

20 Swain's Lane

2024/3079/P

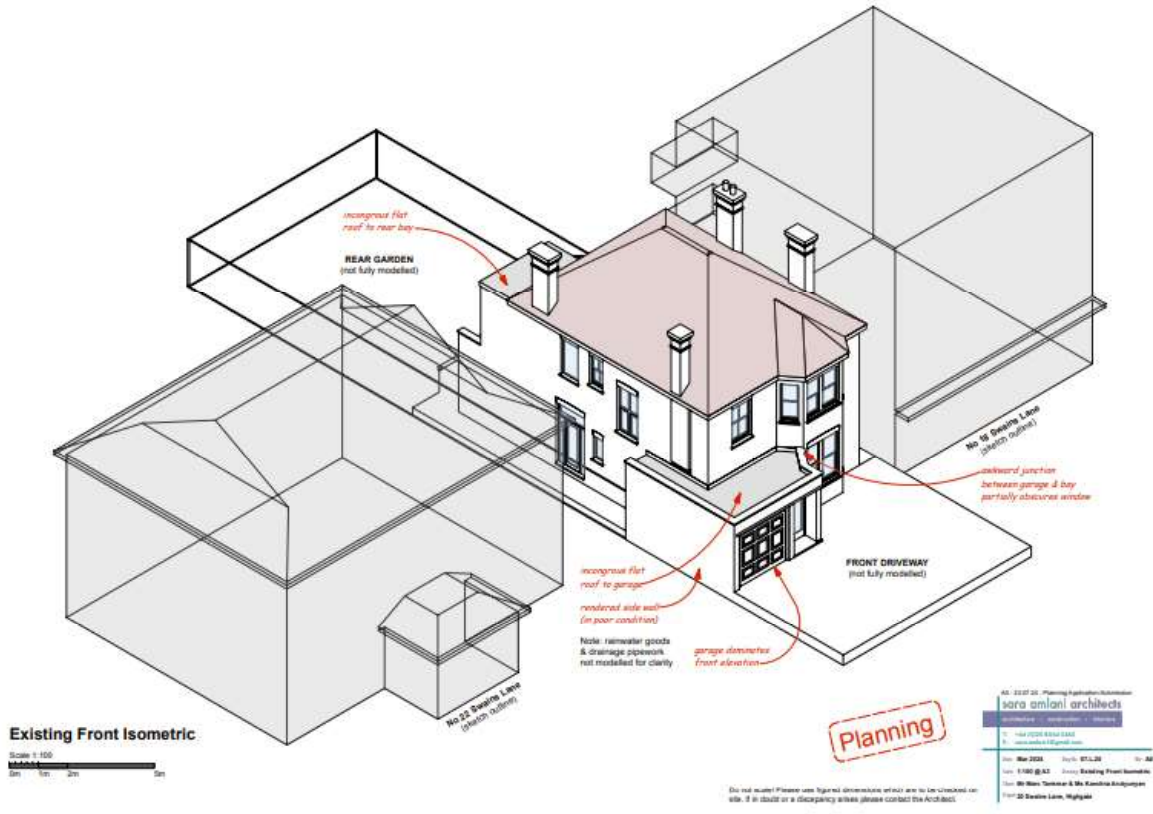


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2024-3079-P 20 Swain's Lane – Photos, elevations,
isometrics



