

# 2024/3480/P – 14 Solent Road



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2024/3480/P – Photos and drawings



Figure 1: Aerial view of the site

## Site photos



*Figure 2 Rear elevation (Source: site visit)*



*Figure 3 View towards No.12 Solent Road (Source: site visit)*



*Figure 4 View towards No. 16 Solent Road (Source: site visit)*



*Figure 5 View towards No.45 and 47 Narcissus Road (Source: site visit)*



*Figure 6 Neighbouring windows at No.12 Solent Road (Source: site visit)*



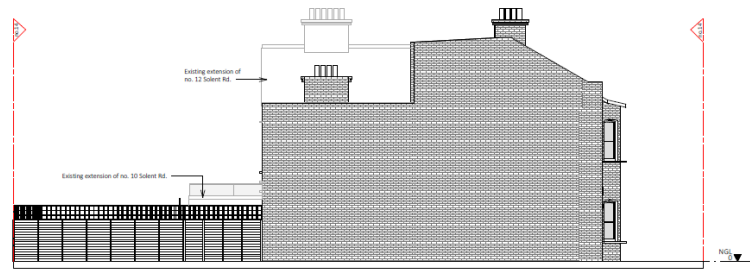
**Existing North Elevation**  
scale 1:100



**Existing East Elevation**  
scale 1:100



**Existing South Elevation**  
scale 1:100

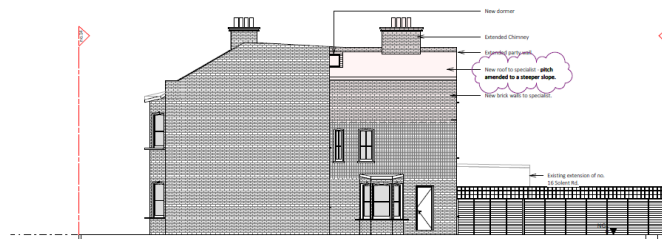


**Existing West Elevation**  
scale 1:100

Graphic Scale: 20mm = 2m  
0 2 4 6 8



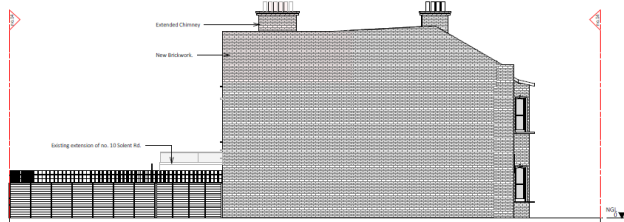
**Proposed North Elevation**  
scale 1:100



**Proposed East Elevation**  
scale 1:100



**Proposed South Elevation**  
scale 1:100



**Proposed West Elevation**  
scale 1:100

Figure 7 & 8 Existing and proposed elevations (Source: submitted drawings)



Figure 9 & 10 Existing and proposed floor plan (Source: submitted drawings)



<b>Delegated Report</b>		<b>Analysis sheet</b>		<b>Expiry Date:</b>		<b>14/10/2024</b>	
<b>(Members Briefing)</b>		N/A / attached		<b>Consultation Expiry Date:</b>		<b>23/09/2024</b>	
<b>Officer</b>				<b>Application Number(s)</b>			
Gary Wong				2024/3480/P			
<b>Application Address</b>				<b>Drawing Numbers</b>			
14 Solent Road London NW6 1TU				Refer to draft decision notice.			
<b>PO 3/4</b>		<b>Area Team Signature</b>		<b>C&amp;UD</b>		<b>Authorised Officer Signature</b>	
<b>Proposal(s)</b>							
Erection of an additional storey and replacement chimney on the existing 2-storey original rear closet wing.							
<b>Recommendation(s):</b>		Granted conditional householder planning permission					
<b>Application Type:</b>		Householder Application					

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Summary of consultation:	A site notice was displayed on 30/08/2024, this expired on 23/09/2024.			
Adjoining Occupiers:	No. of responses	04	No. of objections	04

**Summary of  
consultation  
responses:**

Four letters of comments and objections were received from neighbours who live around Solent Road and Narcissus Road. Their responses can be summarised as follows:

- Submitted drawings do not reflect the neighbouring windows at No.12 Solent Road correctly.
- The proposal would result in potential loss of light, outlook and privacy to neighbouring properties.
- The slope of the roof of the proposed extension is not consistent with the height of and is taller than the neighbouring properties and are not in character with the surrounding properties.
- Proposed painted brickwork is inconsistent with the host dwelling.
- Submitted statement inaccurately mentions the existing outriggers at No.10 and 12 Solent Road as “extensions”. In fact, these were originally built as 3-storey outriggers with symmetrical pitched roofs.
- The proposed roof extension would set an unwelcome precedent on Solent Road as the neighbouring properties currently benefit from roof extensions with dormers in a smaller scale.

