



**APPENDIX C – EXISTING INFORMATION**  
**(TOPOGRAPHICAL & BURIED SERVICES SURVEYS)**

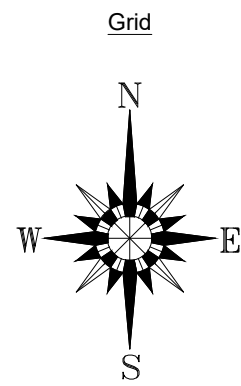
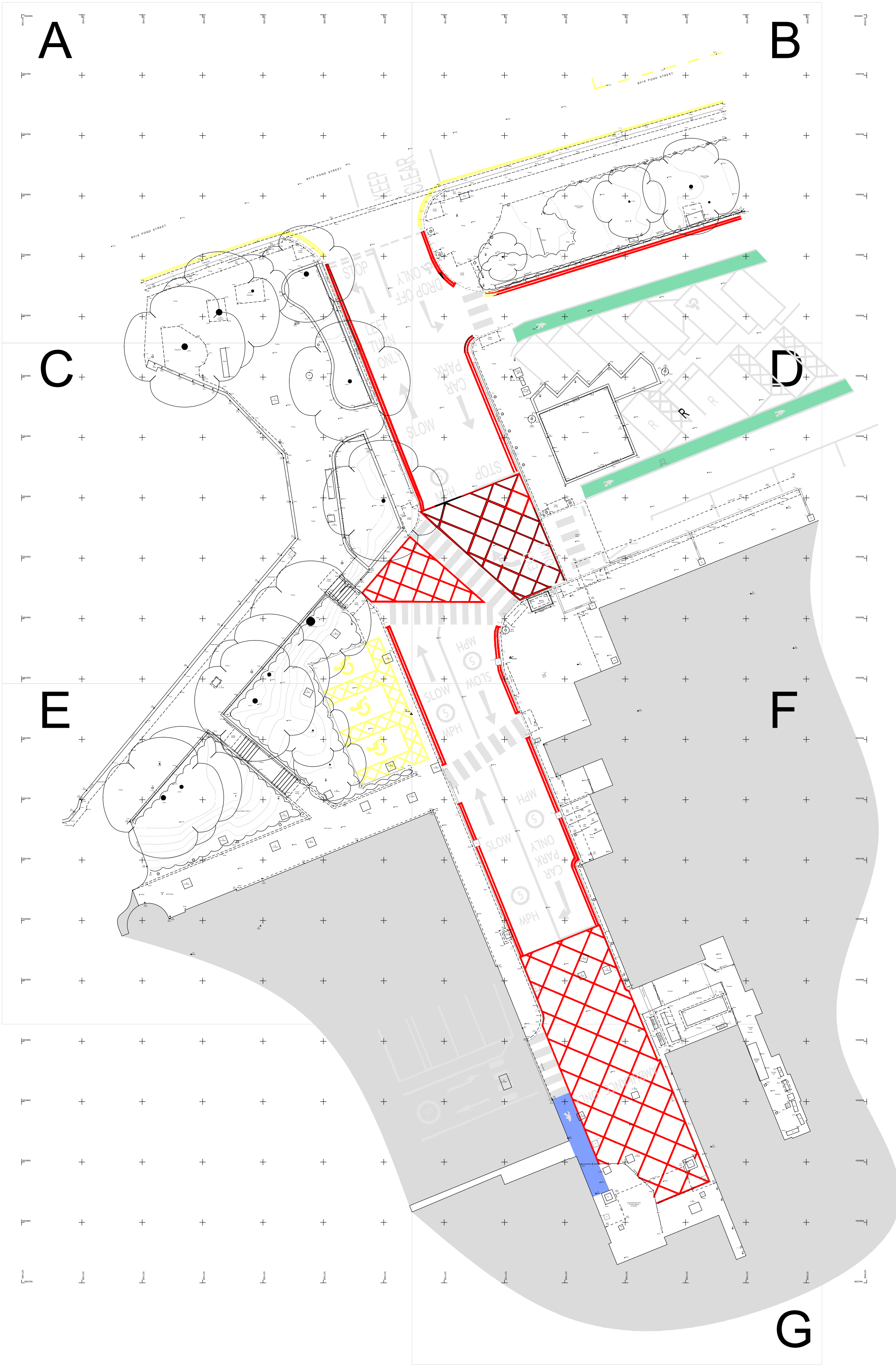
Maltby Land Survey – Topographical Survey (2024)

Drawing No. 24/190/100/A – Topographic Survey

Subsight Surveys – Underground Services Survey (2013)

Drawing No. 46178-1 Location of Underground Services and Drains





SURVEY STATIONS - COORDINATE SCHEDULE			
Station	Easting	Northing	Level
S1	527175.591	185450.030	68.721
S2	527167.286	185422.104	68.620
S3	527175.495	185426.770	68.649

Survey station S2 has a direct relationship to the Ordnance Survey active network. All other stations have been descaled about this point. The scale factor for these quoted stations is 1. This is effectively a local coordinate system with a good connection to the OS to facilitate overlaying of further OS digital data. Please contact Maltby Surveys if further clarification is required.

LEGEND			
BANKING		WALL	
BUSHES & HEDGES		BUILDING	
TREES		OPEN SIDED BUILDING	
MT / ST / 0.2 / 6		GLASS ROOFED	
NOTE:- SPREADS AND HEIGHTS ARE INDICATIVE ONLY			
GATES		CONTOURS	
ABBREVIATIONS (WHERE APPLICABLE)			
ARCH HEAD HEIGHT	AHH	MARKER	MKR
ARCH HEAD LEVEL	AHL	MONITORING WELL	MW
ARCH SPRINGER HEIGHT	ASH	NOTICE BOARD	NB
ARCH SPRINGER LEVEL	ASL	NAME PLATE	NP
AIR VALVE	AV	OVERHEAD WIRES	OHW
BED LEVEL	BL	PARKING METER	PM
BELISHA BEACON	BB	RIDGE LEVEL	RL
BOLLARD	B	ROAD SIGN	RS
BRITISH TELECOM BOX	BTB	RODDING EYE	RE
BRITISH TELECOM MANHOLE	BTMH	RETAINING WALL	RTW
BRICKWORK	BKWK	RAIN WATER PIPE	RWP
BUS STOP	BS	SLUICE VALVE	SV
CABLE TV	CATV	STOP COCK	SC
COVER LEVEL	CL	SOFFIT LEVEL	SOF
CABLE MARKER	CM	STRUCTURAL SLAB LEVEL	SSL
COLUMN	Co	TREE STUMP	ST
CONCRETE POST	CP	SOIL AND VENT PIPE	SVP
EAVES LEVEL	EAV	THRESHOLD LEVEL	THL
ELECTRICAL COVER	ELEC	TELEGRAPH POLE	TP
ELECTRICITY CONTROL BOX	ECB	TELEPHONE CALL BOX	TCB
ELECTRICITY POLE	EP	TOP OF KERB	TK
EARTH ROD	ER	TURNSTILE	TS
FLOWER BED	FB	TRAFFIC LIGHT	TL
FINISHED FLOOR LEVEL	FFL	TOP OF WALL	TW
FIRE HYDRANT	FH	UNABLE TO LIFT	UTL
FLOOR LEVEL	FL	UNABLE TO SURVEY	UTS
FLAG STAFF	FS	VENT PIPE	VP
GAS PIPE	GP	WATER METER	WM
GAS VALVE	GV	WATER LEVEL	WL
GULLY	G	WASH OUT	WO
GATE STOP	GS	WASTE PIPE	WP
INSPECTION COVER	IC	WATER TANK	WT
INVERT LEVEL	IL	WATER VALVE	WV
LAMP POST	LP		
FENCES			
BARBED WIRE FENCE	BWF	LARCH LAP FENCE	LLF
CORRUGATED IRON FENCE	CIF	METAL RAILING FENCE	MRF
CLOSE BOARD FENCE	CBF	POST AND CHAIN FENCE	PCF
CHAIN LINK FENCE	CLF	PICKET FENCE	PIF
CHESTNUT PALING FENCE	CPF	POST AND RAIL FENCE	PRF
FENCE POST	FPO	POST AND WIRE FENCE	PWF
INTERWOVEN FENCE	IWF	STEEL PALISADE SECURITY FENCE	SPSF
IRON RAILING FENCE	IRF	TUBULAR STEEL RAIL FENCE	TSRF

REV.	NOTES	DWN	DATE
A	PRELIMINARY		

Notes:  
Grid and levels relate to OS GPS Active Network.  
Sheet is North orientated unless stated.

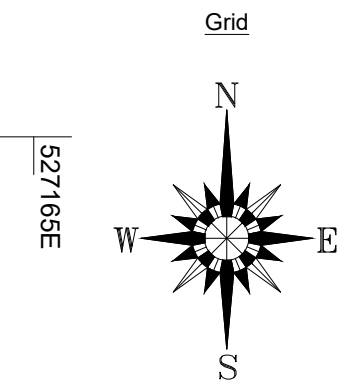
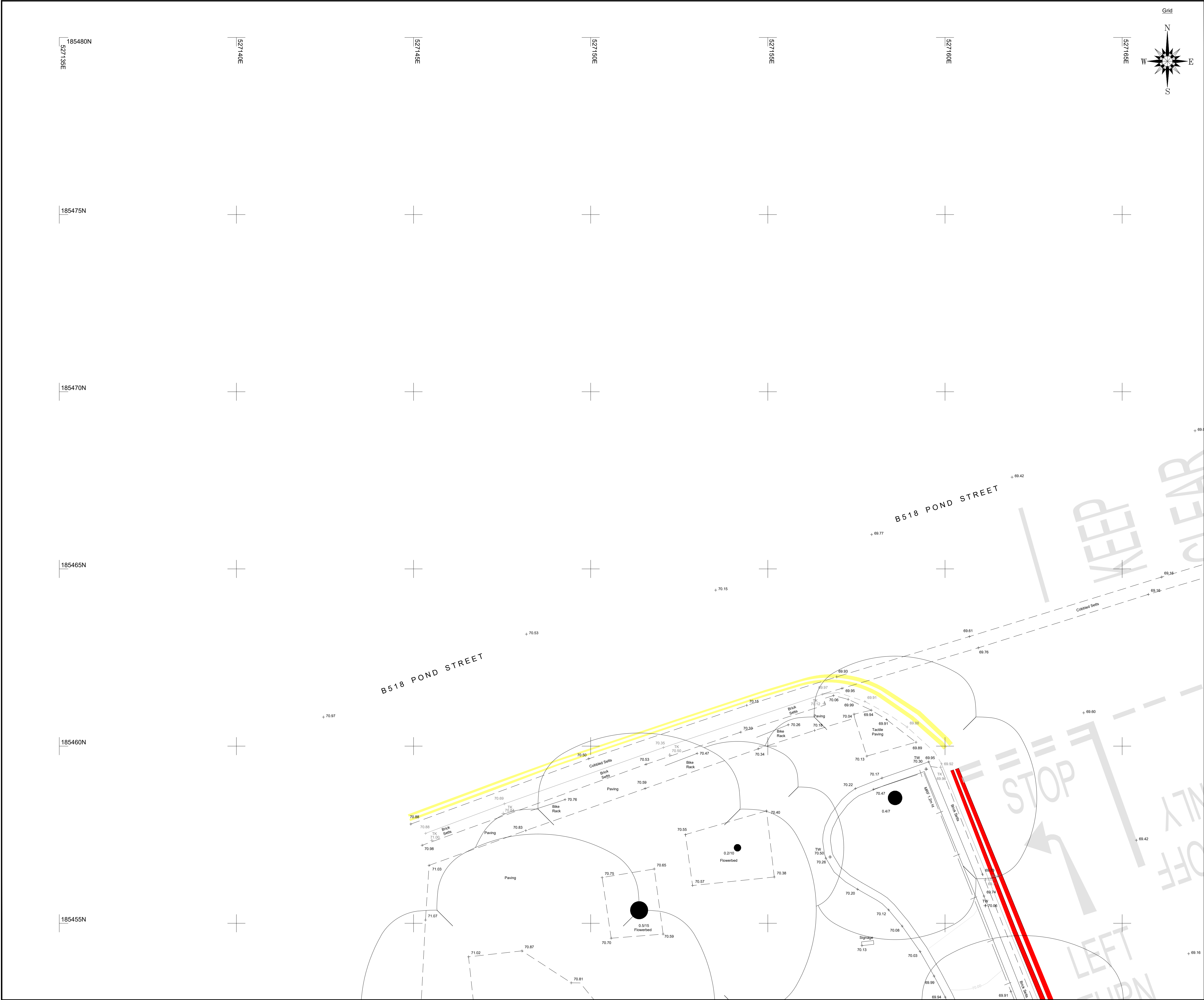
**Maltby Surveys Ltd**