Existing front elevation /isometric



Existing Front Isometric

Proposed Front (North) Elevation

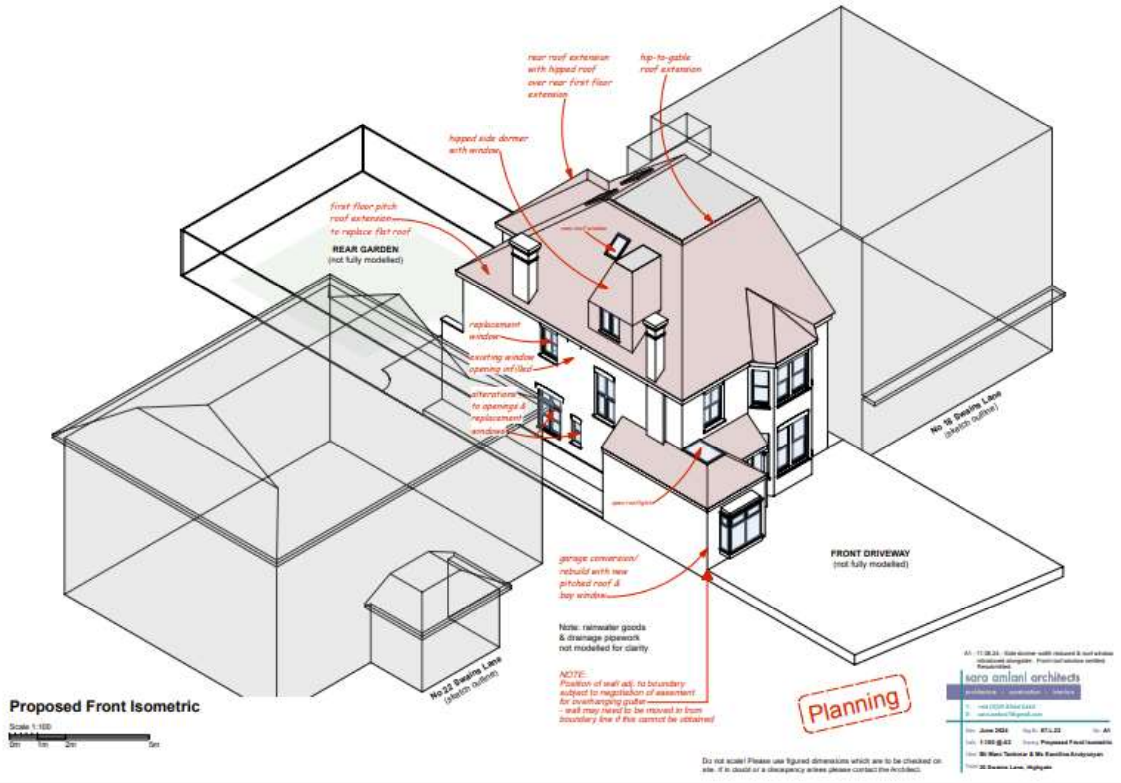


NOTE:
 Position of wall adj. to boundary
 subject to negotiation of easement
 for overhanging gutter
 - wall may need to be moved
 in from boundary line if this
 cannot be obtained

