

29a Montague Street Gardens Greenhouse
London WC1B 5BL

Planning, Design and Access Statement

Rev A
October 2024



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This Planning, Design & Access Statement forms part of the Planning and Listed Building Consent Application submission for a proposed greenhouse to Montague Street Gardens, WC1B 5BL.

The following documents should be read in conjunction with this statement:

- 347.29 001 Location Plan [1/1250]
- 347.29 002 Site Plan [1/500]
- 347.29 100 Existing drawings [1/100]
- 347.29 200 Proposed drawings [1/100]
- 347.29 900 Proposed Gate to Garden Wall [1/20]
- Photographic Survey
- Heritage Assessment

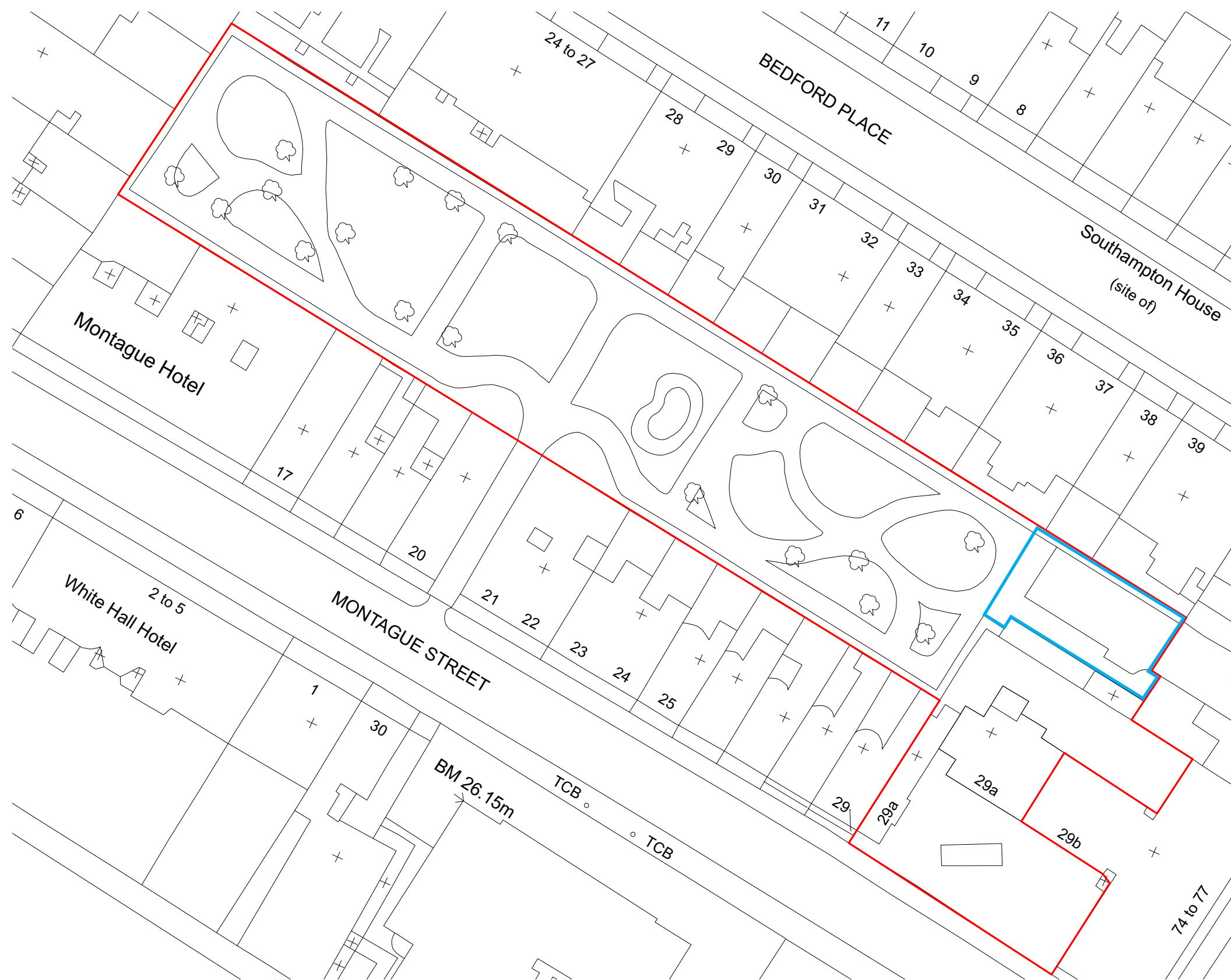


Montague Street Gardens - proposed location for greenhouse



2.0 Site and context

Site and existing building



Montague Street Gardens is a historic secret garden privately owned by The Bedford Estates. The garden lies within the Bloomsbury Conservation Area and is overlooked by the many period properties which enclose it.

Historically, this space would have been a mews of stables and carriage houses with the original grade II listed gate for access still in place between 20 and 21 Montague Street.

Whilst 29a Montague Street and the attached wall, railings and lamps are Grade II listed, the list entry makes no reference to the Montague Street Gardens at the rear of the property.

The yard as existing is in poor condition and not appropriate for use by The Bedford Estates gardeners. At present the yard is used as a poorly maintained storage space and has an unfinished and uneven ground surface. This application seeks to provide high quality amenity space which is more usable and useful to the gardeners as a working yard.

