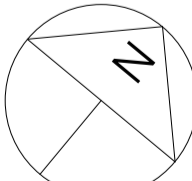


KEY

- A LOW LEVEL LANDSCAPED AREA
- B ENTRANCE TO 3 UPPER PARK ROAD (UNCHANGED)
- C EXTERNAL INSULATION APPLIED TO RETAINED EXISTING FACADES WITH LIGHT NATURAL LIME RENDER TO MATCH EXISTING TONE; WITH SIMPLIFIED PARAPET DETAILING.
- D ACCESS TO REAR GARDEN
- E DARK METAL BALUSTRADE DETAILING TO PERIMETER OF EXTERNAL STAIR



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GENERAL NOTES

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Do not scale from drawings. Use figured dimensions only.

Any discrepancies between site and drawings to be reported to the architect immediately. All dimensions to be checked on site by the main contractor and such dimensions to be their responsibility.

Read in conjunction with all relevant structural and mechanical and electrical engineers drawings.

All works carried out must comply with relevant British Standards and Building Regulation requirements.

ISSUE/REVISION	DATE	REV.	NOTES
PLANNING SUBMISSION	14.10.24	P1	
Drawings based on survey by		Glanville	

DATE	14.10_2024
STATUS	PLANNING

REF NO.	23_16
SCALE	1:50 @ A1 / 1:100 @ A3
DRAWN	AC
CHECKED	DM

PROJECT	3a UPPER PARK ROAD LONDON _ NW3 2UN
DRAWING	PROPOSED _ UPPER GROUND FLOOR PLAN
DRAWING NO.	301
REVISION	P1