2 QUEENS ROAD  
HAYWARDS HEATH  
WEST SUSSEX  
RH16 1EB  
Tel: 01444 416246  
E-Mail: mis@maltbysurveys.com  
WebSite: www.maltbysurveys.com

SURVEYED	GI	CLIENT
DRAWN	GI	Wareham & Associates
CHECKED	AKM	SCALE
		1/250 (A1 Sheet)

Hybrid Theatres Royal Free Hospital NW3 2QG

TOPOGRAPHICAL SURVEY		
Job No	Rev	Drawing Number
24/190	-	24/190/100/Overview
Date :	Aug 2024	



SURVEY STATIONS - COORDINATE SCHEDULE			
Station	Easting	Northing	Level
S1	527175.591	185450.030	68.721
S2	527167.286	185422.104	68.620
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**LEGEND**

BANKING

BUSHES & HEDGES

TREES

GATES

Top

Bottom

MT / 3T / 0.2 / 6

Single

Double

WALL

BUILDING

OPEN SIDED BUILDING

GLASS ROOFED

CONTOURS

Width shown to scale

25.00

NOTE:- SPREADS AND HEIGHTS ARE INDICATIVE ONLY

**ABBREVIATIONS (WHERE APPLICABLE)**

ARCH HEAD HEIGHT

ARCH HEAD LEVEL

ARCH SPRINGER HEIGHT

ARCH SPRINGER LEVEL

AIR VALVE

BED LEVEL

BELISHA BEACON

BOLLARD

BRITISH TELECOM BOX

BRITISH TELECOM MANHOLE

BRICKWORK

BUS STOP

CABLE TV

COVER LEVEL

CABLE MARKER

COLUMN

CONCRETE POST

EAVES LEVEL

ELECTRICAL COVER

ELECTRICITY CONTROL BOX

ELECTRICITY POLE

EARTH ROD

FLOWER BED

FINISHED FLOOR LEVEL

FIRE HYDRANT

FLOOR LEVEL

FLAG STAFF

GAS PIPE

GAS VALVE

GULLY

GATE STOP

INSPECTION COVER

INVERT LEVEL

LAMP POST

AHH

AHL

ASH

ASL

AV

BL

BB

B

BTB

BTMH

BKWK

BS

CATV

CL

CM

Cd

CP

EAV

ELEC

ECB

EP

ER

FB

FFL

FH

FL

FS

GP

GV

G

GS

IC

IL

LP

MARKER

MONITORING WELL

NOTICE BOARD

NAME PLATE

OVERHEAD WIRES

PARKING METER

RIDGE LEVEL

ROOF LEVEL

ROAD SIGN

RODDING EYE

RETAINING WALL

RAIN WATER PIPE

SLUICE VALVE

STOP COCK

SOFFIT LEVEL

STRUCTURAL SLAB LEVEL

TREE STUMP

SOIL AND VENT PIPE

THRESHOLD LEVEL

TELEGRAPH POLE

TELEPHONE CALL BOX

TURNSTILE

TRAFFIC LIGHT

TOP OF WALL

UNABLE TO LIFT

UNABLE TO SURVEY

VENT PIPE

WATER METER

WATER LEVEL

WASH OUT

WASTE PIPE

WATER TANK

WATER VALVE

MKR

MW

NB

NP

QHW

PM

RL

RS

RE

RTW

RWP

SV

SC

SOF

SSL

ST

SUP

THL

TP

TCB

TK

TS

TL

TW

UTL

UTS

VP

WM

WL

WO

WP

WT

WV

**FENCES**

BARBED WIRE FENCE

CORRUGATED IRON FENCE

CLOSE BOARD FENCE

CHAIN LINK FENCE

CHESTNUT PALING FENCE

FENCE POST

INTERWOVEN FENCE

IRON RAILING FENCE

BWF

CIF

CBF

CLF

CPF

FPO

IWF

IRF

LARCH LAP FENCE

METAL RAILING FENCE

POST AND CHAIN FENCE

PICKET FENCE

POST AND RAIL FENCE

POST AND WIRE FENCE

STEEL PALISADE SECURITY FENCE

TUBULAR STEEL RAIL FENCE

LLF

MRF

PCF

PIF

PRF

PWF

SPSF

TSRF

REV.

NOTES

DWN

DATE

PRELIMINARY

QMS

ISO 9001

REGISTERED

THE SURVEY ASSOCIATION

QMS

ISO 14001

REGISTERED

Notes:

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DRAWN	GI	Wareham & Associates
CHECKED	AKM	SCALE
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Hybrid Theatres Royal Free Hospital NW3 2QG

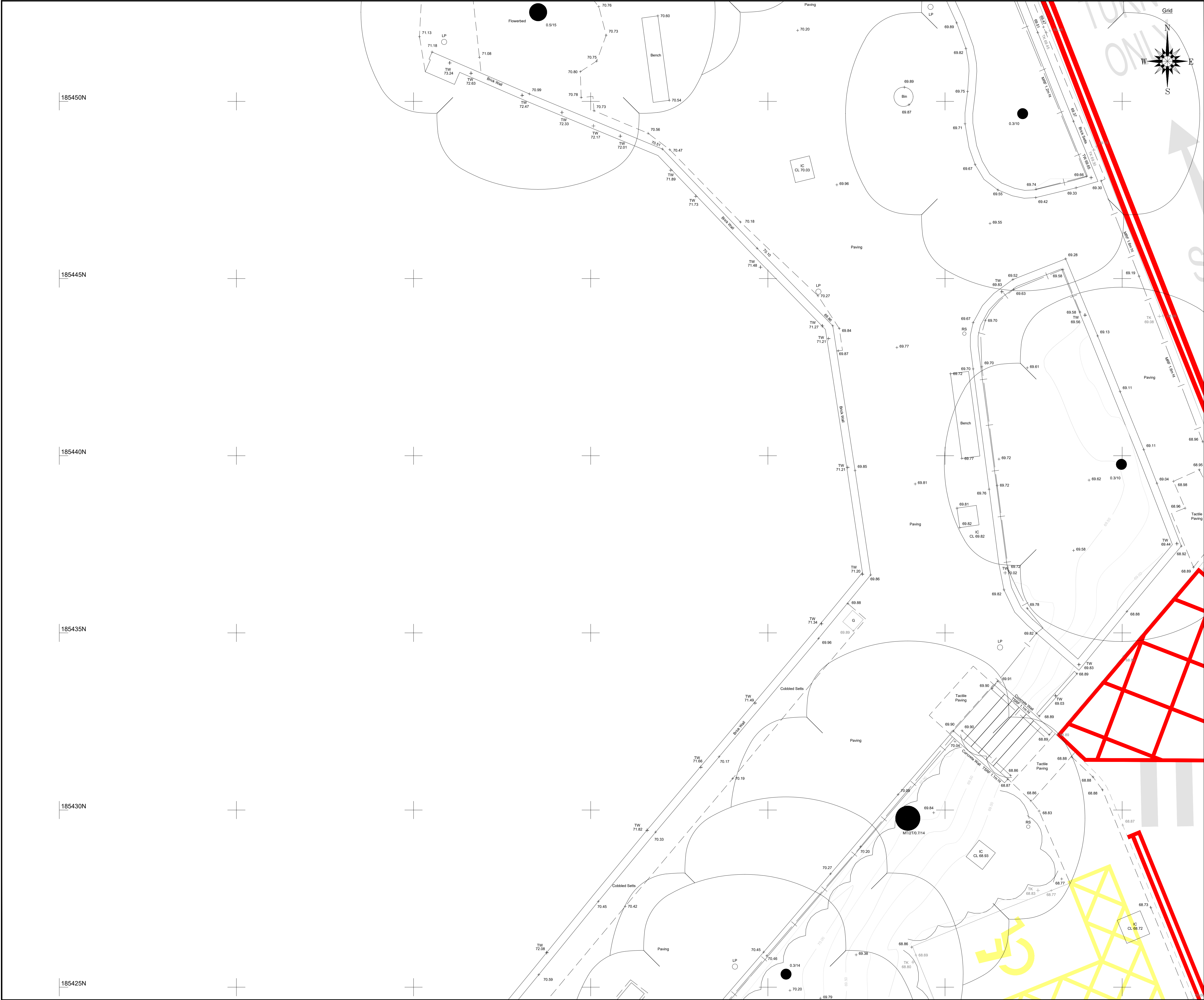
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Date :	Aug 2024	









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**LEGEND**  
BANKING  
BUSHES & HEDGES  
TREES  
GATES  
ABBREVIATIONS (WHERE APPLICABLE)  
ARCH HEAD HEIGHT  
ARCH HEAD LEVEL  
ARCH SPRINGER HEIGHT  
ARCH SPRINGER LEVEL  
AIR VALVE  
BED LEVEL  
BELISHA BEACON  
BOLLARD  
BRITISH TELECOM BOX  
BRITISH TELECOM MANHOLE  
BRICKWORK  
BUS STOP  
CABLE TV  
COVER LEVEL  
CABLE MARKER  
COLUMN  
CONCRETE POST  
EAVES LEVEL  
ELECTRICAL COVER  
ELECTRICITY CONTROL BOX  
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EARTH ROD  
FLOWER BED  
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FIRE HYDRANT  
FLOOR LEVEL  
FLAG STAFF  
GAS PIPE  
GAS VALVE  
GULLY  
GATE STOP  
INSPECTION COVER  
INVERT LEVEL  
LAMP POST  
MARKER  
MONITORING WELL  
NOTICE BOARD  
NAME PLATE  
OVERHEAD WIRES  
PARKING METER  
RIDGE LEVEL  
ROOF LEVEL  
ROAD SIGN  
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SOFFIT LEVEL  
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TREE STUMP  
SOIL AND VENT PIPE  
THRESHOLD LEVEL  
TELEGRAPH POLE  
TELEPHONE CALL BOX  
TOP OF KERB  
TURNSTILE  
TRAFFIC LIGHT  
TOP OF WALL  
UNABLE TO LIFT  
UNABLE TO SURVEY  
VENT PIPE  
WATER METER  
WATER LEVEL  
WASH OUT  
WASTE PIPE  
WATER TANK  
WATER VALVE  
LARCH LAP FENCE  
METAL RAILING FENCE  
POST AND CHAIN FENCE  
PICKET FENCE  
POST AND RAIL FENCE  
POST AND WIRE FENCE  
STEEL PALISADE SECURITY FENCE  
TUBULAR STEEL RAIL FENCE

Top  
Bottom

Width down to scale  
0.25m

MT / ST / 0.2 / 6  
Height  
0.2m

Single  
Double

25.00

WALL  
BUILDING  
OPEN SIDED BUILDING  
GLASS ROOFED  
CONTOURS

REV.

