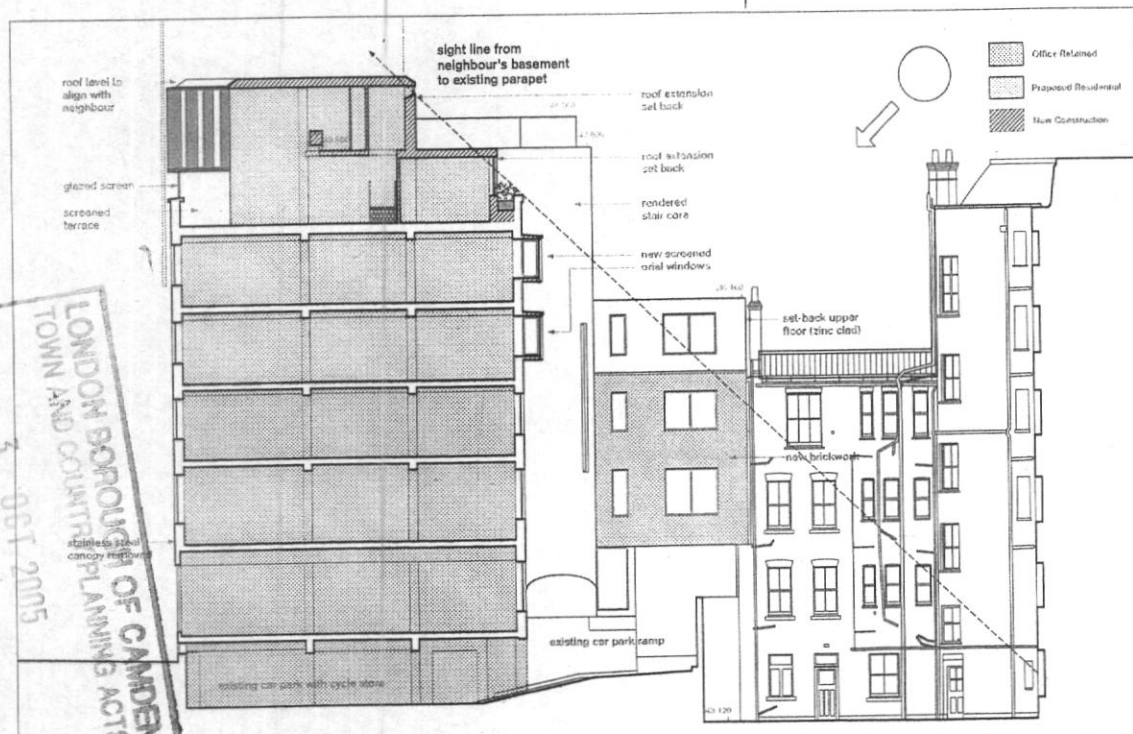
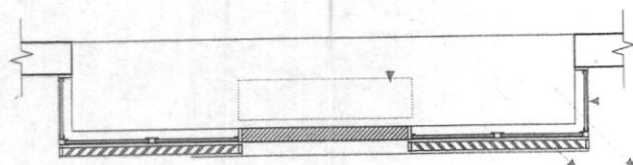
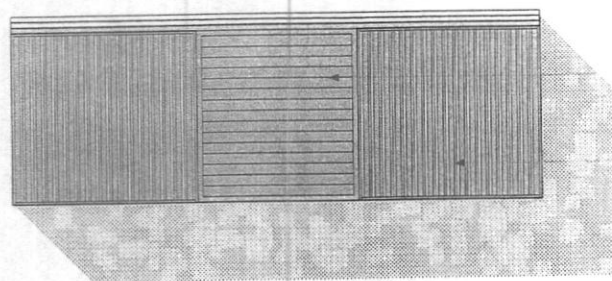


KINGSGATE MANSIONS



SECTION AA (PART)



DETAIL OF PROPOSED ORIEL WINDOW

Rooflight

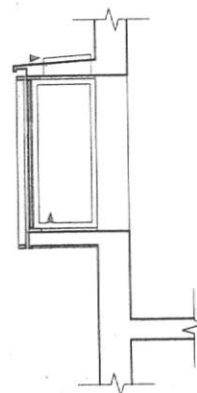
Solid timber boarding

Glazing with fixed timber louvre privacy screen

Rooflight above

Side window

Oblique view



12. Amenity of neighbours and occupants

Daylight

The new extension has been designed to minimise overshadowing of neighbours, particularly the residential neighbours in Kingsgate Mansions.

The new roof extension is set back from the parapet of the existing building at both 5th and 6th floors to minimise the effect of increased height. The extension is the same height as the consented extension to the core of the adjoining building to the west (and lower than their consented Boardroom extension). The extension is on the north-east corner of the block so has little effect on sunlight to the courtyard and residential neighbours to the south.

Daylighting levels resulting from the proposed works have been calculated by a specialist and the proposals meet the BRE Guidelines upon which the Council's Policy is measured. Their report is submitted with this application.

The new flats have good levels of daylighting. The screened oriel windows reduce glare and increase daylight levels without compromising privacy, as described below.