*Officer's response:*

- *Revised drawings were received to correct the inaccuracies of the neighbouring windows at No.12 Solent Road. A site visit was carried out by the planning officer with regard to the location of these windows.*
- *Please refer to Section 2 for assessment on design.*
- *Please refer to Section 3 for assessment on amenity.*

Further comments were received on 01/10/2024 and 02/10/2024 regarding the daylight/ sunlight assessment which was submitted during the course of application. The comments are summarised as follows:

- The submitted report indicates 16 Solent Road's rear garden will suffer a 24% reduction in its sunlight and exceed BRE guidance which is 20%. Therefore, the impact will likely be noticeable.
- The report does not take into account the existing fences, hedges, bushes and trees around the garden.
- The report selectively ignores the impact of sunlight to window no.22, which is currently used as a work-from-home study and a children's study, reading and play area, and windows 20, 23, 24 which are both bedrooms.
- Window 22 in reality is closer to the party wall than on the submitted drawings and currently receives visible sky and will not receive visible sky to the east after development.
- The report's conclusion omits its own finding regarding window no.6 at 12 Solent Road which will suffer a significant loss of light above the threshold of BRE guidelines.
- The room layout of 12 Solent Road used for the daylight distribution test cannot be taken as accurate as they are not formally produced nor recognised plans but found on a website.
- The report glosses over the loss of light in other windows of 12 Solent Road which will suffer a loss of light from the proposed development.
- The wording is misleading in the report which implies the projecting wing at 12 Solent Road is a self-obstruction that either did not originally exist or could be removed. This is not the case as the house was built in the 1800's and the projecting wing is a part of the original design.

*Officer's response:*

- *The proposal does not include any alterations to the existing fences, hedges, bushes or trees around the garden. BRE guidance states that the calculation does not normally need to include trees and shrubs as their shapes are almost impossible to predict.*
- *BRE guidance recommends a sunlight assessment should be carried out for neighbouring windows serving the main habitable rooms of residential*

	<p><i>properties where those windows face within 90 degrees of due south. The submitted assessment on sunlight to windows is in line with BRE guidance.</i></p> <ul style="list-style-type: none"> <li>• <i>A site visit was carried out by the planning officer which has considered the neighbouring windows' locations.</i></li> <li>• <i>Please refer to Section 3 for assessment on amenity which covers the potential impact on loss of light and has considered the findings in the submitted daylight/ sunlight assessment.</i></li> </ul>
<b>Fortune Green and West Hampstead Neighbourhood Forum</b>	<p>Consulted and no comment was received.</p>

## Site Description

The application site is a 3-storey mid-terrace dwelling with an originally built 2-storey rear closet wing. The site is located to the northwest of Solent Road. The application building is not listed nor within any conservation area. The site is within the Fortune Green and West Hampstead Neighbourhood Area and Forum.

Nos. 2-12 (even) Solent Road were originally built with 3 storey rear outriggers and it is a similar situation at 27-51 Narcissus Road which are opposite to the rear of the application site. An aerial photo below shows these existing original 3-storey rear outriggers.



Figure 1 Aerial photo of the site and the neighbouring 3-storey original rear outriggers (Source: Google satellite image)

## Relevant History

### Application site

No relevant planning history can be found on the application site.