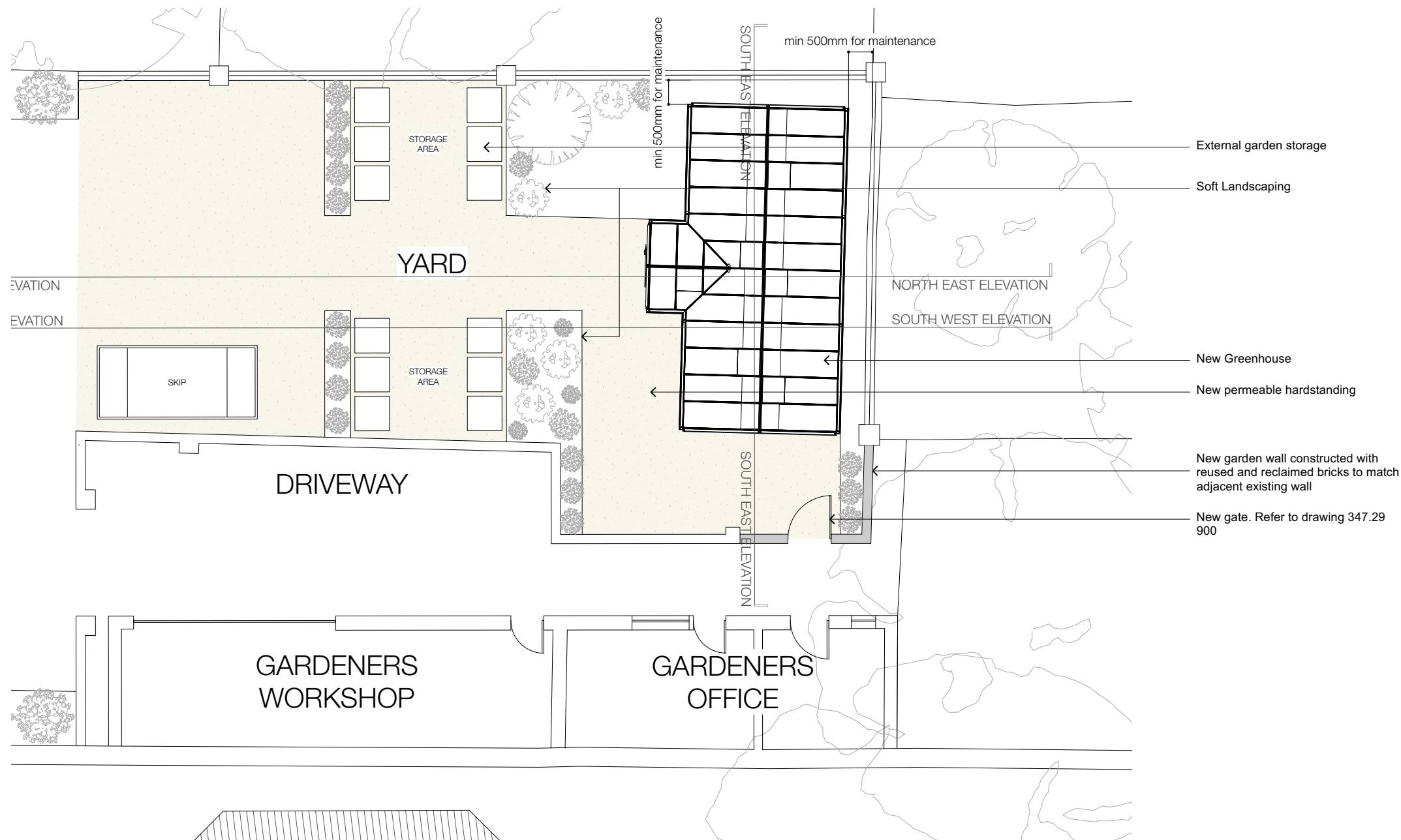


Birds-eye view of Montague Street Gardens from the South



Birds-eye view of Montague Street Gardens from the North

3.0 Design proposal



Proposed Site Plan

The proposed works include the construction of a new permanent greenhouse to the South-most part of the Montague Street Gardens. A small section of an existing, unlisted brick wall will be removed to provide adequate space for the greenhouse with a new gate to improve access. Other minor landscaping works will be undertaken to the yard to make it more usable for the gardeners.

The greenhouse will be located to the south end of the Montague Street Gardens.

The proposed greenhouse features a traditional, elegant Victorian design with low level brick walls (London stock brick to match adjacent garden walls), cast feature spandrels at eaves and ridge height as well as decorative ridge cresting and finials. The greenhouse is well suited to the proposed location adjacent to the existing detailed metal railings of the adjoining properties and will create a feature in an otherwise underused part of the Montague Street Gardens. The dwarf wall to the greenhouse will be constructed using London stock brick to match the adjacent garden walls. A sink will be installed within the greenhouse and connect to existing drainage currently provided in the gardeners office/workshops. A rainwater butt will harvest rainwater from the greenhouse which can be reused by the gardeners to water the plants.

Permeable hardstanding is proposed for the yard to ensure a stable surface on for vehicle access and the skip whilst also ensuring water drainage.

The existing yard is overgrown and in poor condition. It is presently used as a storage area and is not maintained. This proposal seeks to enhance the quality of the yard to make it a valuable amenity space for the gardeners.

4.0 Use and Layout

The proposed greenhouse and associated works seek to improve the Montague Street Gardens as a working yard and amenity space for the gardeners. It will not impact the overall layout of the formal gardens.