NOTES

DWN

DATE

PRELIMINARY

QMS  
ISO 9001  
REGISTERED

A MEMBER OF  
THE SURVEY  
ASSOCIATION

QMS  
ISO 14001  
REGISTERED

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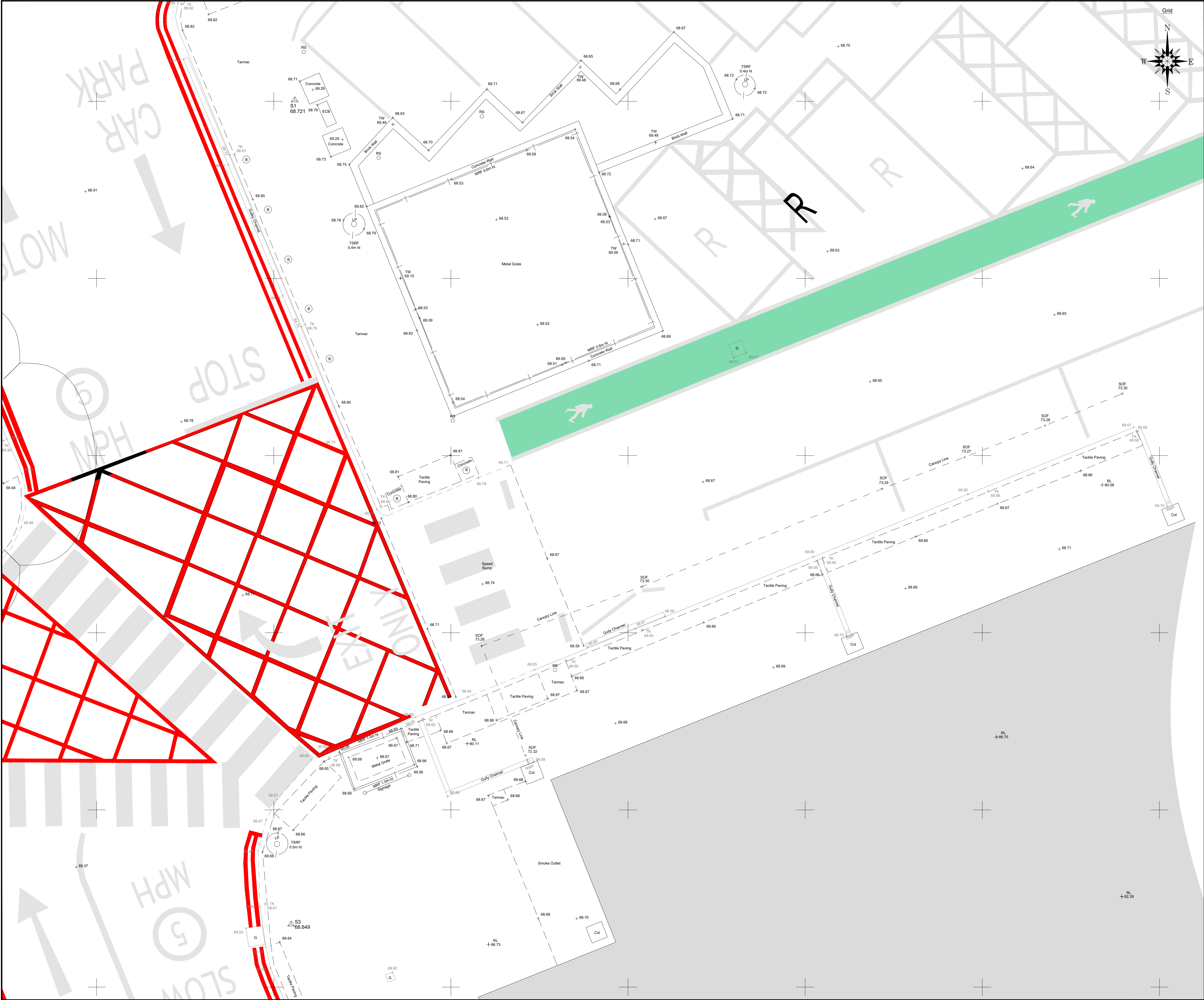
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LEGEND	
BANKING	Top Bottom
BUSHES & HEDGES	
TREES	MT / ST / 0.2 / 6 Maltby Tree 0.2m 6m 12m 18m 24m 30m 36m 42m 48m 54m 60m 66m 72m 78m 84m 90m 96m 102m 108m 114m 120m 126m 132m 138m 144m 150m 156m 162m 168m 174m 180m 186m 192m 198m 204m 210m 216m 222m 228m 234m 240m 246m 252m 258m 264m 270m 276m 282m 288m 294m 300m 306m 312m 318m 324m 330m 336m 342m 348m 354m 360m 366m 372m 378m 384m 390m 396m 402m 408m 414m 420m 426m 432m 438m 444m 450m 456m 462m 468m 474m 480m 486m 492m 498m 504m 510m 516m 522m 528m 534m 540m 546m 552m 558m 564m 570m 576m 582m 588m 594m 600m 606m 612m 618m 624m 630m 636m 642m 648m 654m 660m 666m 672m 678m 684m 690m 696m 702m 708m 714m 720m 726m 732m 738m 744m 750m 756m 762m 768m 774m 780m 786m 792m 798m 804m 810m 816m 822m 828m 834m 840m 846m 852m 858m 864m 870m 876m 882m 888m 894m 900m 906m 912m 918m 924m 930m 936m 942m 948m 954m 960m 966m 972m 978m 984m 990m 996m 1002m 1008m 1014m 1020m 1026m 1032m 1038m 1044m 1050m 1056m 1062m 1068m 1074m 1080m 1086m 1092m 1098m 1104m 1110m 1116m 1122m 1128m 1134m 1140m 1146m 1152m 1158m 1164m 1170m 1176m 1182m 1188m 1194m 1200m 1206m 1212m 1218m 1224m 1230m 1236m 1242m 1248m 1254m 1260m 1266m 1272m 1278m 1284m 1290m 1296m 1302m 1308m 1314m 1320m 1326m 1332m 1338m 1344m 1350m 1356m 1362m 1368m 1374m 1380m 1386m 1392m 1398m 1404m 1410m 1416m 1422m 1428m 1434m 1440m 1446m 1452m 1458m 1464m 1470m 1476m 1482m 1488m 1494m 1500m 1506m 1512m 1518m 1524m 1530m 1536m 1542m 1548m 1554m 1560m 1566m 1572m 1578m 1584m 1590m 1596m 1602m 1608m 1614m 1620m 1626m 1632m 1638m 1644m 1650m 1656m 1662m 1668m 1674m 1680m 1686m 1692m 1698m 1704m 1710m 1716m 1722m 1728m 1734m 1740m 1746m 1752m 1758m 1764m 1770m 1776m 1782m 1788m 1794m 1800m 1806m 1812m 1818m 1824m 1830m 1836m 1842m 1848m 1854m 1860m 1866m 1872m 1878m 1884m 1890m 1896m 1902m 1908m 1914m 1920m 1926m 1932m 1938m 1944m 1950m 1956m 1962m 1968m 1974m 1980m 1986m 1992m 1998m 2004m 2010m 2016m 2022m 2028m 2034m 2040m 2046m 2052m 2058m 2064m 2070m 2076m 2082m 2088m 2094m 2100m 2106m 2112m 2118m 2124m 2130m 2136m 2142m 2148m 2154m 2160m 2166m 2172m 2178m 2184m 2190m 2196m 2202m 2208m 2214m 2220m 2226m 2232m 2238m 2244m 2250m 2256m 2262m 2268m 2274m 2280m 2286m 2292m 2298m 2304m 2310m 2316m 2322m 2328m 2334m 2340m 2346m 2352m 2358m 2364m 2370m 2376m 2382m 2388m 2394m 2400m 2406m 2412m 2418m 2424m 2430m 2436m 2442m 2448m 2454m 2460m 2466m 2472m 2478m 2484m 2490m 2496m 2502m 2508m 2514m 2520m 2526m 2532m 2538m 2544m 2550m 2556m 2562m 2568m 2574m 2580m 2586m 2592m 2598m 2604m 2610m 2616m 2622m 2628m 2634m 2640m 2646m 2652m 2658m 2664m 2670m 2676m 2682m 2688m 2694m 2700m 2706m 2712m 2718m 2724m 2730m 2736m 2742m 2748m 2754m 2760m 2766m 2772m 2778m 2784m 2790m 2796m 2802m 2808m 2814m 2820m 2826m 2832m 2838m 2844m 2850m 2856m 2862m 2868m 2874m 2880m 2886m 2892m 2898m 2904m 2910m 2916m 2922m 2928m 2934m 2940m 2946m 2952m 2958m 2964m 2970m 2976m 2982m 2988m 2994m 3000m 3006m 3012m 3018m 3024m 3030m 3036m 3042m 3048m 3054m 3060m 3066m 3072m 3078m 3084m 3090m 3096m 3102m 3108m 3114m 3120m 3126m 3132m 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4134m 4140m 4146m 4152m 4158m 4164m 4170m 4176m 4182m 4188m 4194m 4200m 4206m 4212m 4218m 4224m 4230m 4236m 4242m 4248m 4254m 4260m 4266m 4272m 4278m 4284m 4290m 4296m 4302m 4308m 4314m 4320m 4326m 4332m 4338m 4344m 4350m 4356m 4362m 4368m 4374m 4380m 4386m 4392m 4398m 4404m 4410m 4416m 4422m 4428m 4434m 4440m 4446m 4452m 4458m 4464m 4470m 4476m 4482m 4488m 4494m 4500m 4506m 4512m 4518m 4524m 4530m 4536m 4542m 4548m 4554m 4560m 4566m 4572m 4578m 4584m 4590m 4596m 4602m 4608m 4614m 4620m 4626m 4632m 4638m 4644m 4650m 4656m 4662m 4668m 4674m 4680m 4686m 4692m 4698m 4704m 4710m 4716m 4722m 4728m 4734m 4740m 4746m 4752m 4758m 4764m 4770m 4776m 4782m 4788m 4794m 4800m 4806m 4812m 4818m 4824m 4830m 4836m 4842m 4848m 4854m 4860m 4866m 4872m 4878m 4884m 4890m 4896m 4902m 4908m 4914m 4920m 4926m 4932m 4938m 4944m 4950m 4956m 4962m 4968m 4974m 4980m 4986m 4992m 4998m 5004m 5010m 5016m 5022m 5028m 5034m 5040m 5046m 5052m 5058m 5064m 5070m 5076m 5082m 5088m 5094m 5100m 5106m 5112m 5118m 5124m 5130m 5136m 5142m 5148m 5154m 5160m 5166m 5172m 5178m 5184m 5190m 5196m 5202m 5208m 5214m 5220m 5226m 5232m 5238m 5244m 5250m 5256m 5262m 5268m 5274m 5280m 5286m 5292m 5298m 5304m 5310m 5316m 5322m 5328m 5334m 5340m 5346m 5352m 5358m 5364m 5370m 5376m 5382m 5388m 5394m 5400m 5406m 5412m 5418m 5424m 5430m 5436m 5442m 5448m 5454m 5460m 5466m 5472m 5478m 5484m 5490m 5496m 5502m 5508m 5514m 5520m 5526m 5532m 5538m 5544m 5550m 5556m 5562m 5568m 5574m 5580m 5586m 5592m 5598m 5604m 5610m 5616m 5622m 5628m 5634m 5640m 5646m 5652m 5658m 5664m 5670m 5676m 5682m 5688m 5694m 5700m 5706m 5712m 5718m 5724m 5730m 5736m 5742m 5748m 5754m 5760m 5766m 5772m 5778m 5784m 5790m 5796m 5802m 5808m 5814m 5820m 5826m 5832m 5838m 5844m 5850m 5856m 5862m 5868m 5874m 5880m 5886m 5892m 5898m 5904m 5910m 5916m 5922m 5928m 5934m 5940m 5946m 5952m 5958m 5964m 5970m 5976m 5982m 5988m 5994m 6000m 6006m 6012m 6018m 6024m 6030m 6036m 6042m 6048m 6054m 6060m 6066m 6072m 6078m 6084m 6090m 6096m 6102m 6108m 6114m 6120m 6126m 6132m 6138m 6144m 6150m 6156m 6162m 6168m 6174m 6180m 6186m 6192m 6198m 6204m 6210m 6216m 6222m 6228m 6234m 6240m 6246m 6252m 6258m 6264m 6270m 6276m 6282m 6288m 6294m 6300m 6306m 6312m 6318m 6324m 6330m 6336m 6342m 6348m 6354m 6360m 6366m 6372m 6378m 6384m 6390m 6396m 6402m 6408m 6414m 6420m 6426m 6432m 6438m 6444m 6450m 6456m 6462m 6468m 6474m 6480m 6486m 6492m 6498m 6504m 6510m 6516m 6522m 6528m 6534m 6540m 6546m 6552m 6558m 6564m 6570m 6576m 6582m 6588m 6594m 6600m 6606m 6612m 6618m 6624m 6630m 6636m 6642m 6648m 6654m 6660m 6666m 6672m 6678m 6684m 6690m 6696m 6702m 6708m 6714m 6720m 6726m 6732m 6738m 6744m 6750m 6756m 6762m 6768m 6774m 6780m 6786m 6792m 6798m 6804m 6810m 6816m 6822m 6828m 6834m 6840m 6846m 6852m 6858m 6864m 6870m 6876m 6882m 6888m 6894m 6900m 6906m 6912m 6918m 6924m 6930m 6936m 6942m 6948m 6954m 6960m 6966m 6972m 6978m 6984m 6990m 6996m 7002m 7008m 7014m 7020m 7026m 7032m 7038m 7044m 7050m 7056m 7062m 7068m 7074m 7080m 7086m 7092m 7098m 7104m 7110m 7116m 7122m 7128m 7134m 7140m 7146m 7152m 7158m 7164m 7170m 7176m 7182m 7188m 7194m 7200m 7206m 7212m 7218m 7224m 7230m 7236m 7242m 7248m 7254m 7260m 7266m 7272m 7278m 7284m 7290m 7296m 7302m 7308m 7314m 7320m 7326m 7332m 7338m 7344m 7350m 7356m 7362m 7368m 7374m 7380m 7386m 7392m 7398m 7404m 7410m 7416m 7422m 7428m 7434m 7440m 7446m 7452m 7458m 7464m 7470m 7476m 7482m 7488m 7494m 7500m 7506m 7512m 7518m 7524m 7530m 7536m 7542m 7548m 7554m 7560m 7566m 7572m 7578m 7584m 7590m 7596m 7602m 7608m 7614m 7620m 7626m 7632m 7638m 7644m 7650m 7656m 7662m 7668m 7674m 7680m 7686m 7692m 7698m 7704m 7710m 7716m 7722m 7728m 7734m 7740m 7746m 7752m 7758m 7764m 7770m 7776m 7782m 7788m 7794m 7800m 7806m 7812m 7818m 7824m 7830m 7836m 7842m 7848m 7854m 7860m 7866m 7872m 7878m 7884m 7890m 7896m 7902m 7908m 7914m 7920m 7926m 7932m 7938m 7944m 7950m 7956m 7962m 7968m 7974m 7980m 7986m 7992m 7998m 8004m 8010m 8016m 8022m 8028m 8034m 8040m 8046m 8052m 8058m 8064m 8070m 8076m 8082m 8088m 8094m 8100m 8106m 8112m 8118m 8124m 8130m 8136m 8142m 8148m 8154m 8160m 8166m 8172m 8178m 8184m 8190m 8196m 8202m 8208m 8214m 8220m 8226m 8232m 8238m 8244m 8250m 8256m 8262m 8268m 8274m 8280m 8286m 8292m 8298m 8304m 8310m 8316m 8322m 8328m 8334m 8340m 8346m 8352m 8358m 8364m 8370m 8376m 8382m 8388m 8394m 8400m 8406m 8412m 8418m 8424m 8430m 8436m 8442m 8448m 8454m 8460m 8466m 8472m 8478m 8484m 8490m 8496m 8502m 8508m 8514m 8520m 8526m 8532m 8538m 8544m 8550m 8556m 8562m 8568m 8574m 8580m 8586m 8592m 8598m 8604m 8610m 8616m 8622m 8628m 8634m 8640m 8646m 8652m 8658m 8664m 8670m 8676m 8682m 8688m 8694m 8700m 8706m 8712m 8718m 8724m 8730m 8736m 8742m 8748m 8754m 8760m 8766m 8772m 8778m 8784m 8790m 8796m 8802m 8808m 8814m 8820m 8826m 8832m 8838m 8844m 8850m 8856m 8862m 8868m 8874m 8880m 8886m 8892m 8898m 8904m 8910m 8916m 8922m 8928m 8934m 8940m 8946m 8952m 8958m 8964m 8970m 8976m 8982m 8988m 8994m 9000m 9006m 9012m 9018m 9024m 9030m 9036m 9042m 9048m 9054m 9060m 9066m 9072m 9078m 9084m 9090m 9096m 9102m 9108m 9114m 9120m 9126m 9132m 9138m 9144m 9150m 9156m 9162m 9168m 9174m 9180m 9186m 9192m 9198m 9204m 9210m 9216m 9222m 9228m 9234m 9240m 9246m 9252m 9258m 9264m 9270m 9276m 9282m 9288m 9294m 9300m 9306m 9312m 9318m 9324m 9330m 9336m 9342m 9348m 9354m 9360m 9366m 9372m 9378m 9384m 9390m 9396m 9402m 9408m 9414m 9420m 9426m 9432m 9438m 9444m 9450m 9456m 9462m 9468m 9474m 9480m 9486m 9492m 9498m 9504m 9510m 9516m 9522m 9528m 9534m 9540m 9546m 9552m 9558m 9564m 9570m 9576m 9582m 9588m 9594m 9600m 9606m 9612m 9618m 9624m 9630m 9636m 9642m 9648m 9654m 9660m 9666m 9672m 9678m 9684m 9690m 9696m 9702m 9708m 9714m 9720m 9726m 9732m 9738m 9744m 9750m 9756m 9762m 9768m 9774m 9780m 9786m 9792m 9798m 9804m 9810m 9816m 9822m 9828m 9834m 9840m 9846m 9852m 9858m 9864m 9870m 9876m 9882m 9888m 9894m 9900m 9906m 9912m 9918m 9924m 9930m 9936m 9942m 9948m 9954m 9960m 9966m 9972m 9978m 9984m 9990m 9996m 10002m 10008m 10014m 10020m 10026m 10032m 10038m 10044m 10050m 10056m 10062m 10068m 10074m 10080m 10086m 10092m 10098m 10104m 10110m 10116m 10122m 10128m 10134m 10140m 10146m 10152m 10158m 10164m 10170m 10176m 10182m 10188m 10194m 10200m 10206m 10212m 10218m 10224m 10230m 10236m 10242m 10248m 10254m 10260m 10266m 10272m 10278m 10284m 10290m 10296m 10302m 10308m 10314m 10320m 10326m 10332m 10338m 10344m 10350m 10356m 10362m 10368m 10374m 10380m 10386m 10392m 10398m 10404m 10410m 10416m 10422m 10428m 10434m 10440m 10446m 10452m 10458m 10464m 10470m 10476m 10482m 10488m 10494m 10500m 10506m 10512m 10518m 10524m 10530m 10536m 10542m 10548m 10554m 10560m 10566m 10572m 10578m 10584m 10590m 10596m 10602m 10608m 10614m 10620m 10626m 10632m 10638m 10644m 10650m 10656m 10662m 10668m 10674m 10680m 10686m 10692m 10698m 10704m 10710m 10716m 10722m 10728m 10734m 10740m 10746m 10752m 10758m 10764m 10770m 10776m 10782m 10788m 10794m 10800m 10806m 10812m 10818m 10824m 10830m 10836m 10842m 10848m 10854m 10860m 10866m 10872m 10878m 10884m 10890m 10896m 10902m 10908m 10914m 10920m 10926m 10932m 10938m 10944m 10950m 10956m 10962m 10968m 10974m 10980m 10986m 10992m 10998m 11004m 11010m 11016m 11022m 11028m 11034m 11040m 11046m 11052m 11058m 11064m 11070m 11076m 11082m 11088m 11094m 11100m 11106m 11112m 11118m 11124m 11130m 11136m 11142m 11148m 11154m 11160m 11166m 11172m 11178m 11184m 11190m 11196m 11202m 11208m 11214m 11220m 11226m 11232m 11238m 11244m 11250m 11256m 11262m 11268m 11274m 11280m 11286m 11292m 11298m 11304m 11310m 11316m 11322m 11328m 11334m 11340m 11346m 11352m 11358m 11364m 11370m 11376m 11382m 11388m 11394m 11400m 11406m 11412m 11418m 11424m 11430m 11436m 11442m 11448m 11454m 11460m 11466m 11472m 11478m 11484m 11490m 11496m 11502m 11508m 11514m 11520m 11526m 11532m 11538m 11544m 11550m 11556m 11562m 11568m 11574m 11580m 11586m 11592m 11598m 11604m 11610m 11616m 11622m 11628m 11634m 11640m 11646m 11652m 11658m 11664m 11670m 11676m 11682m





