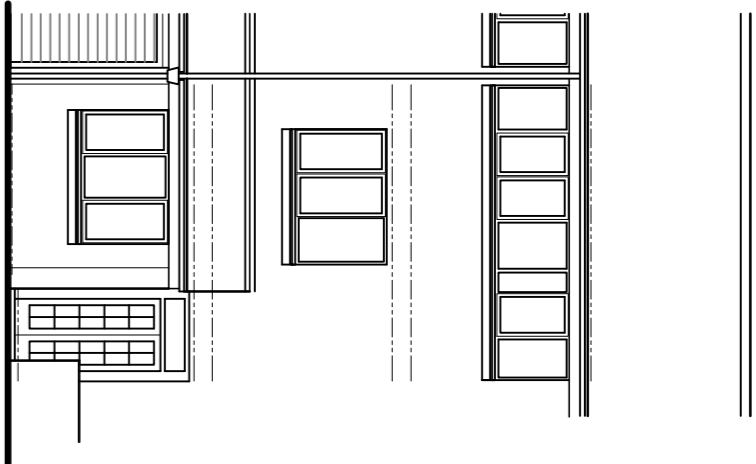
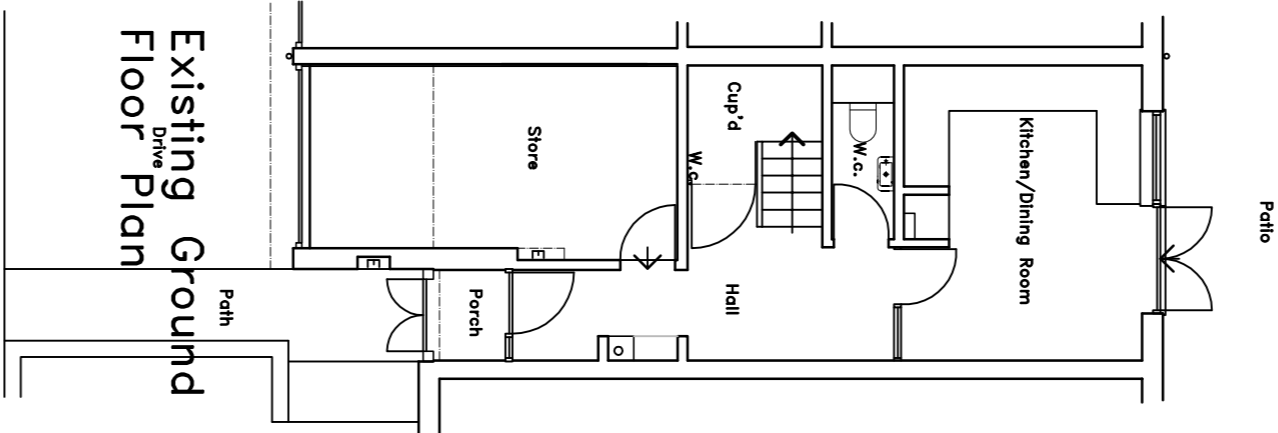


