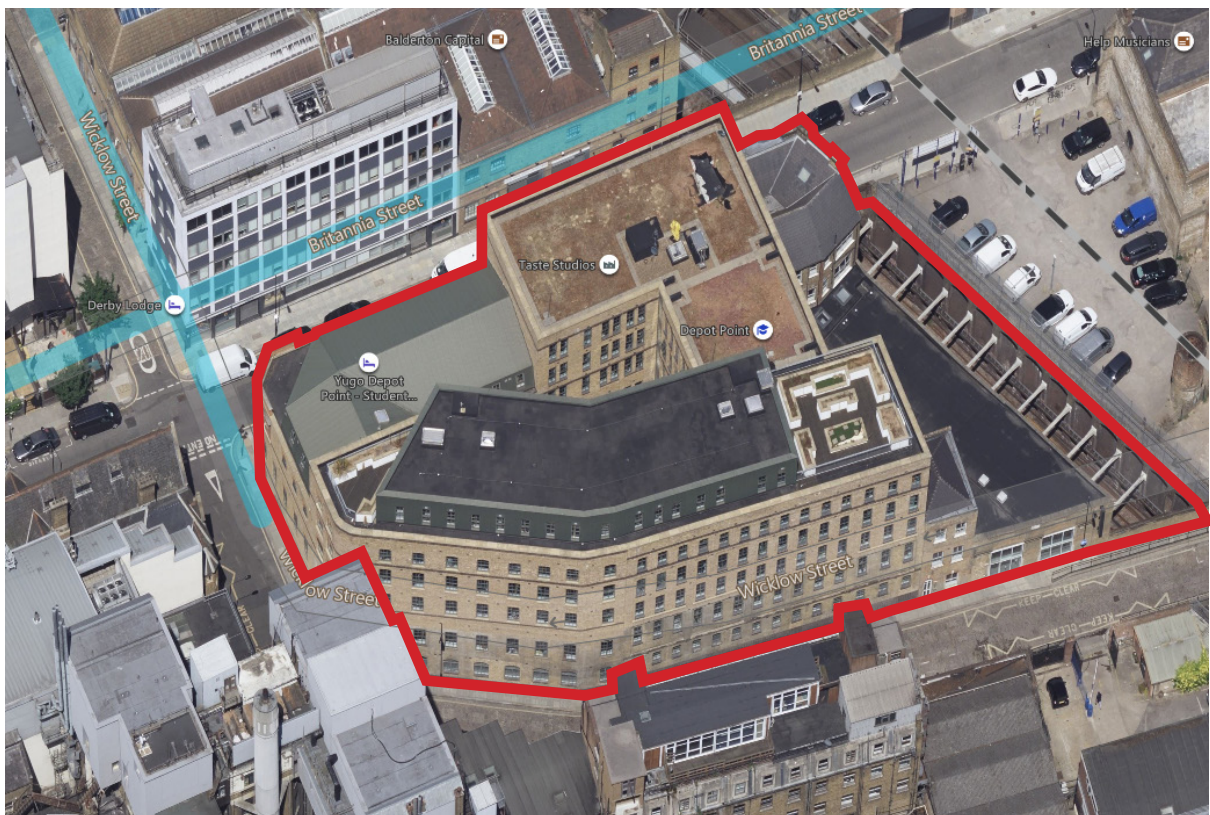


## Design & Access Statement - Internal Room Reconfiguration

Yugo Depot Point  
15-27 Britannia St,  
London  
WC1X 9AH







## 1. Introduction

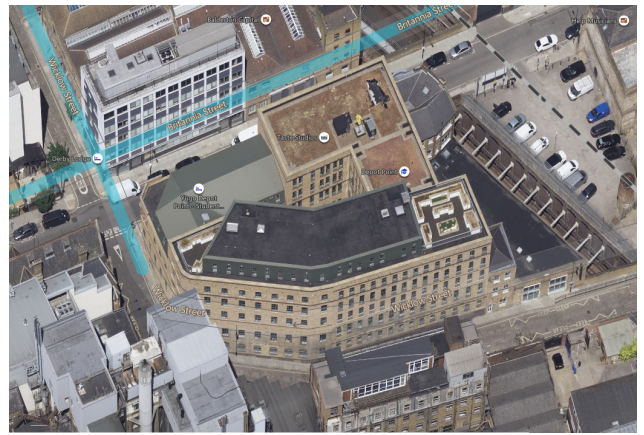
This Design and Access Statement has been prepared by Hadfield Cawkwell Davidson. It provides an overview of the proposed internal room reconfiguration of the existing student residence at Britannia Street.

