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FAO: Lauren Ford
Development Management
Regeneration and Planning London Borough of Camden
2nd Floor, 5 St Pancras Square
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N1C 4AG

10th October 2024

Ref: PP-13431025

Dear Ms Ford

61 Redington Road, London, NW3 7RP

Non Material Amendment to Planning Permission ref: 2022/1962/P

On behalf of our client, Mr and Mrs Burns, please find enclosed an application for a non-material amendment under Section 96A of the Town and Country Planning Act 1990 (as amended) seeking an amendment to planning permission ref: 2022/1962/P.

Application Documents

This application has been submitted via the Planning Portal (ref: PP-13431025) and comprises the following information:

- Application Form;
- Proposed Site Plan - Lower Ground Floor ref: 552_22_FUL_PL1000 Rev A
- Proposed Site Plan - Ground Floor 552_22_FUL_PL1001 RevA;
- Proposed Front Street Scene ref: 552_22_FUL_PL10.08 RevA;
- Proposed Landscape Sketch Plan ref: CR388 REV5
- Proposed Landscape Planting Plan ref: CR388_PA07.5;
- Proposed Landscape Materials Plan CR388_PA08.4;
- Proposed Arboricultural Impact Assessment ref: HGH_61RDR_AIA_02c; and
- Proposed Arboricultural Method Statement ref: HGH_61RDR_AMS_02 LR.

A payment of £293 in respect of the requisite application fee will be made to the Council on submission of the application through the Planning Portal.

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Background

Planning permission subject to conditions, for the following development at 61 Redington Road was granted by the London Borough of Camden (LBC) on 13 December 2023 (ref: 2022/1962/P):

"Conversion of 3 residential units to 2 units, erection of a three storey rear extension at lower ground to 1st floors including excavations at lower ground floor and a roof terrace at ground floor, creation of new front lightwell, various elevation alterations including additional dormer on side elevation, installation of 2 ASHP units in rear garden with enclosure, bin enclosure in front garden, and landscaping alterations."

Proposed Amendment

Our client is seeking to vary Condition 2 of the planning permission to make non-material amendments to the front landscaping. Specifically, the proposed amendment involves the removal of two trees: T2 (a category C Sweet Chestnut) and T10 (a category C Holm Oak) from the front forecourt and driveway of 61 Redington Road.

To mitigate this, the proposal includes high-quality replacement landscaping, with new trees carefully selected in consultation with the Council's Tree Officer. The proposed replacement trees consist of an Acer campestre, to be planted at the site's frontage, and a Carpinus betulus multi-stem tree to be located south of the Acer on the front forecourt. The Category B2 Yew tree at the top of the southern driveway will be retained.

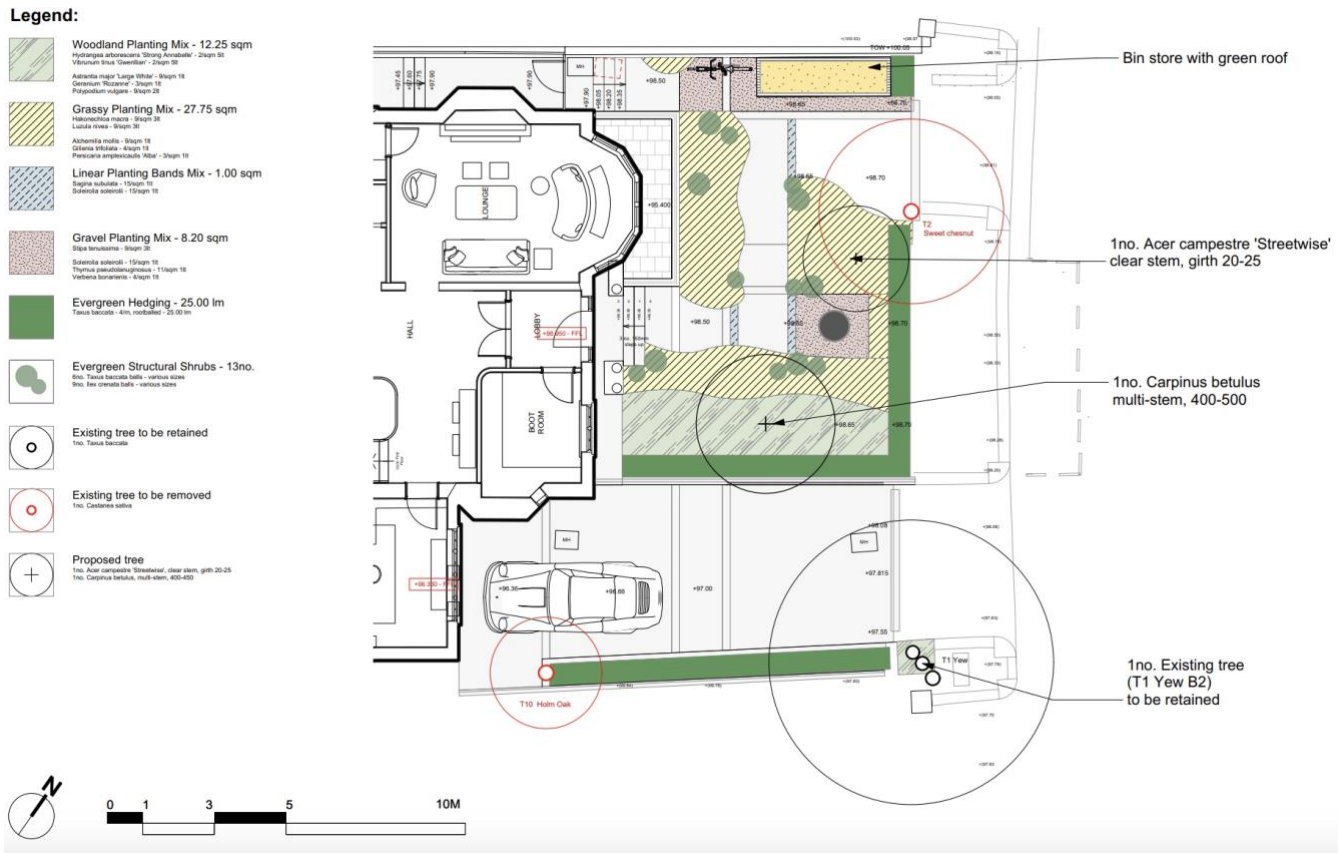
The table below sets out the relevant drawings approved under the above by Condition 2 and their proposed replacements.