### Neighbouring sites

30 Solent Road

**2021/5082/P** - Erection of single storey wrap-around rear extension, roof extension at 2nd floor and alterations to the existing rear roof dormer. – **Granted planning permission 08/04/2022**

16 Solent Road

**2017/6897/P** – Rear dormer and roof extension to dwelling house – **Granted Certificate of Lawfulness 26/02/2018**

45 Solent Road

## **Relevant policies**

### **National Planning Policy Framework (2023)**

### **The London Plan (2021)**

### **Camden Local Plan (2017)**

- A1 Managing the impact of development
- D1 Design

### **Camden Planning Guidance:**

- CPG Amenity (2021)
- CPG Design (2021)
- CPG Home Improvements (2021)

### **Neighbourhood Plans:**

- Fortune Green and West Hampstead Neighbourhood Plan (2015)

## **Assessment**

### **1. The proposal**

- 1.1. The applicant is seeking permission for the erection of an additional storey and replacement chimney on the existing 2-storey original rear closet wing.
- 1.2. The proposed roof extension would be approximately 6.09m in depth and 3.05m in width over the existing 2-storey rear closet wing. It would have a sloping pitched roof with a lowered eaves height to the side. Proposed brickwork to the external of the roof extension, roof tiles and the proposed rear window would match the existing host dwelling.
- 1.3. The chimney would be raised over the sloping roof of the roof extension by approximately 1.4m.

### **2. Design**

- 2.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features.
- 2.2. CPG Design states that rooflights, additional storeys, mansards and other roof alterations are likely to be acceptable where good quality materials and details are used and the visual prominence, scale and bulk would be appropriate having regard to the local context. CPG Home Improvements illustrate that a new roof level should be subordinate to the host building and include features informed by the host building and surrounding context.
- 2.3. Policy 2 of the Fortune Green and West Hampstead Neighbourhood Plan states that all development should be of a high quality of design which complements and enhances the distinct local character and identity of Fortune Green and West Hampstead. New buildings and extensions shall respect and are sensitive to the height of existing buildings in their vicinity and setting. Extensions should be in character and proportion with their context and setting including the relationship to any adjoining properties.
- 2.4. Upward extensions of the two storey rear outriggers are not uncommon along Solent Road. There are numerous examples of upward extensions over the rear outriggers which were constructed under permitted development rights and granted certificate of lawfulness in this area. It appears some properties along Solent Road were originally built with 3-storey rear closet wings while some with 2-storey only. Nos. 2-12 (even) Solent Road were originally built with 3 storey rear outriggers and it is a similar situation at 27-51 Narcissus Road which are opposite to the rear of the application site.

- 2.5. Whilst the proposal would result in an additional storey over the existing 2-storey outrigger, the proposal is considered to be subordinate to the main dwelling and it would have a depth similar to other neighbours' current rear closet wings. The highest part of the sloping roof would be set below the main roof ridge and it would have no impact on the appearance of the front elevation. Although the proposed sloping roof of the extension is not at an exact angle matching the neighbours' rear outrigger, it is not considered to be detrimental to the overall appearance and character of the main dwelling and surrounding properties. Given the site's location and setting, there would be limited vantage points of the proposed roof extension in the public realm. As such, it is considered the visual impact of the extension would be acceptable in the wider area.
- 2.6. The roof extension would be of brickwork, roof tiles and windows matching the existing dwelling. As such, the materials would be sympathetic to the appearance and character of the main dwelling and the wider area.
- 2.7. Whilst the chimney will be raised above the roof of the proposed extension and visible from the front, it is not considered to cause adverse visual impact to the host property or the wider area. The proposed height of the altered chimney would be similar to the existing chimney over the main roof of the application dwelling and other chimneys above rear outriggers' roofs in the vicinity. As such, this is not considered to result in an unacceptable visual impact.
- 2.8. Overall, the visual impact from the proposed roof extension and alteration to chimney is considered acceptable and would not be detrimental to the appearance and character of the host property or the wider area. The proposed development is considered to be in accordance with Policy D1 of the London Borough of Camden Local Plan 2017 and Policy 2 of the Fortune Green and West Hampstead Neighbourhood Plan 2015.