Proposed Front (North) & Rear (South) Elevations

Scale 1:50





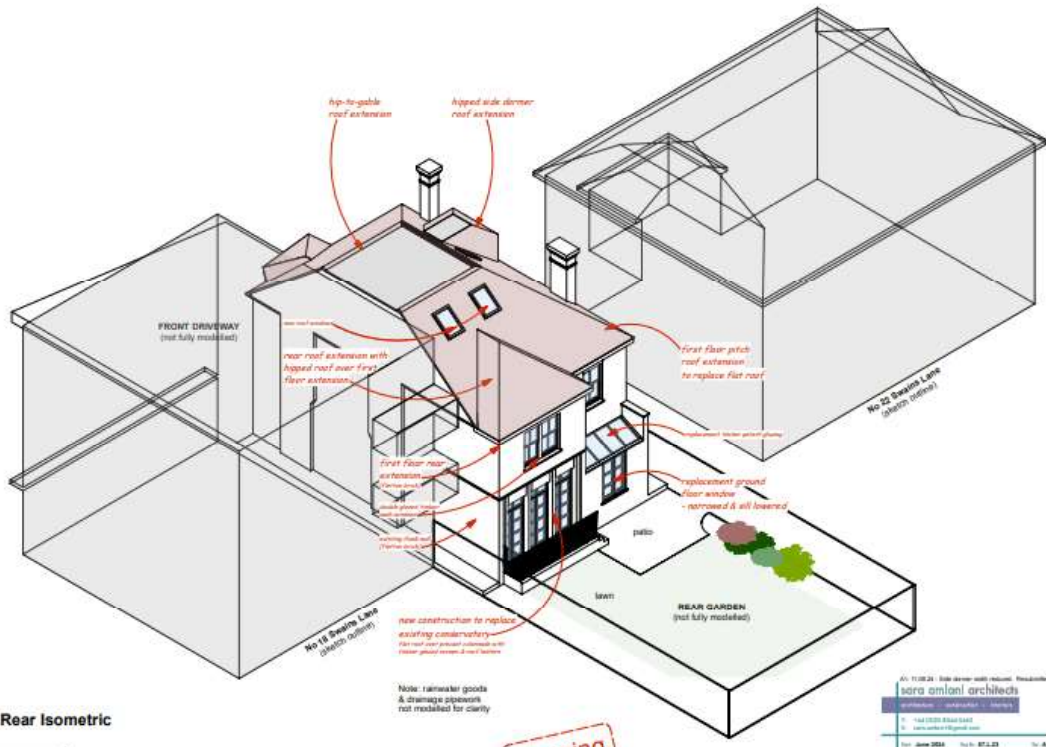
Proposed front isometric



) Elevation / Rear (South) Elevation

Proposed Rear (South) Elevation

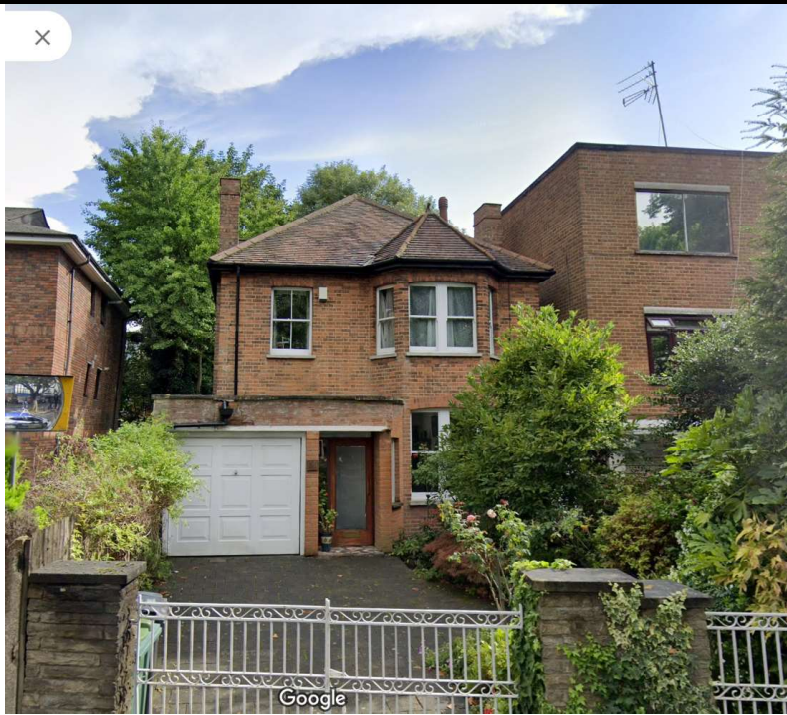




Proposed rear isometric

Delegated Report (Members Briefing)		Analysis sheet	Expiry Date:	07/10/2024
		N/A / attached	Consultation Expiry Date:	06/09/2024
Officer			Application Number(s)	
Adam Greenhalgh			2024/3079/P	
Application Address			Drawing Numbers	
20 Swain's Lane London N6 6QS			<i>Refer to decision notice</i>	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Conversion of garage with new pitched roof, demolition of the existing rear conservatory and terrace and replacement with a two-storey pitched roof rear extension, a hip to gable roof extension with hipped side dormer and roof lights and adjustments to a number of existing external window/door openings to the side and rear to receive new windows.				
Recommendation:	Grant conditional planning permission			
Application Type:	Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Decision Notice			
Informatives:				
Consultations				
Summary of consultation:	<p>Site notices were displayed at the site and in St Albans Road to the rear on 31/07/2024 (expiry 24/08/2024).</p> <p>The development was also advertised in the local press on the 01/08/2024 (consultation end date 25/08/2024).</p>			
Adjoining Occupiers:	No. of responses	4	No. of objections	4
Summary of consultation responses:	<p>Letters of objection received from 4 neighbouring residents (to the rear of the site)</p> <p>Objections raised (and Officer comments) are as follows:</p> <ol style="list-style-type: none"> 1. Proposed air source heat pump would result in noise and disturbance for adjoining occupiers. <ul style="list-style-type: none"> - <i>Officer response: Originally an Air Source Heat Pump was proposed in the garden at the rear of the site. However, (partly) as a result of the objections on grounds of potential noise transmission from the site, the Air Source Heat pump was omitted from the proposal.</i> 2. Boundary fence is in a state of disrepair and needs to be replaced. <ul style="list-style-type: none"> - <i>Officer response: The proposals do not include the boundary fence and it would not be reasonable for a condition to be attached to require the reinstatement of the fence. If the fence has fallen onto a neighbouring property or is resulting in encroachment and nuisance at an adjoining site then this is a private matter which should be remedied under civil law.</i> 			
Site Description				
<p>The property site is located on the south side of Swains Lane and comprises a two storey, detached house. The property is not listed but located within the Dartmouth Park Conservation Area and the Dartmouth Park Neighbourhood Plan area.</p> <p>The three storey properties either side of No. 20 Swains Lane appear to be blocks of flats and are of varying architectural style and quality. They are similarly not identified as having particularly positive or negative impacts on the character of the conservation area.</p>				



