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Development Control
Planning Services
London Borough of Camden
Town Hall
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London WC1H 8ND

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www.camden.gov.uk/planning

Alan Wipperman & Co
Mill House
Little Bardfield
ESSEX
CM7 4TN

Application Ref: **2003/2581/P**
Please ask for: **Jenny Fisher**
Telephone: 020 7974 2527

30th January 2004

Dear Sir/Madam

DECISION

Town and Country Planning Acts 1990 (as amended)
Town and Country Planning (General Development Procedure) Order 1995
Town and Country Planning (Applications) Regulations 1988

Full Planning Permission Granted

Address:
60 Theobalds Road
London
WC1X 8SF

Proposal:

The retention of the change of use of the basement and ground floor from retail (use class A1) to restaurant (use class A3), together with the installation of an extract flue attached to a flank wall to the rear to discharge above roof eaves level.

Drawing Nos: Planning statement, acoustic report & 621/1/C; Heating/ventilation details.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The extract ventilation system hereby approved shall be installed and fully operational within three months of the date of this decision letter and shall be maintained and retained permanently thereafter.

Reason:

To safeguard the amenities of the adjoining premises and the area generally in



accordance with the requirements of policies RE2 (impact on residential amenities), EN5 (noise and vibration), EN6 (disturbance from plant), and DS6 (noise and vibration standards) of the London Borough of Camden Unitary Development Plan 2000.

- 2 Notwithstanding drawing 621/1/C hereby approved includes a description of the duct as designed to turn grey after weathering, the duct shall be painted dark grey and retained as such thereafter.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies EN1 (impact on the area) EN31 (protect/enhance the character and appearance of the conservation area) and EN38 (preservation of listed buildings) of the London Borough of Camden Unitary Development Plan 2000.

- 3 At 1 metre outside the windows of any neighbouring habitable room the level of noise from all plant and machinery shall be at all times at least 5 decibels below the existing background noise levels, expressed in dB(A) at such locations. Where the noise from the plant and machinery is tonal in character the differences in these levels shall be at least 10 dB(A).

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies RE2 (impact on residential amenities), EN5 (noise and vibration), EN6 (disturbance from plant), and DS6 (noise and vibration standards) of the London Borough of Camden Unitary Development Plan 2000.

- 4 No persons/customers shall be on the premises in connection with the use between 17.00 hours and 07.00 hours the following day Monday to Friday, not before 07.00 and after 01.00 Saturdays, it shall not be carried out at any time on Sundays and Bank Holidays, and no sound emanating from these premises shall be audible within any adjoining premises.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies RE2 (impact on residential amenity) and SH18 (control of A3 uses) of the London Borough of Camden Unitary Development Plan 2000.

Informative(s):

- 1 The development hereby approved must be carried out in strict compliance with the plans referred to in this permission. Any alteration to the approved scheme resulting either from the requirements of Building Regulations, or for any other cause, must not take place except with the written agreement of the Council as local planning authority.
- 2 You are reminded that filled refuse sacks shall not be deposited on the public footpath, or forecourt area until within half an hour of usual collection times. For further information please contact the Council's Street Environment Service

(Rubbish Collection) on 020 7974 6914.

3 Reasons for granting permission.

The proposed development is in general accordance with the policy requirements of the adopted London Borough of Camden Unitary Development Plan 2000, with particular regard to policies RE2, EN1, EN5, EN6, EN31, EN38, SH18, SH10, DS6. For a more detailed understanding of the reasons for the granting of this planning permission, please refer to the officers report.

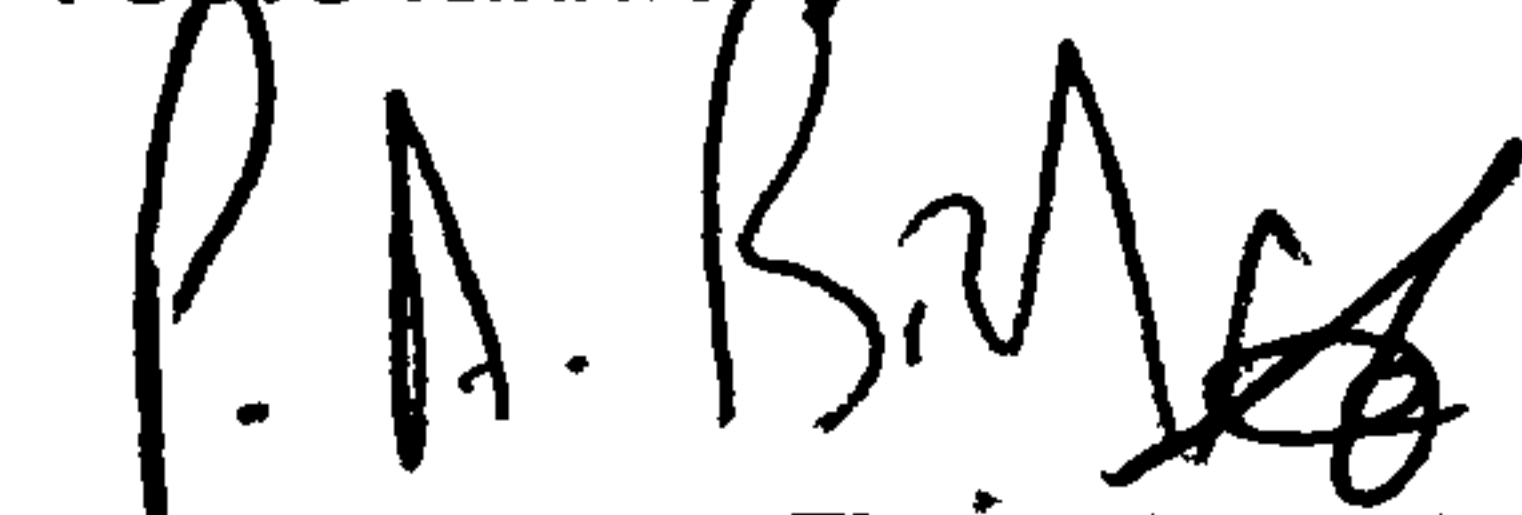
4 Your proposals, including the demolition of a chimney breast shown on drawing 621/1/C may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).

5 You are advised that under the Highways Act 1980 tables and chairs must not be placed on the highway without a licence from the Council.

6 You are advised that condition 4 means that no customers shall be on the premises and no activities associated with the use, including preparation and clearing up, shall be carried out otherwise than within the permitted time.

Your attention is drawn to the notes attached to this notice which tell you about your Rights of Appeal and other information.

Yours faithfully



Environment Department

(Duly authorised by the Council to sign this document)