SURVEY STATIONS - COORDINATE SCHEDULE			
Station	Easting	Northing	Level
S1	527175.591	185450.030	68.721
S2	527167.286	185422.104	68.620
S3	527175.495	185426.770	68.649

Survey station S2 has a direct relationship to the Ordnance Survey active network. All other stations have been descaled about this point. The scale factor for these quoted stations is 1. This is effectively a local coordinate system with a good connection to the OS to facilitate overlaying of further OS digital data. Please contact Maltby Surveys if further clarification is required.

**LEGEND**  

BANKING

BUSHES & HEDGES

TREES

GATES

WALL

BUILDING

OPEN SIDED BUILDING

GLASS ROOFED

CONTOURS

Top

Bottom

MT / ST / 0.2 / 6

NOTE: SPREADS AND HEIGHTS ARE INDICATIVE ONLY

Single

Double

Width shown to scale

0.25m

25.00

**ABBREVIATIONS (WHERE APPLICABLE)**

ARCH HEAD HEIGHT	AHH	MARKER	MKR
ARCH HEAD LEVEL	AHL	MONITORING WELL	MW
ARCH SPRINGER HEIGHT	ASH	NOTICE BOARD	NB
ARCH SPRINGER LEVEL	ASL	NAME PLATE	NP
AIR VALVE	AV	OVERHEAD WIRES	OHW
BED LEVEL	BL	PARKING METER	PM
BELISHA BEACON	BB	RODGE LEVEL	RL
BOLLARD	B	ROOF LEVEL	RL
BRITISH TELECOM BOX	BTB	ROAD SIGN	RS
BRITISH TELECOM MANHOLE	BTMH	RODDING EYE	RE
BRICKWORK	BKWK	RETAINING WALL	RTW
BUS STOP	BS	RAIN WATER PIPE	RWP
CABLE TV	CATV	SUICE VALVE	SV
COVER LEVEL	CL	STOP COCK	SC
CABLE MARKER	CM	SOFFIT LEVEL	SOF
COLUMN	Col	STRUCTURAL SLAB LEVEL	SSL
CONCRETE POST	CP	TREE STUMP	ST
EAVES LEVEL	EAV	SOIL AND VENT PIPE	SUP
ELECTRICAL COVER	ELEC	THRESHOLD LEVEL	THL
ELECTRICITY CONTROL BOX	ECB	TELEGRAPH POLE	TP
ELECTRICITY POLE	EP	TELEPHONE CALL BOX	TCB
EARTH ROD	ER	TOP OF KERB	TK
FLOWER BED	FB	TURNSTILE	TS
FINISHED FLOOR LEVEL	FFL	TRAFFIC LIGHT	TL
FIRE HYDRANT	FH	TOP OF WALL	TW
FLOOR LEVEL	FL	UNABLE TO LIFT	UTL
FLAG STAFF	FS	UNABLE TO SURVEY	UTS
GAS PIPE	GP	VENT PIPE	VP
GAS VALVE	GV	WATER METER	WM
GULLY	G	WATER LEVEL	WL
GATE STOP	GS	WASH OUT	WO
INSPECTION COVER	IC	WASTE PIPE	WP
INVERT LEVEL	IL	WATER TANK	WT
LAMP POST	LP	WATER VALVE	WV

**FENCES**

BARBED WIRE FENCE	BWF	LARCH LAP FENCE	LLF
CORRUGATED IRON FENCE	CIF	METAL RAILING FENCE	MRF
CLOSE BOARD FENCE	CBF	POST AND CHAIN FENCE	PCF
CHAIN LINK FENCE	CLF	PICKET FENCE	PIF
CHESTNUT PALING FENCE	CPF	POST AND RAIL FENCE	PRF
FENCE POST	FPO	POST AND WIRE FENCE	PWF
INTERWOVEN FENCE	IWF	STEEL PALISADE SECURITY FENCE	SPSF
IRON RAILING FENCE	IRF	TUBULAR STEEL RAIL FENCE	TSRF

REV.	NOTES	DWN	DATE
A	PRELIMINARY	---	---

Notes:  
Grid and levels relate to OS GPS Active Network.  
Sheet is North orientated unless stated.