Google Maps Image – September 2022

Relevant History

P9600762R1 - Alterations including demolition of an existing single storey rear extension and replacement with a conservatory – **granted 14/06/1996**

Relevant policies

National Planning Policy Framework (2023)

The London Plan (2021)

Camden Local Plan (2017)

- A1 Managing the impact of development
- A3 Biodiversity
- D1 Design
- D2 Heritage
- CC3 Water and flooding

Camden Planning Guidance

- CPG Design (2019)
- CPG Amenity (2018)

Dartmouth Park Neighbourhood Plan 2020

- DC1 Enhancing the sense of place
- DC2 Heritage Assets
- DC3 Requirement for good design
- DC4 Small residential extensions
- ES1 Green and open spaces
- ES2 Trees
- ES3 Biodiversity
- TS3 Traffic reduction

Dartmouth Park Conservation Area appraisal and management strategy 2009

Draft Camden Local Plan

The council has published a new [Draft Camden Local Plan](#) (incorporating Site Allocations) for consultation (DCLP). The DCLP is a material consideration and can be taken into account in the determination of planning applications, but has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

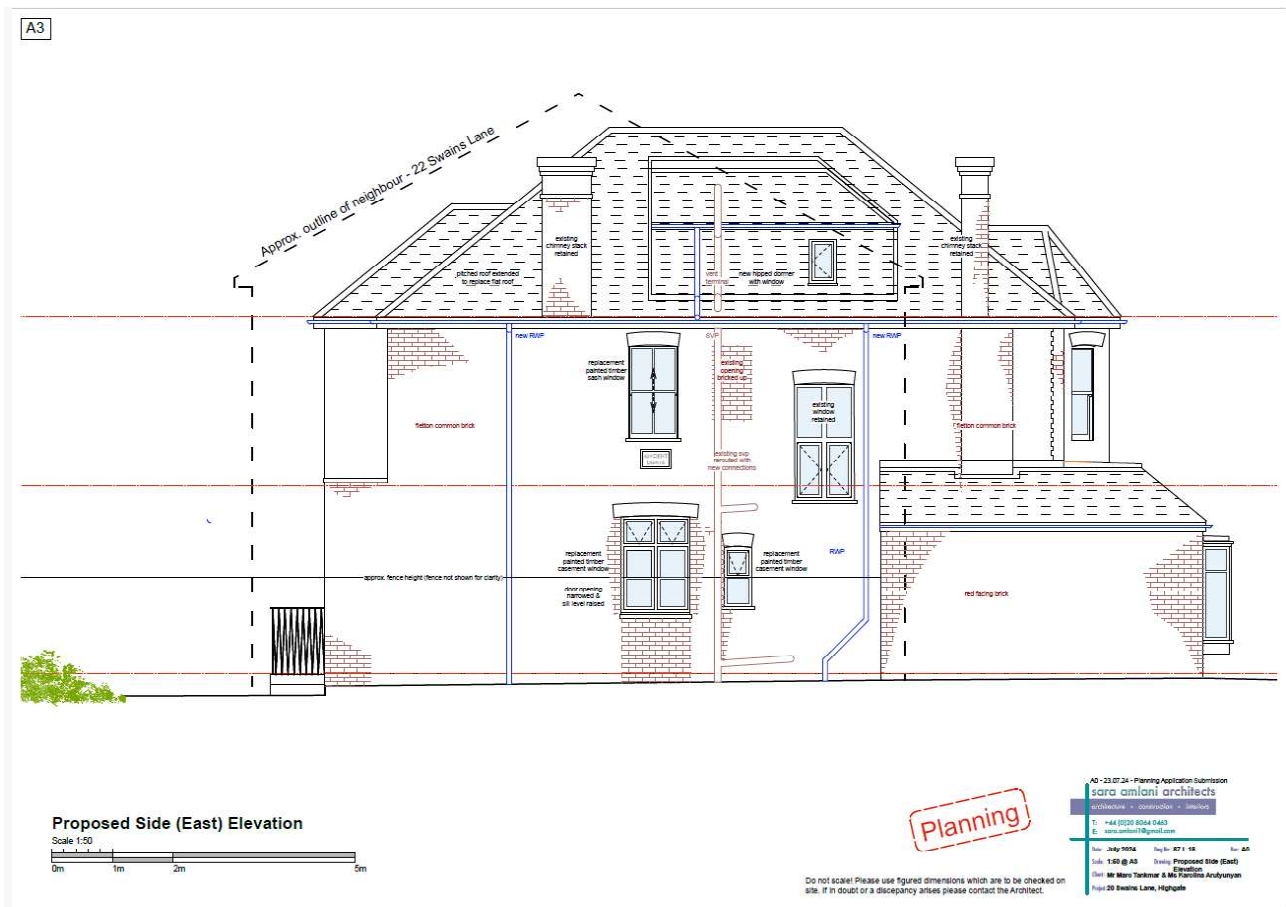
Assessment

1. Proposal

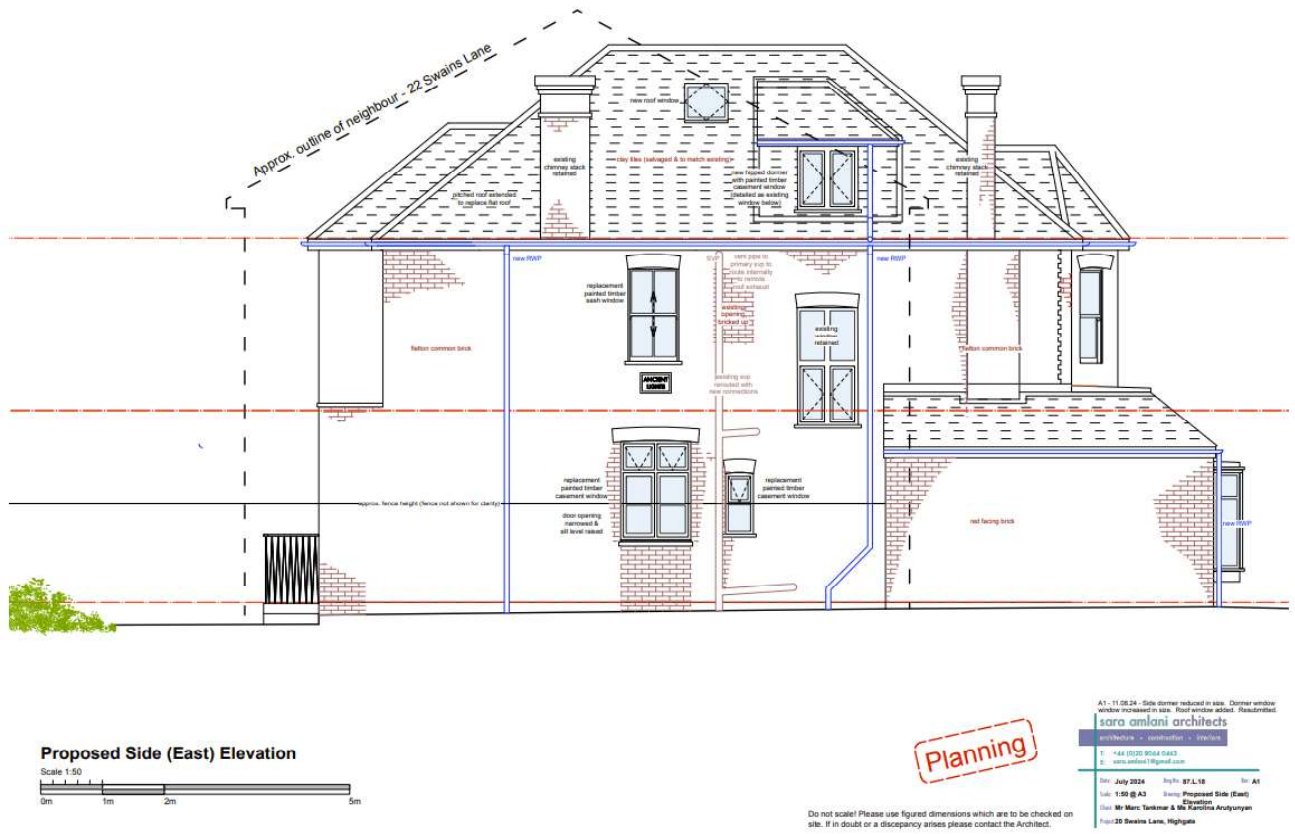
- Removal of ground floor rear conservatory/terrace steps and formation of French windows within rear elevation.
- Ground and first floor fenestration alterations (rear, side and front).
- First floor pitched roof rear extension (on site of conservatory) level with existing rear elevation.
- Formation of pitched roof on garage and remodelled porch (with pitched roof)
- Loft conversion by way of formation of hipped roof on west side and a side dormer on east side.
- Two rooflights on rear roof slope.