The proposal seeks to add additional ensuite and studio spaces to help improve the current room provisions.

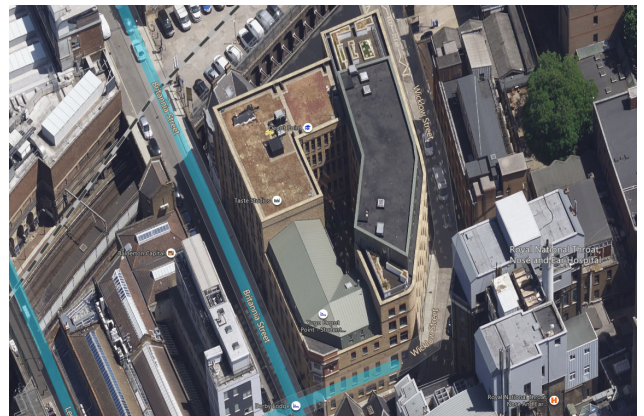
## 2. Application Overview

This document is to be read in conjunction with the application drawings, scheduled below

- A-01-001 Existing Ground Floor Plan
- A-01-002 Existing First Floor Plan
- A-01-003 Existing Second Floor Plan
- A-01-004 Existing Third Floor Plan
- A-01-005 Existing Fourth Floor Plan
- A-04-001 Proposed Ground Floor Plan
- A-04-002 Proposed First Floor Plan
- A-04-003 Proposed Second Floor Plan
- A-04-004 Proposed Third Floor Plan
- A-04-005 Proposed Fourth Floor Plan
- A-04-101 Original / Amended Amenity Space



**Photo 1** South Elevation



**Photo 2** West Elevation



**Photo 4** North Elevation



**Photo 3** East Elevation

### **3. Site & Surrounding Context**

#### **3.1 Location**

Depot Point is located within the London Borough of Camden, adjacent to both Britannia Street to the north and Wicklow Street to the south. To the east it is bounded by a London Underground line. The building sits within 0.4 miles of St. Pancras International and King's Cross Stations, which provide both UK and European rail connections, including the London Underground network. Beyond the railway line, there is a car park and residential apartments, forming part of the listed Peabody Housing block. To the northern side of Britannia Street there are offices, a hospice and an art gallery. At the junction between Wicklow Street and Britannia Street there is a mixed-use commercial and residential building named Pioneer House; a Grade II listed centre for Auditory Research and head offices for charities and voluntary organisations. The site sits within the Gray's Inn Road subsection of the King's Cross Conservation area.

#### **3.2 Access**

Access to the building is from the intersection of Britannia Street and Wicklow Street, to the north-west of the building.

#### **3.2 Existing building and site**

Depot Point is a 5 storey student residence with an internal courtyard. The building is primarily constructed with masonry and was built in 1900.

### **4. Design**

The proposal seeks to make minor changes to the internal room configuration by adding additional studios and ensuite bedrooms across levels 0-4 as shown on the plans within the document.

### **5. Planning**

A previous planning application 2023/1222/P, approved 11th October 2023, included proposed minor works and variation of Condition 15 of Planning Approval Ref 2012/3082/P to increase the amount of amenity space in the building. Now implemented, this increased amenity by 91.25% as highlighted on drawings (Fig. 12). All of the further configurations proposed as part of this application are wholly internal to within the building and will not require external works to facilitate the changes.

### **6. Additional Bed Spaces**

The additional studio and ensuite bed spaces have been created within the existing building footprint in a number of different ways -