**Maltby Surveys Ltd**  
2 QUEENS ROAD  
HAYWARDS HEATH  
WEST SUSSEX  
RH16 1EB  
Tel: 01444 416246  
E-Mail: mis@maltbysurveys.com  
WebSite: www.maltbysurveys.com

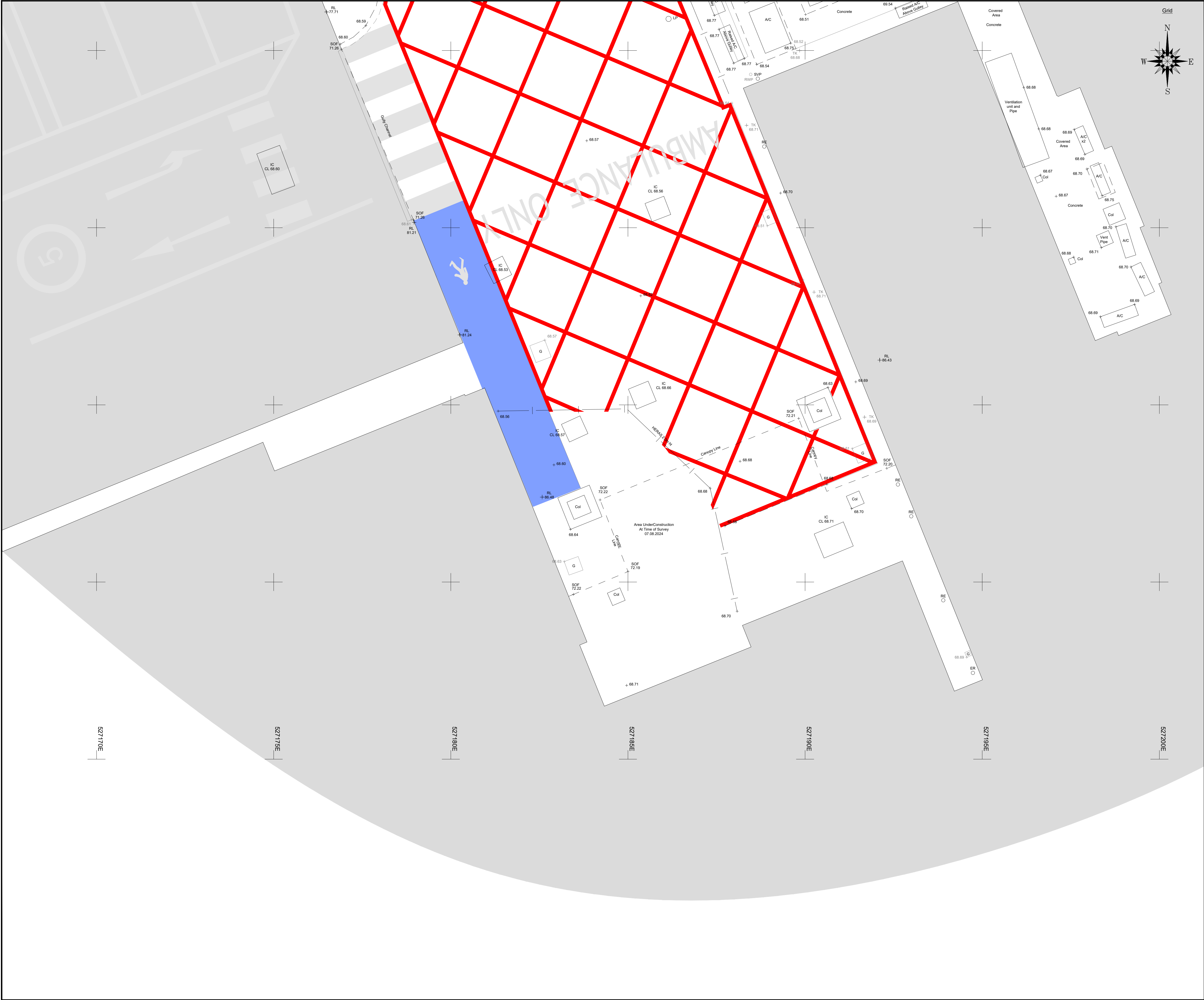
SURVEYED	GI	CLIENT
DRAWN	GI	Wareham & Associates
CHECKED	AKM	SCALE
		1/50 (A1 Sheet)

Hybrid Theatres Royal Free Hospital NW3 2QG

TOPOGRAPHICAL SURVEY		
Job No	Rev	Drawing Number
24/190	-	24/190/100/E
Date :	Aug 2024	







SURVEY STATIONS - COORDINATE SCHEDULE			
Station	Easting	Northing	Level
S1	527175.591	185450.030	68.721
S2	527167.286	185422.104	68.620
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Survey station S2 has a direct relationship to the Ordnance Survey active network. All other stations have been descaled about this point. The scale factor for these quoted stations is 1. This is effectively a local coordinate system with a good connection to the OS to facilitate overlaying of further OS digital data. Please contact Maltby Surveys if further clarification is required.

Top

Bottom

BANKING

MT / ST / 0.2 / 6

Height

Width

Depth

BUSHES & HEDGES

Single

Double

TREES

Single

Double

GATES

WALL

Width shown to scale 0.25m

Building

Open sided building

Glass roofed

BUILDING

Contours

25.00

CONTOURS

Abbreviations (Where Applicable)

ARCH HEAD HEIGHT

ARCH HEAD LEVEL

ARCH SPRINGER HEIGHT

ARCH SPRINGER LEVEL

AIR VALVE

BED LEVEL

BELISHA BEACON

BOLLARD

BRITISH TELECOM BOX

BRITISH TELECOM MANHOLE

BRICKWORK

BUS STOP

CABLE TV

COVER LEVEL

CABLE MARKER

COLUMN

CONCRETE POST

EAVES LEVEL

ELECTRICAL COVER

ELECTRICITY CONTROL BOX

ELECTRICITY POLE

EARTH ROD

FLOWER BED

FINISHED FLOOR LEVEL

FIRE HYDRANT

FLOOR LEVEL

FLAG STAFF

GAS PIPE

GAS VALVE

GULLY

GATE STOP

INSPECTION COVER

INVERT LEVEL

LAMP POST

MARKER

MONITORING WELL

NOTICE BOARD

NAME PLATE

OVERHEAD WIRES

PARKING METER

RIDGE LEVEL

ROOF LEVEL

ROAD SIGN

RODDING EYE

RETAINING WALL

RAIN WATER PIPE

SLUICE VALVE

STOP COCK

SOFFIT LEVEL

STRUCTURAL SLAB LEVEL

TREE STUMP

SOIL AND VENT PIPE

THRESHOLD LEVEL

TELEGRAPH POLE

TELEPHONE CALL BOX

TURNSTILE

TRAFFIC LIGHT

TOP OF WALL

UNABLE TO LIFT

UNABLE TO SURVEY

VENT PIPE

WATER METER

WATER LEVEL

WASH OUT

WASTE PIPE

WATER TANK

WATER VALVE

MARKER

MONITORING WELL

NOTICE BOARD

NAME PLATE

OVERHEAD WIRES

PARKING METER

RIDGE LEVEL

ROOF LEVEL

ROAD SIGN

RODDING EYE

RETAINING WALL

RAIN WATER PIPE

SLUICE VALVE

STOP COCK

SOFFIT LEVEL

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TREE STUMP

SOIL AND VENT PIPE

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WATER LEVEL

WASH OUT

WASTE PIPE

WATER TANK

WATER VALVE

ABBREVIATIONS (WHERE APPLICABLE)

ARCH HEAD HEIGHT

ARCH HEAD LEVEL

ARCH SPRINGER HEIGHT

ARCH SPRINGER LEVEL

AIR VALVE

BED LEVEL

BELISHA BEACON

BOLLARD

BRITISH TELECOM BOX

BRITISH TELECOM MANHOLE

BRICKWORK

BUS STOP

CABLE TV

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INSPECTION COVER

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LAMP POST

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NOTICE BOARD

NAME PLATE

OVERHEAD WIRES

PARKING METER

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RODDING EYE

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TELEPHONE CALL BOX

TURNSTILE

TRAFFIC LIGHT

TOP OF WALL

UNABLE TO LIFT

UNABLE TO SURVEY

VENT PIPE

WATER METER

WATER LEVEL

WASH OUT

WASTE PIPE

WATER TANK

WATER VALVE

FENCES

BARBED WIRE FENCE

CORRUGATED IRON FENCE

CLOSE BOARD FENCE

CHAIN LINK FENCE

CHESTNUT PALING FENCE

FENCE POST

INTERWOVEN FENCE

IRON RAILING FENCE

BWF

CIF

CBF

CLF

CPF

FPO

IWF

IRF

LARCH LAP FENCE

METAL RAILING FENCE

POST AND CHAIN FENCE

PICKET FENCE

POST AND RAIL FENCE

POST AND WIRE FENCE

STEEL PALISADE SECURITY FENCE

TUBULAR STEEL RAIL FENCE

LLF

MRF

PCF

PIF

PRF

PWF

SPSF

TSRF

REV.	NOTES	DWN	DATE
A	PRELIMINARY	---	---

QMS

ISO 9001

REGISTERED

QMS

ISO 14001

REGISTERED

Notes:  
Grid and levels relate to OS GPS Active Network.  
Sheet is North orientated unless stated.

Maltby Surveys Ltd

2 QUEENS ROAD  
HAYWARDS HEATH  
WEST SUSSEX  
RH16 1EB  
Tel: 01444 416246  
E-Mail: mis@maltbysurveys.com  
WebSite: www.maltbysurveys.com

SURVEYED	GI	CLIENT
DRAWN	GI	Wareham & Associates
CHECKED	AKM	SCALE
		1/50 (A1 Sheet)

Hybrid Theatres Royal Free Hospital NW3 2QG

### TOPOGRAPHICAL SURVEY

Job No	Rev	Drawing Number
24/190	-	24/190/100/G
Date :	Aug 2024	







## **APPENDIX C –THAMES WATER ASSET LOCATION SEARCH**

Thames Water Asset Location Search (2013)



# Asset Location Search



Thames Water Property Searches  
12 Vastern Road  
READING  
RG1 8DB

**Search address supplied**      Royal Free Hampstead Nhs Trust  
Royal Free Hospital  
Pond Street  
London  
NW3 2QG

**Your reference**                      46178  
**Our reference**                      ALS/ALS Standard/2013\_2392815

**Search date**                          21 January 2013

You are now able to order your Asset Location Search requests online by visiting  
[www.thameswater-propertysearches.co.uk](http://www.thameswater-propertysearches.co.uk)

[Thames Water Utilities Ltd](http://www.thameswater-propertysearches.co.uk)

Property Searches  
PO Box 3189  
Slough SL1 4WW

DX 151280 Slough 13

T 0845 070 9148  
E [searches@thameswater.co.uk](mailto:searches@thameswater.co.uk)  
I [www.thameswater-propertysearches.co.uk](http://www.thameswater-propertysearches.co.uk)

Registered in England and Wales  
No. 2366661, Registered office  
Clearwater Court, Vastern Road  
Reading RG1 8DB



# Asset Location Search



**Search address supplied:** Royal Free Hampstead Nhs Trust, Royal Free Hospital, Pond Street, London, NW3 2QG

Dear Sir / Madam

**An Asset Location Search is recommended when undertaking a site development.** It is essential to obtain information on the size and location of clean water and sewerage assets to safeguard against expensive damage and allow cost-effective service design.

The following records were searched in compiling this report: - the map of public sewers & the map of waterworks. Thames Water Utilities Ltd (TWUL) holds all of these.

This search provides maps showing the position, size of Thames Water assets close to the proposed development and also manhole cover and invert levels, where available.

Please note that none of the charges made for this report relate to the provision of Ordnance Survey mapping information. The replies contained in this letter are given following inspection of the public service records available to this company. No responsibility can be accepted for any error or omission in the replies.

You should be aware that the information contained on these plans is current only on the day that the plans are issued. The plans should only be used for the duration of the work that is being carried out at the present time. Under no circumstances should this data be copied or transmitted to parties other than those for whom the current work is being carried out.

Thames Water do update these service plans on a regular basis and failure to observe the above conditions could lead to damage arising to new or diverted services at a later date.

## Contact Us

If you have any further queries regarding this enquiry please feel free to contact a member of the team on 0845 070 9148, or use the address below:

Thames Water Utilities Ltd  
Property Searches  
PO Box 3189  
Slough  
SL1 4WW

Email: [searches@thameswater.co.uk](mailto:searches@thameswater.co.uk)  
Web: [www.thameswater-propertysearches.co.uk](http://www.thameswater-propertysearches.co.uk)

[Thames Water Utilities Ltd](http://www.thameswater.co.uk)

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PO Box 3189  
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Registered in England and Wales  
No. 2366661, Registered office  
Clearwater Court, Vastern Road  
Reading RG1 8DB



# Asset Location Search



## Waste Water Services

**Please provide a copy extract from the public sewer map.**

Enclosed is a map showing the approximate lines of our sewers. Our plans do not show sewer connections from individual properties or any sewers not owned by Thames Water unless specifically annotated otherwise. Records such as "private" pipework are in some cases available from the Building Control Department of the relevant Local Authority.