Revisions during the course of the application:

1.1 Two sets of amendments were undertaken. The proposed east side dormer extension, next to no. 22, was reduced (further to concerns raised by the Conservation Officer in relation to the effects on the character and appearance of the Conservation Area).



Originally submitted side (east) elevation



Proposed side (east) elevation – submitted 12/08/2024

1.2 An air source heat pump proposed at the rear of the site was removed (following the objections raised, see 'Consultation' above) in relation to noise and disturbance.

2. Assessment

2.1. The principal considerations material to the determination of this application are as follows:

- Design and conservation
- Residential amenity
- Biodiversity

3. Design and Conservation

3.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 'design' are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.

3.2. The Management Strategy of the Dartmouth Park Conservation Area Appraisal and Management Statement (DPCAAMS) notes that 'Development proposals will be expected to preserve or enhance the character or appearance of the Dartmouth Park Conservation Area.'

3.3. Policy DC2 (Heritage Assets) of the Dartmouth Park Neighbourhood Plan requires development affecting any of the buildings that make a positive contribution to the character or appearance of the conservation area to be designed to a high standard, or to preserve or enhances the character or appearance of the conservation area and make a positive contribution to local distinctiveness.

- 3.4. DC4 (Small residential extensions) of the Dartmouth Park Neighbourhood Plan indicates support for small residential developments (including roof, side and rear extensions) where the development:
- (a) is subordinate in scale and situation to the original dwelling and complements its character in terms of design, proportion, materials and detail;
 - (b) does not harm the amenity of neighbouring properties (in particular in respect of privacy, overlooking and loss of light);
 - (c) is sensitive to and respects the overall character and appearance of the street scene;
 - (d) in the case of rear extensions, does not occupy an excessive part of the garden or result in the loss of garden space which contributes to the character of the local area
- 3.5. The proposed works would not be inappropriate or excessive on the building and no harm would be caused to the character and/or appearance of the Conservation Area. As stated in 'Site Description' (above) the application property is neither listed nor identified as a 'positive building' or 'negative building' in the Council's assessment of the quality of the architecture within the Conservation Area.
- 3.6. The conversion of the garage with the low-pitched roof atop (and adjoining porch), the first-floor rear extension and the ground floor French windows and terrace would respect the scale and architectural form of the building and the character of the area. Concern was raised by the Conservation Office in relation to the new side (east) dormer window, which would be visible in the streetscene, but this was reduced in size during the course of the application and is now not considered to be harmful to the appearance of the building or the wider Conservation Area. The hip to gable (west side) roof extension would be situated alongside the neighbouring taller block of flats and it would not result in any harm to the significance of the Conservation Area. The scale and form of the building would not be unduly harmed, and the character and appearance of the Conservation Area would not be affected.
- 3.7. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

4. Residential Amenity

- 4.1. Policy A1 'managing the impact of development' of the Local Plan 2017 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. Policy A1 also seeks to ensure that development protects the quality of life of occupiers and neighbours by stating that the Council will only grant permission for development that would not harm the amenity of neighbouring residents. This includes privacy, outlook, noise and impact on daylight and sunlight.
- 4.2. The proposals would not result in any significant loss of amenity for any neighbouring occupiers. The new gable end roof and the new side dormer would both be sited alongside solid walls/roofslopes at the immediately neighbouring sites and consequently, there would be no loss of light, privacy or outlook for any occupiers at these sites.
- 4.3. The first-floor rear extension (on the site of the existing conservatory) would project 2.5m beyond the rear windows at the immediately neighbouring site, no. 18 Swain's Lane (There is a gap of approximately 500mm between the two buildings). There would be a small amount of overshadowing of certain of the windows at the rear at 18 Swain's Lane and a slight loss of outlook. However, these would not be particularly noticeable, and the living conditions of the occupiers would not be unduly harmed.