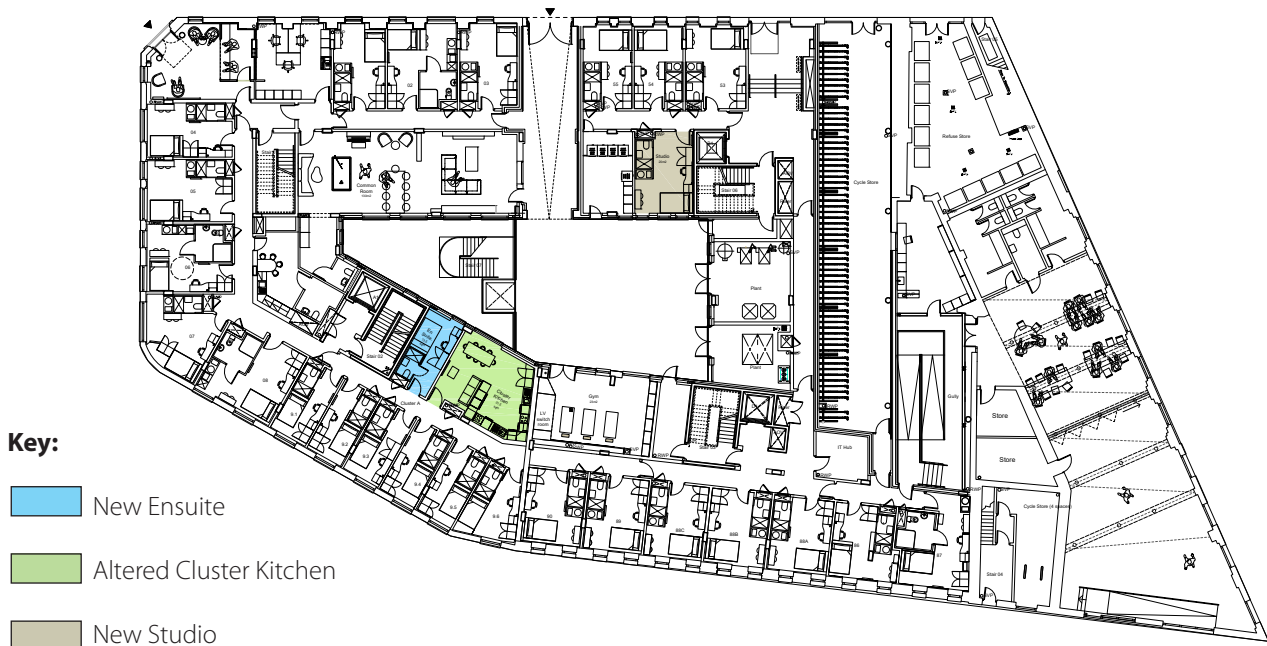
- Forming studio in existing store
- Utilising redundant space in overly large cluster kitchens whilst still maintaining Camden Councils space standards for HMO occupancy within student accommodation

#### **6.1 Room Schedule**

Please refer to the existing and proposed room schedule (Fig.13) which highlights the increased room capacity.



**Fig. 2** A-01-001 Existing Ground Floor Plan



**Fig. 3** A-04-001 Proposed Ground Floor Plan

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**Fig. 4** A-01-002 Existing First Floor Plan



**Fig. 5** A-04-002 Proposed First Floor Plan



**Fig. 6** A-01-003 Existing Second Floor Plan



**Fig. 7** A-04-003 Proposed Second Floor Plan

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**Fig. 8** A-01-004 Existing Third Floor Plan



**Key:**

- New Ensuite
- Altered Cluster Kitchen

**Fig. 9** A-04-004 Proposed Third Floor Plan





**Fig. 10** A-01-005 Existing Fourth Floor Plan



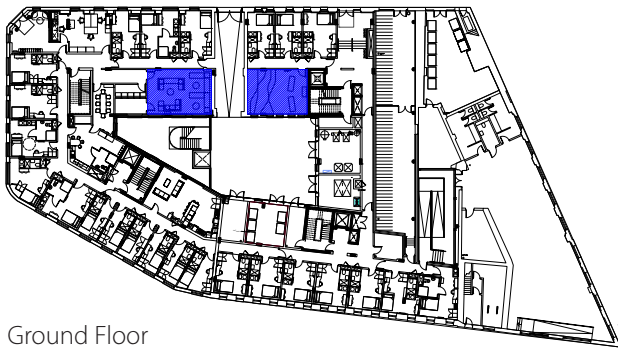
**Key:**

- New Ensuite
- Altered Cluster Kitchen

**Fig. 11** A-04-005 Proposed Fourth Floor Plan

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**Key:**

- Original Amenity Space
- Amended Amenity Space

**Fig. 12** A-04-101 Original / Amended Amenity Space



Existing		
Floor	Studio	Cluster Bed
G	18	6
1	12	35
2	12	37
3	11	37
4	7	30
5	N/A	N/A
<b>BEDS</b>	<b>60</b>	<b>145</b>

Proposed		
Floor	Studio	Cluster Bed
G	19	7
1	12	37
2	12	40
3	11	40
4	7	32
5	N/A	N/A
<b>BEDS</b>	<b>61</b>	<b>156</b>

**Fig. 13** Existing & Proposed Room Schedule

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Yugo Depot Point, May 2024

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