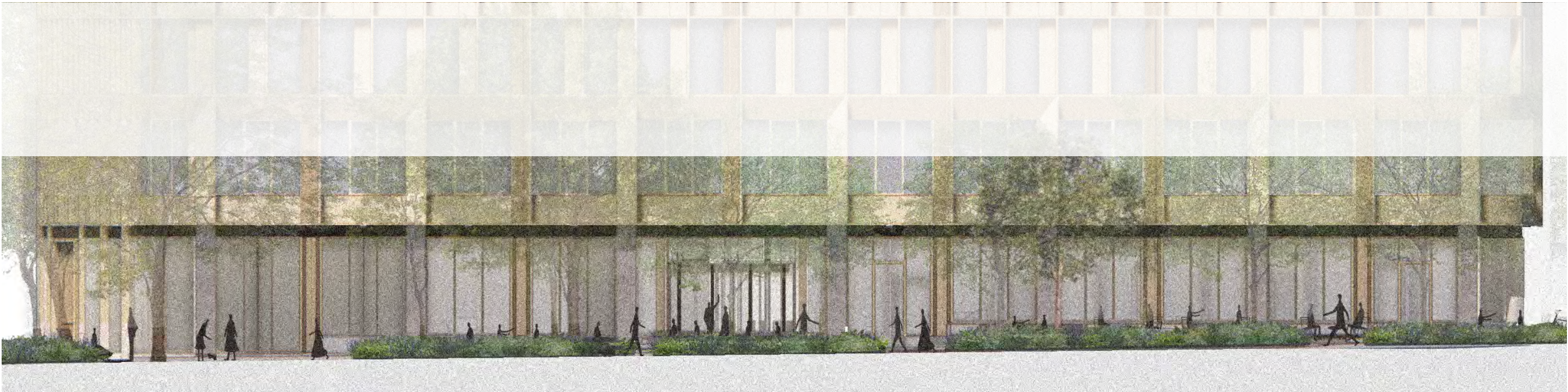
#### Key Changes

- O1. A Flexible Event space is located on Vine Lane, accessible to the community on the same terms as the adjacent Flexi Use space on West Central Street as part of the affordable workspace offer.
- Available free of charge for a % of time during working hours, and additionally at weekends to qualifying occupants, bookable in advance.
  - The space will also be bookable and used by tenants of the building.
  - An open multi-use event space that will animate Vine Lane with activities such as: local community meetings / workshops, maker craft markets, presentations, yoga club, and film screenings are all possible within the space.
- O2. The space can be accessed directly from the Vine Lane retail arcade, allowing for a variety of uses and ease of access to the public for both booked and drop in activities. The space is also directly accessible from the reception area. The sets of doors may be used in tandem or separately.
- O3. Overall the amendments result in a modest reduction in the amount of flexible use space (affordable workspace) however the changes introduce an additional space that will support a greater variety of users and uses.



Ground Floor Elevations

2.2.1 - Approved vs Proposed Ground Floor Elevation - Museum Street (East)



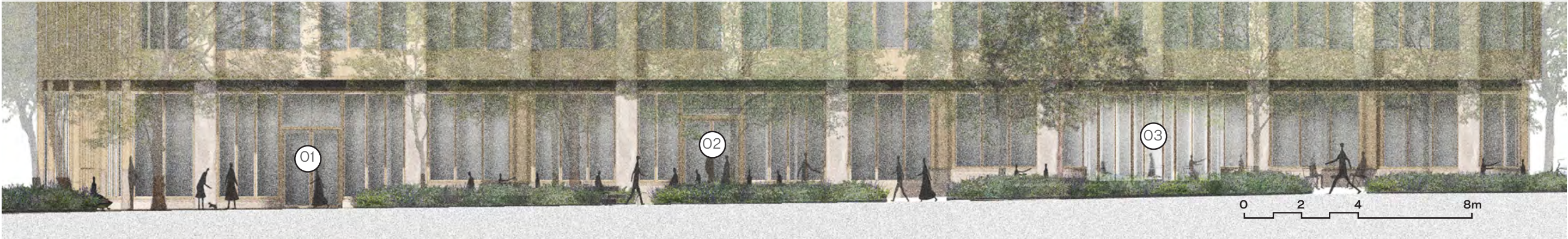
Approved - Museum Street Elevation

Key Changes

O1. Entrance door to south-east retail unit now sits along the Museum Street colonnade, the entrance further activates the colonnade, is protected from the elements, and with direct access to the generous public realm.

O2. The office cycle entrance now sits along the Museum Street colonnade providing direct access to the cycle storage and showers in the basement, significantly improving the end of trip experience.

O3. The Museum Street main lobby entrance has been moved two bays north - aligned east-west across the plan with the office entrance from Vine Lane.



Proposed - Museum Street Elevation



## 2.0 - Ground Floor

### Ground Floor Elevations

#### 2.2.2 - Approved vs Proposed Ground Floor Elevation - West Central Street (North)



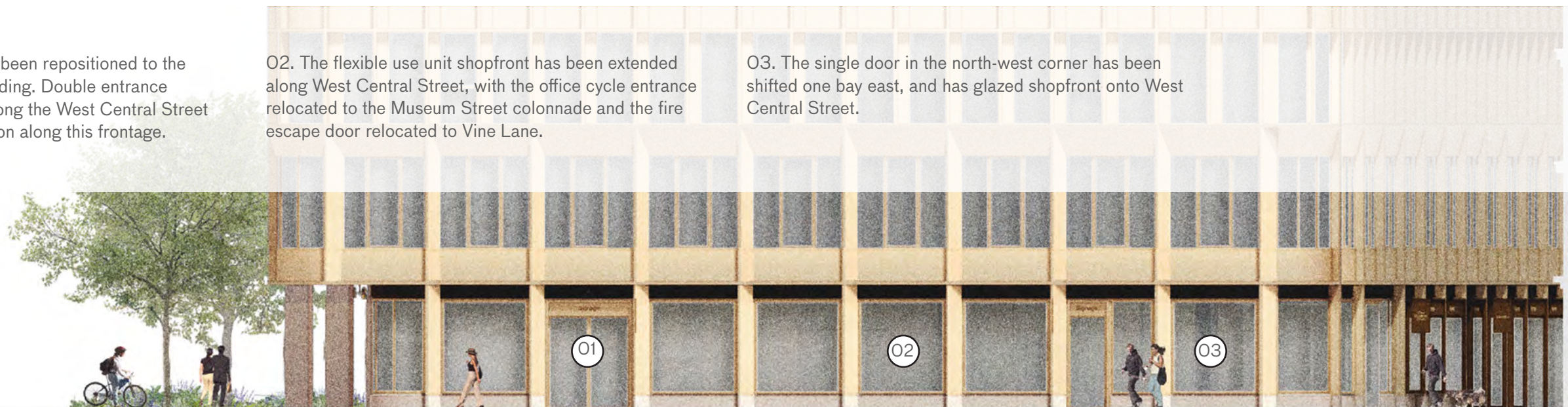
Approved - West Central Street Elevation

#### Key Changes

O1. The north retail unit has been repositioned to the north-east corner of the building. Double entrance doors now serve this unit along the West Central Street elevation increasing activation along this frontage.

O2. The flexible use unit shopfront has been extended along West Central Street, with the office cycle entrance relocated to the Museum Street colonnade and the fire escape door relocated to Vine Lane.

O3. The single door in the north-west corner has been shifted one bay east, and has glazed shopfront onto West Central Street.



0 2 4 8m

Proposed - West Central Street Elevation