### **3. Amenity**

- 3.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development.
- 3.2. A daylight/ sunlight assessment has been submitted in accordance with BRE guidelines. The report assesses the impacts on the windows and rear garden space at nos.12 and 16 Solent Road. According to the report, all relevant windows at both neighbouring properties pass the BRE daylight and sunlight tests except one window on the ground floor at the (inner) rear (window no.6 in the submitted report) of No.12 Solent Road. This window is situated adjacent to the projecting rear wing of its host property and already enclosed to a certain degree. The report further addresses this with an additional calculation and the result shows that this window would have passed the BRE test without the obstruction of its own rear closet wing.
- 3.3. It is duly acknowledged that the submitted assessment has illustrated a 24% reduction in light to the rear garden of 16 Solent Road, which is slightly above the 20% threshold recommended by BRE guidelines and means the loss is considered likely to be noticeable. The resulting loss, whilst considered likely to be noticeable, is not significantly above the recommended threshold. It is illustrated in the submitted assessment that majority of the rear garden space does not meet with BRE guidelines before the proposed development as the rear garden is already heavily constrained with a northeast facing orientation. Therefore, given the site's orientation, the proposed development would not cause undue loss of sunlight to 16 Solent Road's rear garden which is already limited to sunlight to a large extent and warrant refusal.
- 3.4. Overall, the proposed scheme would have an acceptable impact on daylight and sunlight to the neighbouring residential properties in accordance with the methodology recommended in the BRE guidelines.
- 3.5. In terms of outlook, it is acknowledged that the proposed extension would cause a slight loss of outlook from the upper floor rooms at the rear of, 16 Solent Road. The proposed additional storey would extend approximately 3m beyond the 2<sup>nd</sup> floor window at the rear of site. The window is approximately 1.2m from the proposed extension. Given the additional height of the proposal and the separation distance, the window would retain sufficient outlook to the rear and to the north-west. The top-most windows at

16 Solent Road would retain outlook to the rear and they would also not be unduly obscured and 'enclosed'.

3.6. In terms of privacy, there are no new side windows proposed and the new rear window within the roof extension is not considered to cause any undue increase in overlooking above what already exists from the rear dormer and first floor windows.

3.7. Overall, the amenity impact in terms of loss of light, outlook and privacy is considered acceptable and in accordance with Policy A1 of the London Borough of Camden Local Plan 2017 and Policy 2 of the Fortune Green and West Hampstead Neighbourhood Plan 2015.

#### **4. Biodiversity**

4.1. Based on the information available this permission will not require the approval of a Biodiversity Gain Plan before development is begun because it is a Householder application.

#### **5. Conclusion**

5.1. The proposed development is in general accordance with Policies A1 and D1 of the Camden Local Plan 2017, Policy 2 of the Fortune Green and West Hampstead Neighbourhood Plan 2015, the London Plan 2021, and the National Planning Policy Framework 2023.

#### **6. Recommendation**

6.1. Grant conditional householder planning permission.

***The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 7<sup>th</sup> October 2024, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.***

Application ref: 2024/3480/P  
Contact: Gary Wong  
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Date: 30 September 2024

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United Kingdom

# DRAFT

Dear Sir/Madam

## DECISION

Town and Country Planning Act 1990 (as amended)

### Householder Application Granted

Address:  
**14 Solent Road**  
**London**  
**NW6 1TU**

#### Proposal:

Erection of a roof extension and alteration of an existing chimney above existing 2-storey original outrigger to the dwellinghouse.

Drawing Nos: 1759-AD-1000 Rev.A; Location plan; 1759-AD-1001 Rev.A; Design and Access Statement dated 29 July 2024 prepared by NewT Design; 1759-AD-1002 Rev.C; 1759-AD-2000 Rev.B; 1759-AD-3000 Rev.F; 1759-AD-3001 Rev.F; 1759-AD-2001 Rev.D; Daylight and Sunlight Study dated 25 September 2024 prepared by Smith Marston Building Surveyors.

The Council has considered your application and decided to grant permission subject to the following condition(s):

#### Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

1759-AD-1000 Rev.A; Location plan; 1759-AD-1001 Rev.A; Design and Access Statement dated 29 July 2024 prepared by NewT Design; 1759-AD-1002 Rev.C; 1759-AD-2000 Rev.B; 1759-AD-3000 Rev.F; 1759-AD-3001 Rev.F; 1759-AD-2001 Rev.D; Daylight and Sunlight Study dated 25 September 2024 prepared by Smith Marston Building Surveyors.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 2 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at [www.camden.gov.uk](http://www.camden.gov.uk)) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

- 4 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2023.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer

URAFI

DECISION