Where the Local Authority does not hold such plans it might be advisable to consult the property deeds for the site or contact neighbouring landowners.

This report relates only to sewerage apparatus of Thames Water Utilities Ltd, it does not disclose details of cables and or communications equipment that may be running through or around such apparatus.

The sewer level information contained in this response represents all of the level data available in our existing records. Should you require any further Information, please refer to the relevant section within the 'Further Contacts' page found later in this document.

For your guidance:

- The Company is not generally responsible for rivers, watercourses, ponds, culverts or highway drains. If any of these are shown on the copy extract they are shown for information only.
- Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.

## Clean Water Services

**Please provide a copy extract from the public water main map.**

Enclosed is a map showing the approximate positions of our water mains and associated apparatus. Please note that records are not kept of the positions of individual domestic supplies.

For your information, there will be a pressure of at least 10m head at the outside stop valve. If you would like to know the static pressure, please contact our Customer Centre on 0845 920 0800. The Customer Centre can

[Thames Water Utilities Ltd](#)

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Slough SL1 4WW

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E [searches@thameswater.co.uk](mailto:searches@thameswater.co.uk)  
I [www.thameswater-propertysearches.co.uk](http://www.thameswater-propertysearches.co.uk)

Registered in England and Wales  
No. 2366661, Registered office  
Clearwater Court, Vastern Road  
Reading RG1 8DB

# Asset Location Search



also arrange for a full flow and pressure test to be carried out for a fee.

For your guidance:

- Assets other than vested water mains may be shown on the plan, for information only.
- If an extract of the public water main record is enclosed, this will show known public water mains in the vicinity of the property. It should be possible to estimate the likely length and route of any private water supply pipe connecting the property to the public water network.

## Payment for this Search

A charge will be added to your suppliers account.

[Thames Water Utilities Ltd](#)

Property Searches  
PO Box 3189  
Slough SL1 4WW

DX 151280 Slough 13

T 0845 070 9148  
E [searches@thameswater.co.uk](mailto:searches@thameswater.co.uk)  
I [www.thameswater-propertysearches.co.uk](http://www.thameswater-propertysearches.co.uk)

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Reading RG1 8DB



# Asset Location Search



## Further contacts:

### Waste Water queries

Should you require verification of the invert levels of public sewers, by site measurement, you will need to approach the relevant Thames Water Area Network Office for permission to lift the appropriate covers. This permission will usually involve you completing a TWOSA form. For further information please contact our Customer Centre on Tel: 0845 920 0800. Alternatively, a survey can be arranged, for a fee, through our Customer Centre on the above number.

If you have any questions regarding sewer connections, building over issues or any other questions regarding operational issues please direct them to our service desk. Which can be contacted by writing to:

Developer Services (Waste Water)  
Thames Water  
Clearwater Court  
Vastern Road  
Reading  
RG1 8DB

Tel: 0845 850 2777  
Email: [developer.services@thameswater.co.uk](mailto:developer.services@thameswater.co.uk)

Should you require any further information regarding budget estimates, diversions or stopping up notices then please contact:

DevCon Team  
Asset Investment  
Thames Water  
Maple Lodge STW  
Denham Way  
Rickmansworth  
Hertfordshire  
WD3 9SQ

Tel: 01923 898 072  
Email: [devcon.team@thameswater.co.uk](mailto:devcon.team@thameswater.co.uk)

### [Thames Water Utilities Ltd](#)

Property Searches  
PO Box 3189  
Slough SL1 4WW

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T 0845 070 9148  
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I [www.thameswater-propertysearches.co.uk](http://www.thameswater-propertysearches.co.uk)

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Reading RG1 8DB

# Asset Location Search



## Clean Water queries

Should you require any advice concerning clean water operational issues or clean water connections, please contact:

Developer Services (Clean Water)  
Thames Water  
Clearwater Court  
Vastern Road  
Reading  
RG1 8DB

Tel: 0845 850 2777

Email: [developer.services@thameswater.co.uk](mailto:developer.services@thameswater.co.uk)

## Thames Water Utilities Ltd

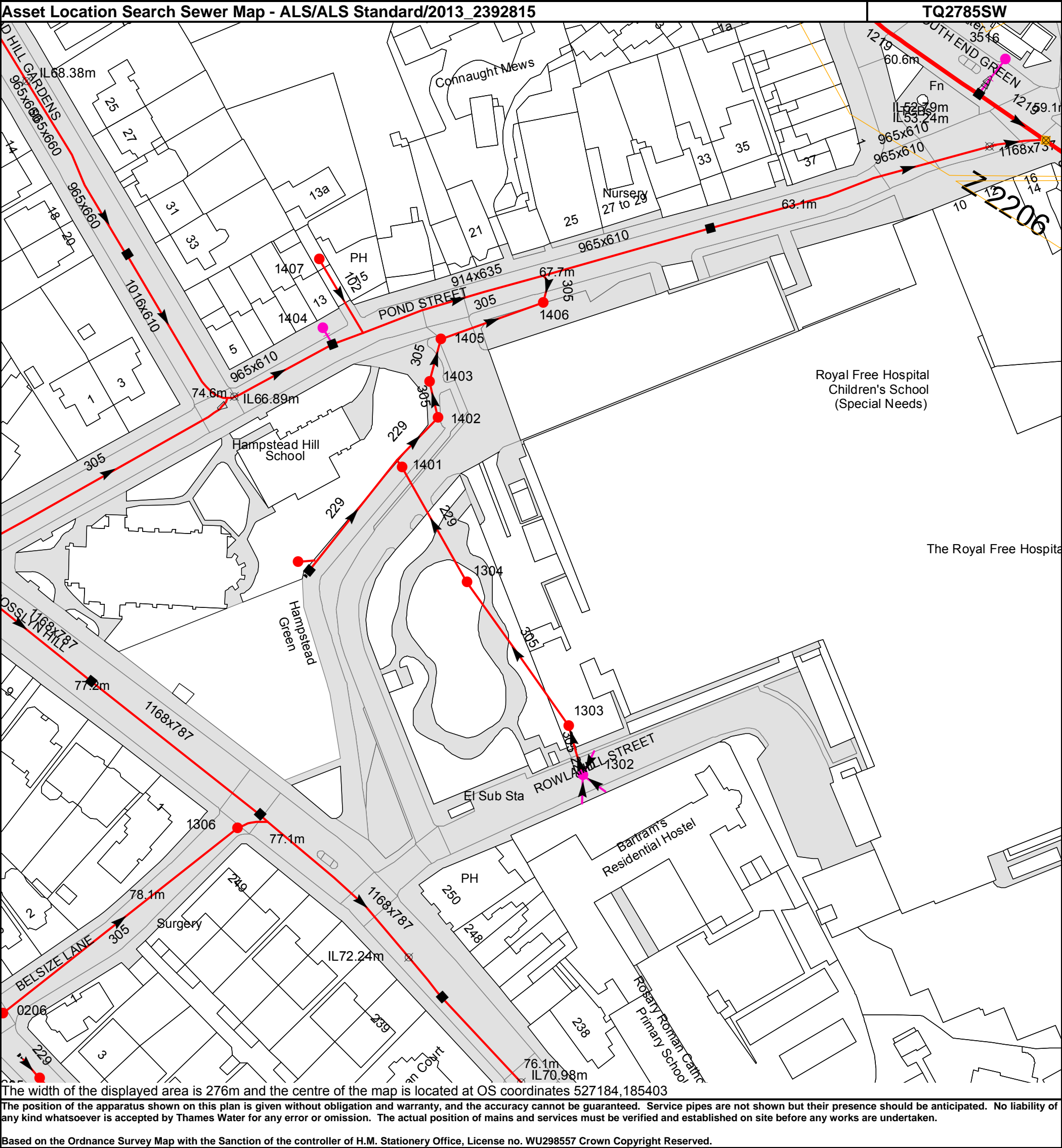
Property Searches  
PO Box 3189  
Slough SL1 4WW

DX 151280 Slough 13

T 0845 070 9148  
E [searches@thameswater.co.uk](mailto:searches@thameswater.co.uk)  
I [www.thameswater-propertysearches.co.uk](http://www.thameswater-propertysearches.co.uk)

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NB. Levels quoted in metres Ordnance Newlyn Datum. The value -9999.00 indicates that no survey information is available


Manhole Reference	Manhole Cover Level	Manhole Invert Level
3516	58.97	53.07
1304	69.76	66.92
1415	n/a	n/a
1401	70.55	64.57
1402	n/a	63.21
1403	n/a	63.14
1405	n/a	63.07
1404	n/a	n/a
1406	n/a	62.88
1407	70.52	68.66
0206	n/a	n/a
0205	77.44	74.61
1306	n/a	n/a
1303	73.65	68.84
-	-	-
1302	74.88	69.98
The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified and established on site before any works are undertaken.		





# ALS Sewer Map Key

## Public Sewer Types (Operated & Maintained by Thames Water)

 **Foul:** A sewer designed to convey waste water from domestic and industrial sources to a treatment works.


 **Surface Water:** A sewer designed to convey surface water (e.g. rain water from roofs, yards and car parks) to rivers or watercourses.

 **Combined:** A sewer designed to convey both waste water and surface water from domestic and industrial sources to a treatment works.

 Trunk Surface Water


 Trunk Foul


 Storm Relief

 Trunk Combined

 Vent Pipe


 Bio-solids (Sludge)

 Proposed Thames Surface Water Sewer

 Proposed Thames Foul Sewer


 Gallery

 Foul Rising Main

 Surface Water Rising Main

 Combined Rising Main

 Sludge Rising Main

 Proposed Thames Water Rising Main

 Vacuum

### Notes:

- 1) All levels associated with the plans are to Ordnance Datum Newlyn.
- 2) All measurements on the plans are metric.
- 3) Arrows (on gravity fed sewers) or flecks (on rising mains) indicate direction of flow.
- 4) Most private pipes are not shown on our plans, as in the past, this information has not been recorded.
- 5) 'na' or '0' on a manhole level indicates that data is unavailable.

## Sewer Fittings

A feature in a sewer that does not affect the flow in the pipe. Example: a vent is a fitting as the function of a vent is to release excess gas.

 Air Valve

 Dam Chase

 Fitting

 Meter

 Vent Column

## Operational Controls

A feature in a sewer that changes or diverts the flow in the sewer. Example: A hydrobrake limits the flow passing downstream.

 Control Valve

 Drop Pipe

 Ancillary

 Weir

## End Items

End symbols appear at the start or end of a sewer pipe. Examples: an Undefined End at the start of a sewer indicates that Thames Water has no knowledge of the position of the sewer upstream of that symbol, Outfall on a surface water sewer indicates that the pipe discharges into a stream or river.

 Outfall

 Undefined End


 Inlet

## Other Symbols

Symbols used on maps which do not fall under other general categories

 Public/Private Pumping Station

 Change of characteristic indicator (C.O.C.I.)


 Invert Level

 Summit

### Areas


Lines denoting areas of underground surveys, etc.