Visual privacy

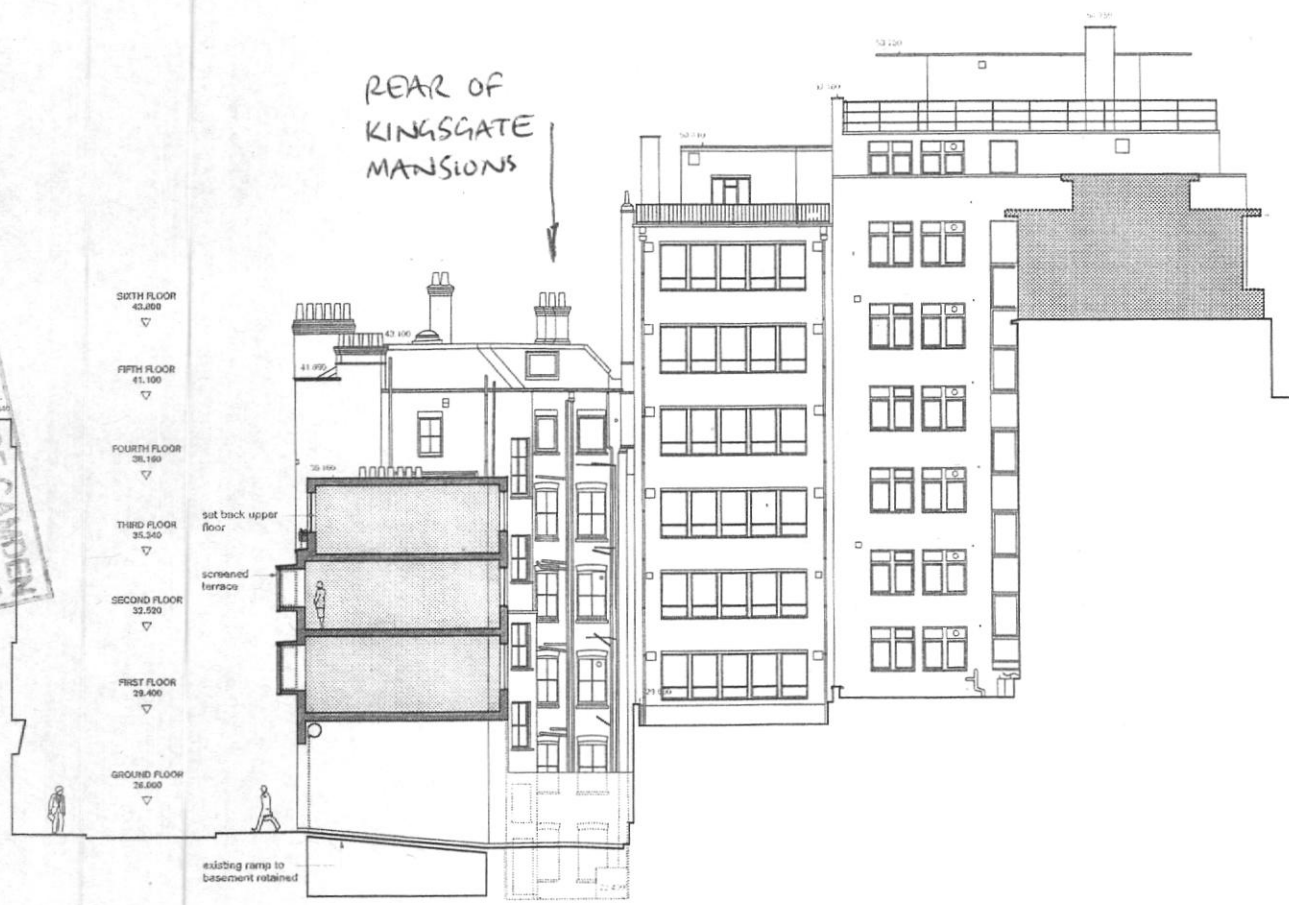
Careful attention has been paid in the design to minimising overlooking- of both neighbours and new occupants.

Projecting oriel windows on the rear elevation incorporate solid and louvred timber screens which minimise direct overlooking while giving good oblique views. The oriels onto Old North Street also help provide privacy for the new flats which are close to offices across the narrow street.

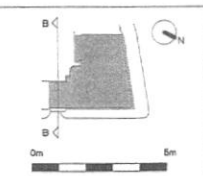
Windows of the new roof extension are over 20m from Kingsgate Mansions' windows across the courtyard (23m at 6th floor). The new stair core is top-lit and has no windows facing Kingsgate mansions. Four terraces are provided and these are screened to avoid overlooking of residential neighbours.

RECOMMENDATION AGREED
ON BEHALF OF THE COUNCIL
31 OCT 2005
LONDON BOROUGH OF CAMDEN
TOWN AND COUNTRY PLANNING ACTS

REAR OF
KINGSGATE
MANSIONS



- KEY:
- Office Retained
 - Proposed Residential
 - New Construction



Drawing: Proposed Section BB

Project: 69/73 Theobalds Road, WC1

Drawing No: 224.13 Revision: -

Scale at A1: 1:100 Scale at A3: 1:200

Client: Sarsfield Properties Ltd.

Status: Planning

Drawn: CS Date: May 2005

Checked: JM

McDowell+Benedetti

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