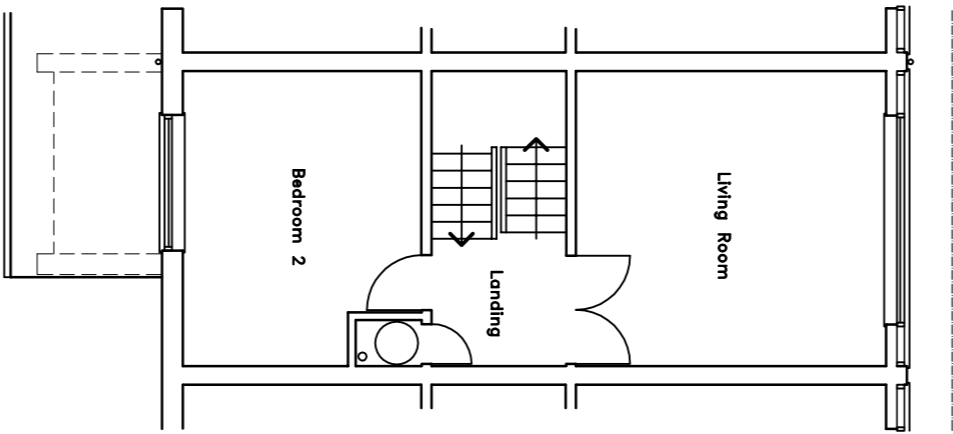
Existing Front Elevation



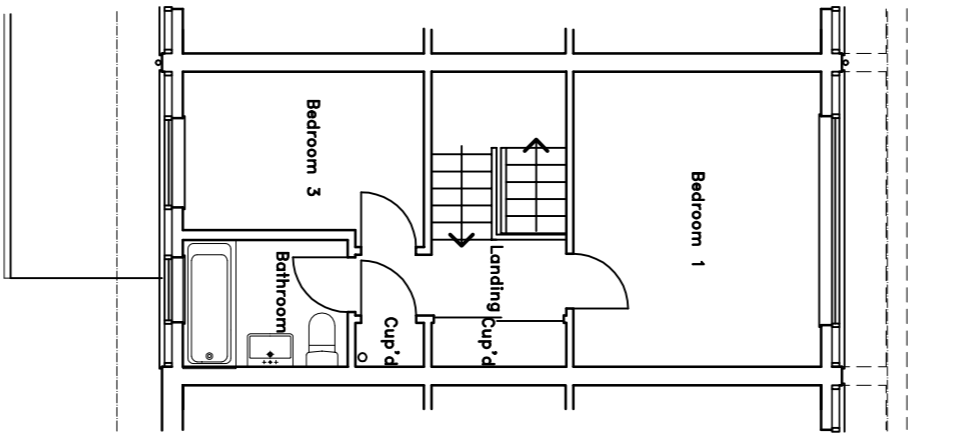
Proposed Front Elevation



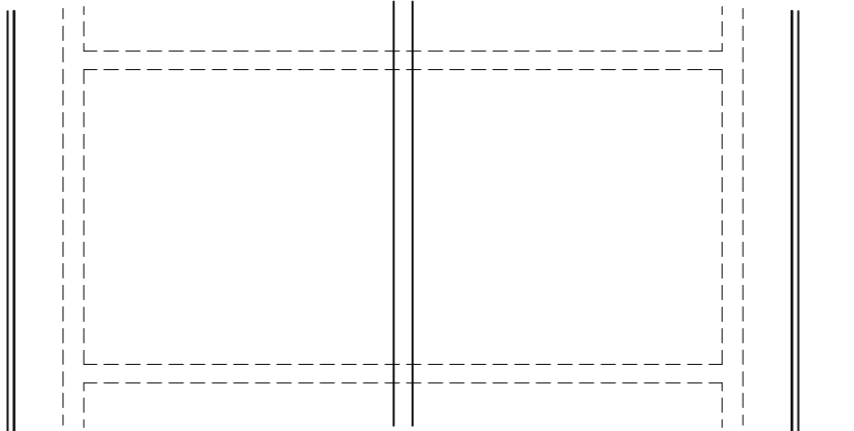
Existing Ground Floor Plan



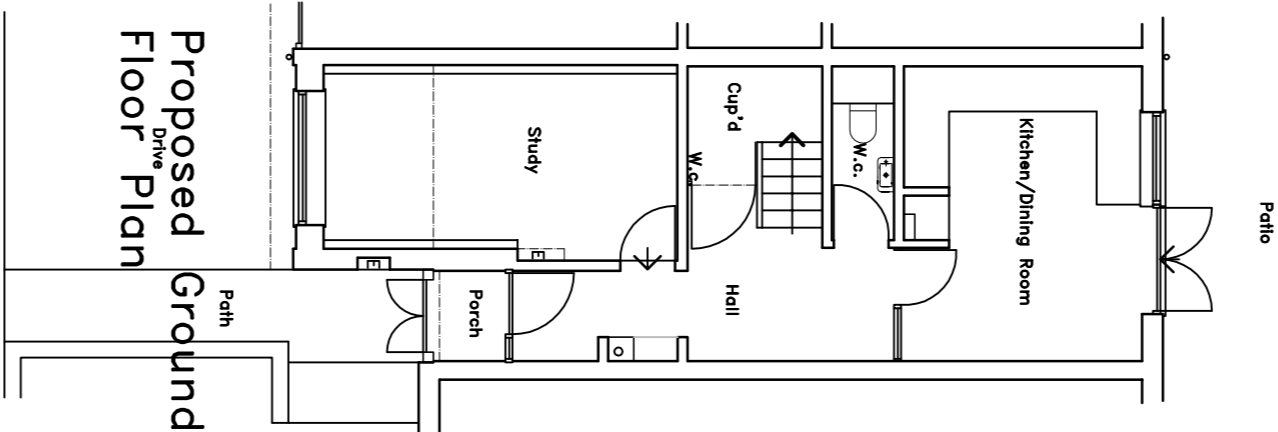
Existing First Floor Plan



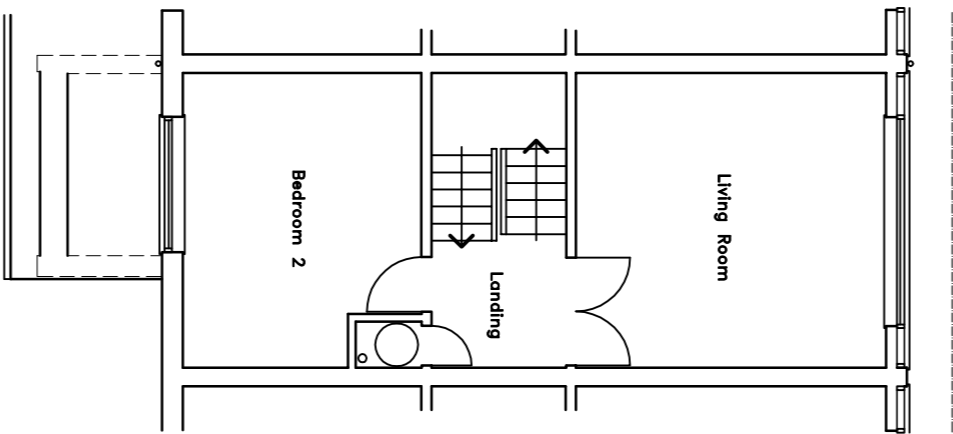
Existing Second Floor Plan



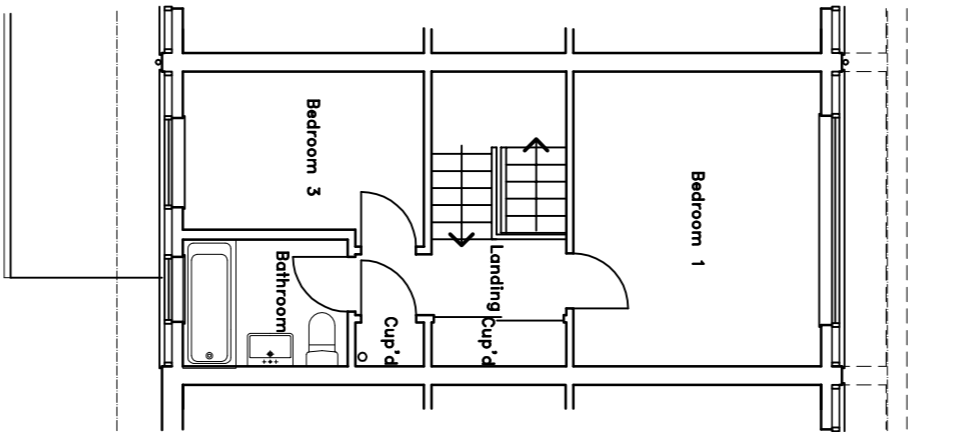
Existing Roof Plan



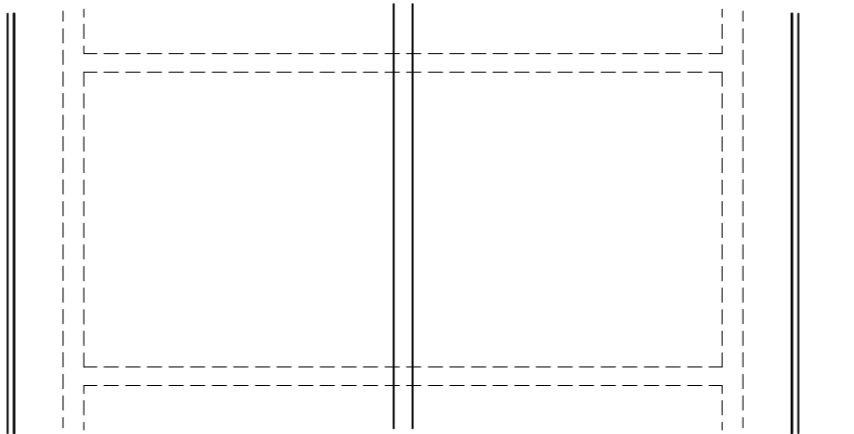
Proposed Ground Floor Plan



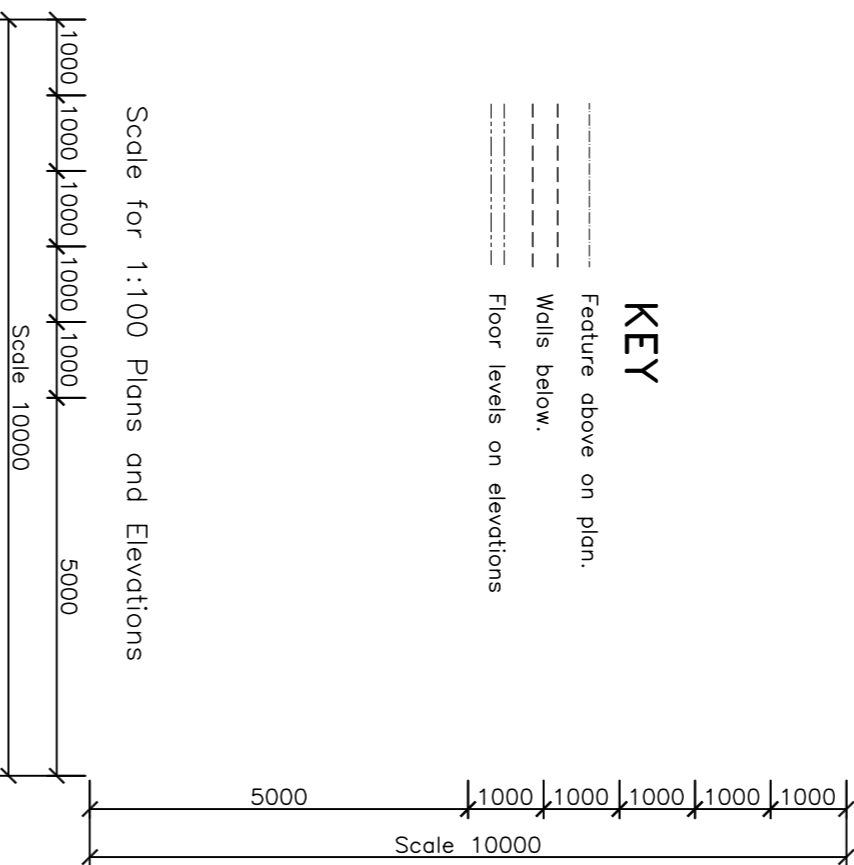
Proposed First Floor Plan



Proposed Second Floor Plan



Proposed Roof Plan



Materials

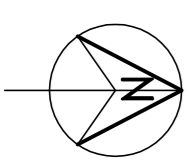
- Roof.** Red/brown interlocking double roll profiles with matching half round ridge and hip tiles to pitched roof.
- Eaves.** Block timber eaves fascias and white cement board soffits.
- Rainwater Goods.** Block half round upvc gutter and 68mm round down pipes.
- Walls.** Multi red facing brickwork generally and cream render panels within extended window frames at upper storey.
- Doors.** Glazed black painted timber main entrance doors with fan light over. Part glazed block timber doors to rear. Existing block up and over door to garage.
- Windows.** Black single glazed s.w. framed existing windows and new double glazed block upvc framed windows.
- Boundaries.** Existing 950mm red/brown brickwork front wall and 1800mm high close boarded fence to rear boundaries.
- Drive and Paths.** Concrete drive and concrete paving slab paths to front. Crazy paving slabs to patio.



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Location Plan

At a scale of 1:1250



ARCHITECT

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Revisions

Project		
Proposed Garage Conversion at 39 Brasseley Road, London, NW6 2BD.		
Drawing Title	Number	Revision
Existing and Proposed Plans and Front Elevation and Location and Block Plans.	2429	
Date	Scale	Drawn
21-10-24	1:100, 1:500 and 1:1250 @ A1	AGM