 Agreement

 Operational Site

 Chamber

 Tunnel

 Conduit Bridge

## Other Sewer Types (Not Operated or Maintained by Thames Water)

 Foul Sewer

 Surface Water Sewer

 Combined Sewer

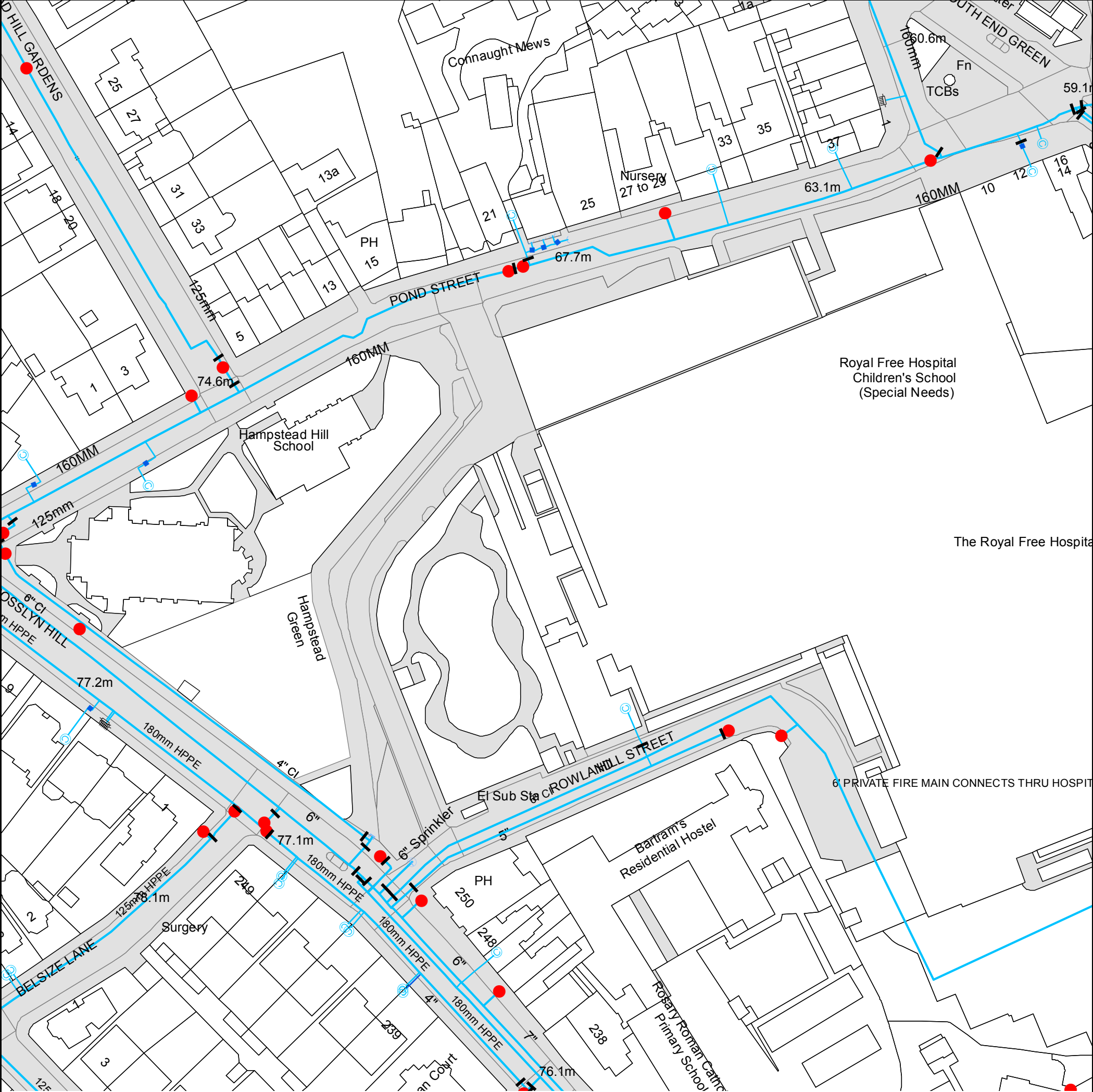
 Gully

 Culverted Watercourse

 Proposed

 Abandoned Sewer





The width of the displayed area is 276m and the centre of the map is located at OS coordinates 527184,185403

The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified and established on site before any works are undertaken.

Based on the Ordnance Survey Map with the Sanction of the controller of H.M. Stationery Office, License no. WU298557 Crown Copyright Reserved.



# ALS Water Map Key

## Water Pipes (Operated & Maintained by Thames Water)

- 4"** **Distribution Main:** The most common pipe shown on water maps. With few exceptions, domestic connections are only made to distribution mains.
- 16"** **Trunk Main:** A main carrying water from a source of supply to a treatment plant or reservoir, or from one treatment plant or reservoir to another. Also a main transferring water in bulk to smaller water mains used for supplying individual customers.
- 3" SUPPLY** **Supply Main:** A supply main indicates that the water main is used as a supply for a single property or group of properties.
- 3" FIRE** **Fire Main:** Where a pipe is used as a fire supply, the word FIRE will be displayed along the pipe.
- 3" METERED** **Metered Pipe:** A metered main indicates that the pipe in question supplies water for a single property or group of properties and that quantity of water passing through the pipe is metered even though there may be no meter symbol shown.
- Transmission Tunnel:** A very large diameter water pipe. Most tunnels are buried very deep underground. These pipes are not expected to affect the structural integrity of buildings shown on the map provided.
- Proposed Main:** A main that is still in the planning stages or in the process of being laid. More details of the proposed main and its reference number are generally included near the main.

### PIPE DIAMETER

Up to 300mm (12")  
300mm - 600mm (12" - 24")  
600mm and bigger (24" plus)

### DEPTH BELOW GROUND

900mm (3')  
1100mm (3' 8")  
1200mm (4')

## Valves

- General Purpose Valve
- Air Valve
- Pressure Control Valve
- Customer Valve

## Hydrants

- Single Hydrant

## Meters

- Meter

## End Items

Symbol indicating what happens at the end of a water main.

- Blank Flange
- Capped End
- Emptying Pit
- Undefined End
- Manifold
- Customer Supply
- Fire Supply

## Operational Sites

- Booster Station
- Other
- Other (Proposed)
- Pumping Station
- Service Reservoir
- Shaft Inspection
- Treatment Works
- Unknown
- Water Tower

## Other Symbols

- Data Logger

## Other Water Pipes (Not Operated or Maintained by Thames Water)

- Other Water Company Main:** Occasionally other water company water pipes may overlap the border of our clean water coverage area. These mains are denoted in purple and in most cases have the owner of the pipe displayed along them.
- Private Main:** Indicates that the water main in question is not owned by Thames Water. These mains normally have text associated with them indicating the diameter and owner of the pipe.



## **Search Code**

### **IMPORTANT CONSUMER PROTECTION INFORMATION**

This search has been produced by Thames Water Property Searches, Clearwater Court, Vastern Road, Reading RG1 8DB, which is registered with the Property Codes Compliance Board (PCCB) as a subscriber to the Search Code. The PCCB independently monitors how registered search firms maintain compliance with the Code.

#### **The Search Code:**

- provides protection for homebuyers, sellers, estate agents, conveyancers and mortgage lenders who rely on the information included in property search reports undertaken by subscribers on residential and commercial property within the United Kingdom
- sets out minimum standards which firms compiling and selling search reports have to meet
- promotes the best practise and quality standards within the industry for the benefit of consumers and property professionals
- enables consumers and property professionals to have confidence in firms which subscribe to the code, their products and services.

By giving you this information, the search firm is confirming that they keep to the principles of the Code. This provides important protection for you.

#### **The Code's core principles**

Firms which subscribe to the Search Code will:

- display the Search Code logo prominently on their search reports
- act with integrity and carry out work with due skill, care and diligence
- at all times maintain adequate and appropriate insurance to protect consumers
- conduct business in an honest, fair and professional manner
- handle complaints speedily and fairly
- ensure that products and services comply with industry registration rules and standards and relevant laws
- monitor their compliance with the Code

#### **Complaints**

If you have a query or complaint about your search, you should raise it directly with the search firm, and if appropriate ask for any complaint to be considered under their formal internal complaints procedure. If you remain dissatisfied with the firm's final response, after your complaint has been formally considered, or if the firm has exceeded the response timescales, you may refer your complaint for consideration under The Property Ombudsman scheme (TPOs). The Ombudsman can award compensation of up to £5,000 to you if he finds that you have suffered actual loss as a result of your search provider failing to keep to the Code.

**Please note that all queries or complaints regarding your search should be directed to your search provider in the first instance, not to TPOs or to the PCCB.**

#### **TPOs Contact Details**

The Property Ombudsman scheme  
Milford House  
43-55 Milford Street  
Salisbury  
Wiltshire SP1 2BP  
Tel: 01722 333306  
Fax: 01722 332296  
Email: [admin@tpos.co.uk](mailto:admin@tpos.co.uk)

You can get more information about the PCCB from [www.propertycodes.org.uk](http://www.propertycodes.org.uk)

**PLEASE ASK YOUR SEARCH PROVIDER IF YOU WOULD LIKE A COPY OF THE SEARCH CODE**



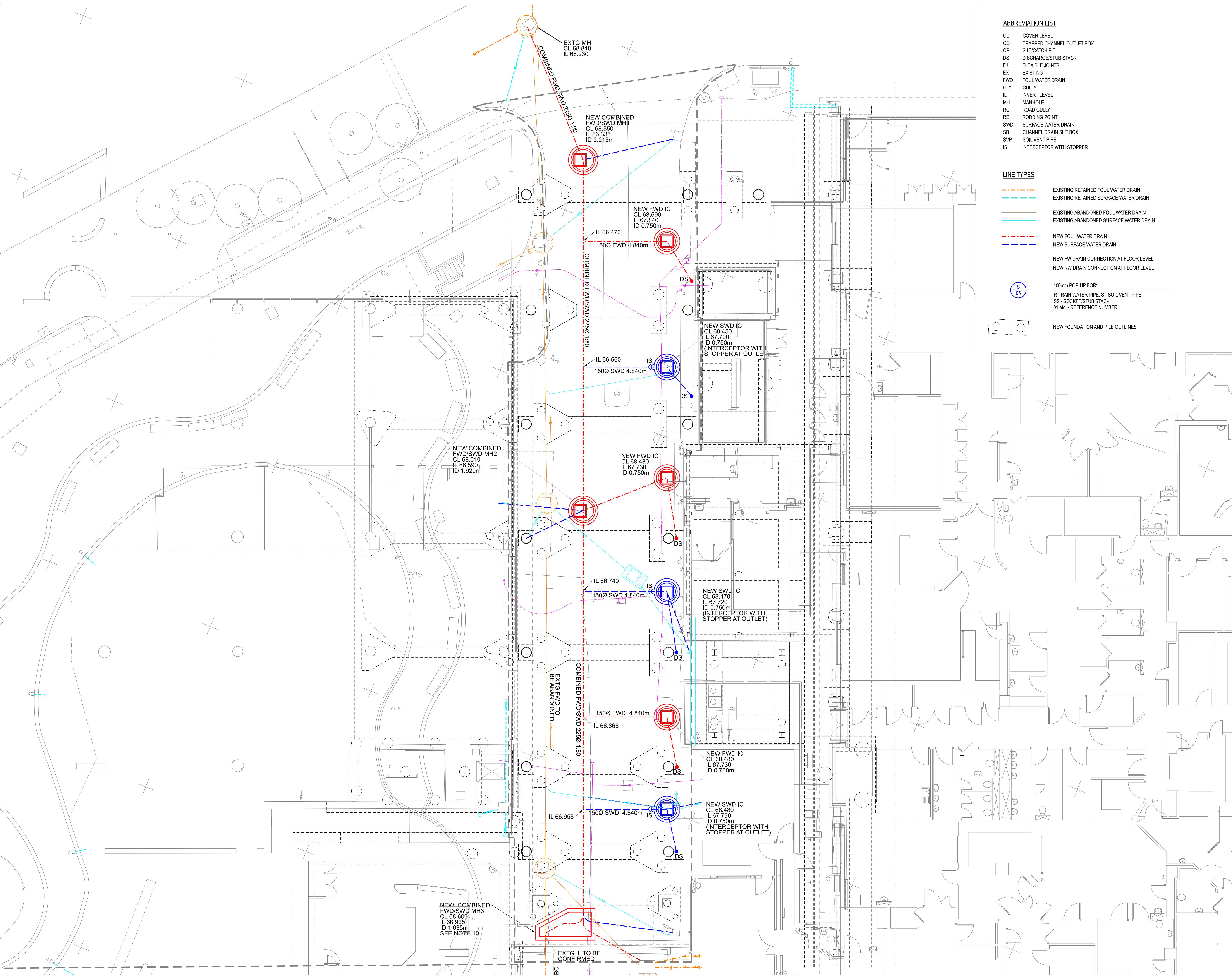
## **APPENDIX D –PLANNING STAGE – PRELIM BELOW GROUND DRAINAGE DESIGN**

### Wareham & Associates Preliminary Drainage Drawings

Drawing. No. 201758-WAL-V1-DR-DR-C-0001-Drainage Layout

Drawing. No. 201758-WAL-V1-DR-DR-C-0010- Long Section

Drawing. No. 201758-WAL-V1-DR-DR-C-0020-Drainage Detail



ABBREVIATION LIST

CL	COVER LEVEL
CO	TRAPPED CHANNEL OUTLET BOX
CP	SILT/CATCH PIT
DS	DISCHARGE/STUB STACK
FJ	FLEXIBLE JOINTS
EX	EXISTING
FWD	FOUL WATER DRAIN
GLY	GULLY
IL	INVERT LEVEL
MH	MANHOLE
RG	ROAD GULLY
RE	RODDING POINT
SWD	SURFACE WATER DRAIN
SB	CHANNEL DRAIN SILT BOX
SVP	SOIL VENT PIPE
IS	INTERCEPTOR WITH STOPPER