4.4. As noted in 'Consultations' above, the originally proposed air source heat pump in the rear garden, which raised concerns in terms of noise and disturbance, was omitted during the course of the application.

5. Biodiversity

5.1. No extensions on any natural, green space would be undertaken. The proposals do not trigger the need for any biodiversity net gain measures.

6. Recommendation: Grant planning permission subject to conditions

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday September 30th 2024, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'

Application ref: 2024/3079/P
Contact: Adam Greenhalgh
Tel: 020 7974 6341
Email: Adam.Greenhalgh@camden.gov.uk
Date: 26 September 2024

Development Management
Regeneration and Planning
London Borough of Camden
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Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Sara Amlani Architects Ltd
275 Ivydale Road
London
SE15 3DZ

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:

20 Swain's Lane
London
N6 6QS

DECISION

Proposal:

Conversion of integral garage with new pitched roof, demolition of the existing rear conservatory and terrace and replacement with a two storey pitched roof rear extension, a hip to gable roof extension with hipped side dormer and roof lights and adjustments to a number of existing external window/door openings to the side and rear to receive new windows.

Drawing Nos: 87: Design & Access Statement (Rev A0), Location Plan, L.00 Existing Site Plan (Rev A0), L.01 Existing Ground Floor Plan (Rev A0), L.02 Existing First Floor Plan (Rev A0), L.03 Existing Loft Plan (Rev A0), L.04 Existing Roof Plan (Rev A0), L.05 Existing Section AA (Rev A0), L.06 Existing Section BB (Rev A0), L.07 Existing Front and Rear Elevations (Rev A0), L.08 Existing Side East Elevation (Rev A0), L.09 Existing Side West Elevation (Rev A0), L.10 Existing Sections CC and DD (Rev A0), L.20 Existing Front Isometric (Rev A0), L.21 Existing Rear Isometric (Rev A0)

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved documents and drawings:

87: Design & Access Statement (Rev A0), Location Plan, L.00 Existing Site Plan (Rev A0), L.01 Existing Ground Floor Plan (Rev A0), L.02 Existing First Floor Plan (Rev A0), L.03 Existing Loft Plan (Rev A0), L.04 Existing Roof Plan (Rev A0), L.05 Existing Section AA (Rev A0), L.06 Existing Section BB (Rev A0), L.07 Existing Front and Rear Elevations (Rev A0), L.08 Existing Side East Elevation (Rev A0), L.09 Existing Side West Elevation (Rev A0), L.10 Existing Sections CC and DD (Rev A0), L.20 Existing Front Isometric (Rev A0), L.21 Existing Rear Isometric (Rev A0)

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

4 Biodiversity Net Gain (BNG)

The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 is that planning permission granted for the development of land in England is deemed to have been granted subject to the condition ("the biodiversity gain condition") that development may not begin unless:

- (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
- (b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below.

Based on the information available this permission will not require the approval of a BGP before development is begun because the application is a Householder Application.

If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements.

The BGP must include, in addition to information about steps taken or to be taken to minimise any adverse effect of the development on the habitat, information on arrangements for compensation for any impact the development has on the biodiversity of the irreplaceable habitat.

The LPA can only approve a BGP if satisfied the adverse effect on the irreplaceable habitat is minimised and appropriate arrangements have been made for the purpose of compensating for any impact which do not include the use of biodiversity credits.

If planning permission is granted on an application made under section 73 of the Town and Country Planning Act 1990 and a BGP was approved in relation to the previous (parent) planning permission ("the earlier BGP") there are circumstances when the earlier BGP is regarded as approved for the purpose of discharging the biodiversity gain condition subject to which the section 73 planning permission is granted.

Those circumstances are that the conditions subject to which the section 73 permission is granted:

- do not affect the post-development value of the onsite habitat as specified in the earlier Biodiversity Gain Plan, and
- in the case of planning permission for a development where all or any part of the onsite habitat is irreplaceable habitat the conditions do not change the effect of the development on the biodiversity of that onsite habitat (including any arrangements made to compensate for any such effect) as specified in the earlier Biodiversity Gain Plan.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new *submission form* (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer

DECISION