5.0 Scale and Appearance

The proposed greenhouse seeks to improve and enhance an under used and poorly maintained yard area of the Montague Street Gardens. The greenhouse materiality is in keeping with the gardens: the London stock brick to match the garden walls and detailed metalwork to tie in with the existing railings. The addition is viewed a positive contribution to the space and does not provide any additional internal accommodation.

6.0 Access

There are no proposed changes to the existing access of the Gardens. A new gate in the garden wall will improve access between the existing yard and the gardeners workshop.

7.0 Landscape

The proposed greenhouse will be constructed on an area of existing hard landscaping and therefore will not negatively impact the soft landscaping of the garden. The proposal allows for new permeable hardstanding for the yard to maintain water drainage. Areas of soft landscaping will be introduced to separate different functions of the yard (refer to drawing 344.29 200 proposed plan). The greenhouse will provide space for the gardeners to more effectively grow plants for The Bedford Estates.

8.0 Sustainability

The works do not impact the sustainability of the proposal.

9.0 Conclusion

To conclude, this Planning, Design and Access Statement sets out the proposals for the construction of a greenhouse to the southern-most end of Montague Street Gardens, a new garden wall arrangement with a gate and associated landscaping works.

The proposed site is an under used 'yard' within the gardens. The new greenhouse aims to make better use of this part of the yard and create a working space for the gardening team. The specified Robinson's greenhouse is selected to compliment the backdrop of elegant historic buildings and is designed in a Victorian style with detailed metalwork.

The proposal is considered a positive contribution to the Montague Street Gardens and ensures that the southern-most area is of maintained at the consistent high quality of the rest of the formal gardens.

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