LINE TYPES

	EXISTING RETAINED FOUL WATER DRAIN
	EXISTING RETAINED SURFACE WATER DRAIN
	EXISTING ABANDONED FOUL WATER DRAIN
	EXISTING ABANDONED SURFACE WATER DRAIN
	NEW FOUL WATER DRAIN
	NEW SURFACE WATER DRAIN
	NEW FW DRAIN CONNECTION AT FLOOR LEVEL
	NEW RW DRAIN CONNECTION AT FLOOR LEVEL

	100mm POP-UP FOR: R - RAIN WATER PIPE, S - SOIL VENT PIPE SS - SOCKET/STUB STACK 01 etc. - REFERENCE NUMBER
--	--

	NEW FOUNDATION AND PILE OUTLINES
--	----------------------------------

UNDERGROUND DRAINAGE - SPECIFICATION NOTES

GENERAL

- Do not scale from this drawing.
- This drawing shall be read in conjunction with the specification and all other project drawings.
- All work shall be installed and tested in accordance with BS752 and the current Building Regulations.
- All pipe sizes shown on these drawings are nominal sizes, referring generally to the minimum internal bore of the pipe (i.e., 75, 100, 150, 225, 300 & 450). The contractor shall confirm pipe materials prior to ordering.

MATERIALS

- The materials to be used on this project are as follows:
  - Drain pipes are UPVC under the building and UPVC externally.
  - Surface water manholes are to be constructed using engineering brick, precast concrete, rectangular or circular, as specified on the chamber schedule.
  - Brickwork in connection with manholes shall be semi-engineering Class B BS 3921.
  - Manhole covers to be BS EN 124:2015, with internal covers being airtight double seal recessed with stainless steel flms to cover and frame.
  - For drainage details, refer to Drawing No. 201758-WAL-V1-DR-DR-C-0020.

- Channel bends to be 3/4 section with invert discharging into main channel at 1/2 height of channel.
- Bedding and surround shall generally be granular, with concrete for shallow drainage and as required by the drawings and specifications.
- Trenches shall be cut into the existing subsoil material. Where soft ground or made-up ground is encountered, Class F bedding construction shall be used to stabilize the ground before bed and surround material is installed.
- No excavations shall be undertaken within ground bearing superimposed loads from embankments without prior approval from the geotechnical engineer.
- No excavations shall be undertaken within ground bearing superimposed loads from foundations without prior approval from the structural engineer.
- Drains with cover less than 300mm below the underside of ground bearing slab to be cast monolithic to slab.
- Drainage surround in concrete shall have 19mm impregnated fibreboard across the full width of the trench at each pipe joint as per the attached detail.
- Drainage with granular surround shall have granular material to BS 1295-1:1997.
- Two flexible joints incorporating 600mm long rocker pipes shall be installed on all pipes entering and leaving manholes and where passing under/through structural foundations.
- Existing chamber covers to be replaced with new. Lift and rotate cover slabs to make access orthogonal to the floor. Adjust step irons to suit new alignment.
- Existing chamber shafts to be extended to coordinate with the underside of the new floor. Lay compressible joint material to prevent load transfer to the chamber.

P1	02/08/2024	STAGE 3 ISSUE	DF
Rev:	Date:	Description:	Initials:

**Wareham & Associates**  
Tudor House, 1-3 The Avenue, Lightwater, Surrey, GU18 5RF  
Telephone: 01728 451566  
Web: www.warehamandassociates.co.uk

Client: **ROYAL FREE LONDON NHS FOUNDATION TRUST**

Project:

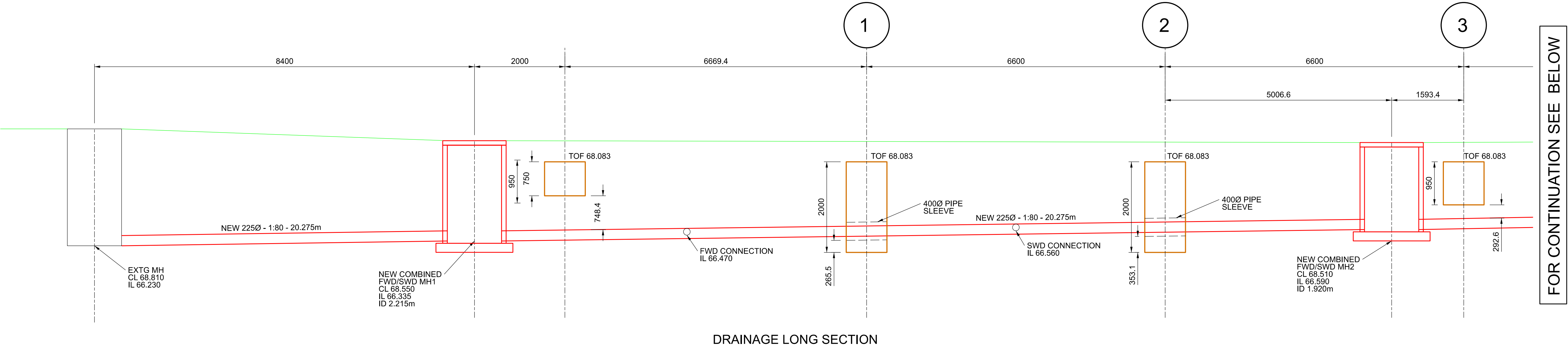
HYBRID THEATRES

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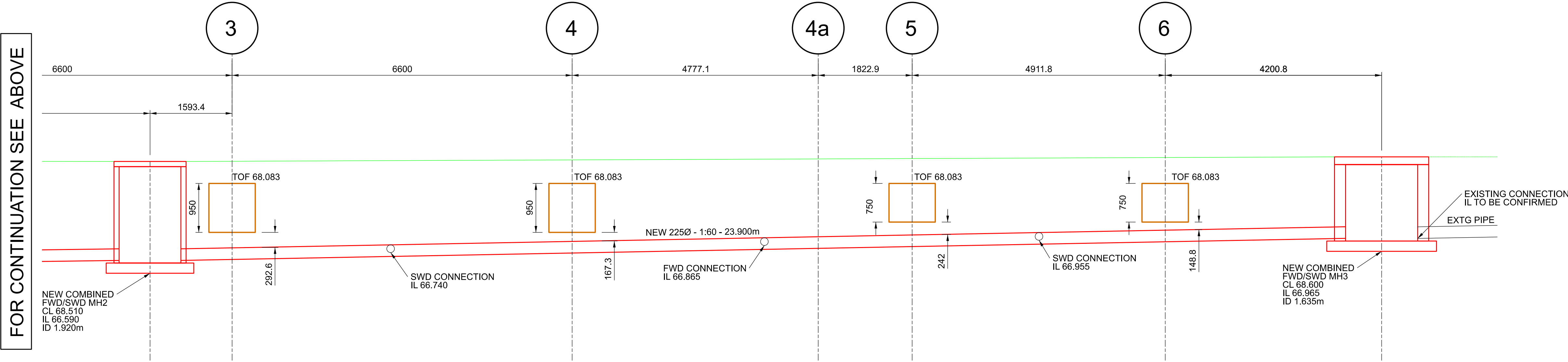
DRAINAGE LAYOUT

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Checked:	DW	Date: JUL 2024
Drawing Number:		
201758-WAL-V1-DR-DR-C-0001		
Revisions:	P1	Status: PRELIMINARY





DRAINAGE LONG SECTION



DRAINAGE LONG SECTION

P1	02/08/2024	STAGE 3 ISSUE	DF
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**Wareham & Associates**  
Tudor House, 1-3 The Avenue, Lightwater, Surrey, GU18 5RF  
Telephone: 01278 451968  
Web: www.warehamandassociates.co.uk

Client: **ROYAL FREE LONDON  
NHS FOUNDATION TRUST**  
Project:

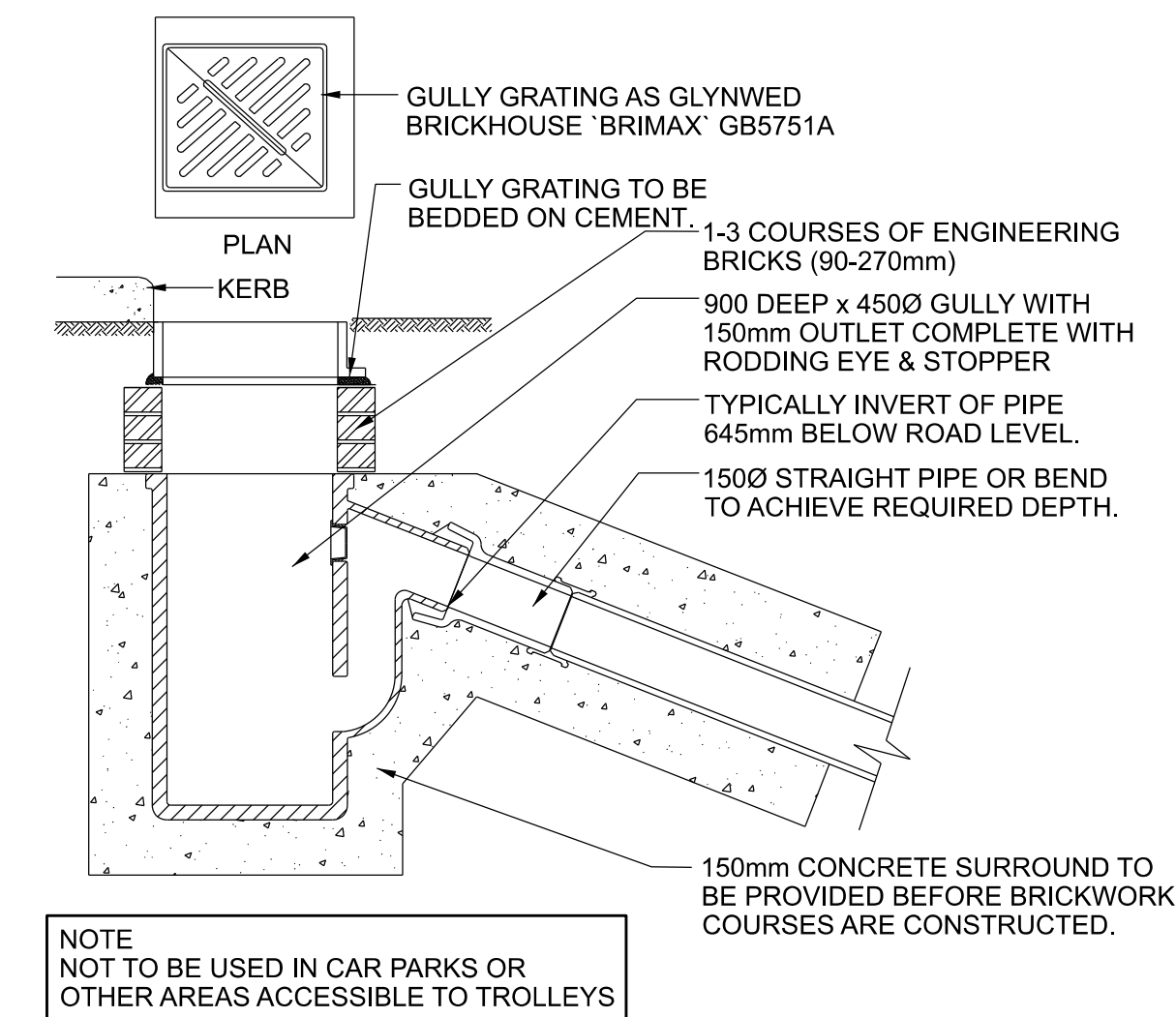
HYBRID THEATRES

Drawing Title:

DRAINAGE LONG SECTION

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201758-WAL-V1-DR-DR-C-0010		
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