| Superseded drawing and document References | Replacement drawing and document references |
|---|--|
| Proposed Site Plan - Lower Ground Floor ref: 552_22_FUL_PL1000 | 552_22_FUL_PL1000_Proposed Site Plan - Lower Ground Floor_RevA |
| Proposed Site Plan - Ground Floor 552_22_FUL_PL1001 | 552_22_FUL_PL1001_Proposed Site Plan - Ground Floor_RevA |
| Proposed Front Street Scene ref: 552_22_FUL_PL10.08 | 552_22_FUL_PL10.08_Proposed Front Street Scene_RevA |
| Sketch Plan CR388 (Rev 4) | CR388 Sketch plan REV5 |
| Planting Plan CR388_PA07 | CR388_PA07.5-Front garden - Planting Plan For Planning |
| Materials Plan CR388_PA08 | CR388_PA08.4-Front garden - Materials Plan For Planning |
| Arboricultural Impact Assessment ref: HGH/61RDR/AIA/01e (27/07/2023) | Arboricultural Impact Assessment ref: HGH_61RDR_AIA_02c |
| Arboricultural Method Statement HGH_61RDR_AMS_01c (December 2023, approved by the Council to discharge condition 7 of planning permission ref: 2022/1962/P) | Arboricultural Method Statement ref: HGH_61RDR_AMS_02 LR |



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The proposed front landscape planting plan is provided below:



Assessment

There is no statutory definition of a ‘non-material’ amendment. In planning terms, the materiality of the proposed revisions is a matter of fact and degree. In this case, the changes, including the replacement planting and trees, would have a minor impact on visual impact on the streetscape and wider conservation area.

When the proposed amendments to the Condition are considered in the context of the approved development as a whole, the changes are very minor in nature and do not result in any material alteration to the scheme.

It is important to note that the proposed tree removal and replacement strategy, along with the landscape proposals, were deemed acceptable by LBC officers in a recent planning application (ref: 2024/1158/P) concerning 61 Redington Road, which was subsequently refused on 29 July 2024. The key points from the associated officers’ report are as follows:



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“2.2 An arboricultural impact assessment report has been provided to support the application. The proposed development involves the removal of T2 (sweet chestnut) and T10 (holm oak). The loss of amenity and canopy cover could be mitigated against through replacement planting. The most significant tree, T1 (yew) is to be protected and retained.

2.3 Front garden landscaping details include a semi-mature field maple and a multi-stemmed hornbeam. Both are native species and will provide amenity to the public. Trees this size will require irrigation to ensure successful establishment, details of which could be secured via a landscaping condition.

2.4 It is considered that the impact of the scheme on the trees to be retained will be of an acceptable level provided suitable tree protection measures are employed, which could be secured via condition.”

The Council has previously considered the proposed removal of these two trees and proposed replacement landscaping, which has been discussed and agreed in consultation with the Council’s Tree Officer. This application, which isolates the same proposed tree works, should therefore similarly be deemed acceptable once again. An Arboricultural Method Statement, including a Tree Protection Plan, has been submitted as part of this s96A application ensuring that all details are secured as part of this submission.

Conclusion

We trust that the enclosed provides sufficient information for the application to be validated and determined within the statutory 28 day period. In the meantime, please do not hesitate to contact me or my colleagues Dominic Lunnon or Richard Henley if you have any queries.

Yours sincerely

Ella Payne
Assistant Planner