



# PLANNING STATEMENT

Discharge of Conditions  
pursuant to the approval for:

‘Erection of part two storey part first floor side  
and rear extension, excavation of a new  
basement level and front lightwell, alterations  
to front boundary wall and front forecourt area,  
including new bicycle and bin store all in  
connect with the existing single family  
dwellinghouse (Class C3 use)’

October 2024

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*4 Frogna Rise,  
London,  
NW3 6RD*

**Contents:**

- 1.0 Introduction and Aims
- 2.0 Site and surrounding area
- 3.0 Discharge of Conditions
- 4.0 Conclusion

**Attachments:****4 Frognal Rise - Decision Notice - 2022-3963-P****To address Condition 4: Tree Protection**

FRLRS-TP001 - Proposed Tree Protection Plan  
Landscape Management Plan - 4 Frognal Rise

**To address Condition 5: Stage 1 - Written Scheme of Investigation (WSI)**

Written Scheme of Investigation - 4 Frognal Rise - MOLA July 2024  
Watching Brief - 4 Frognal Rise - MOLA Sep 2024

**To address Condition 6: Qualified Chartered Engineer Appointment Details**

Qualified Chartered Engineer Appointment Details - 4 Frognal Rise

**To address Condition 9: Bicycle and Bin Store Details**

FRLRS-BS001 - Proposed Bin Storage Plan  
FRLRS-CS001 - Proposed Cycle Storage Plan

**To address Condition 10: Soft Landscaping Planting Details**

FRLRS-LD001 - Proposed Landscape Detail

**To address Condition 11: Hard and Soft Landscaping & Means of Enclosure**

**Part 1:** FRLRS-LD001 - Proposed Landscape Detail  
Landscape Management Plan - 4 Frognal Rise

**Part 2:** FRLRS-LD001 - Proposed Landscape Detail  
Landscape Management Plan - 4 Frognal Rise

**Part 3:** FRLRS-LD001 - Proposed Landscape Detail  
FRLRS-BT001 - Proposed Boundary Treatment  
Landscape Management Plan - 4 Frognal Rise

**Part 4:** FRLRS-LD001 - Proposed Landscape Detail  
Landscape Management Plan - 4 Frognal Rise

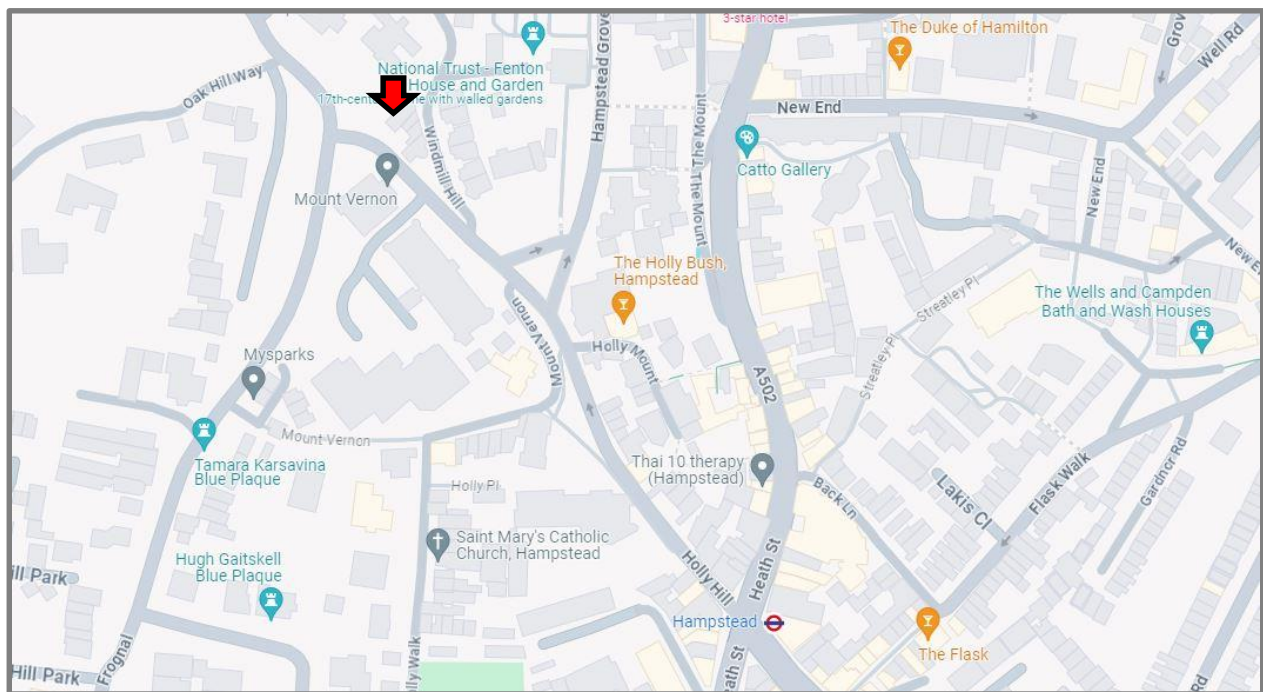
**Part 5:** FRLRS-LL001 - Proposed Land Levels  
Landscape Management Plan - 4 Frognal Rise

**Part 6:** Landscape Management Plan - 4 Frognal Rise

## 1.0 Introduction and Aims

This supporting Planning Statement has been prepared by David Mansoor Consultants, on behalf of the applicant at 4 Frognal Rise, London, NW3 6RD. The site has been identified on the location plan within the attached drawing pack.

This statement accompanies a detailed application for the Discharge of Conditions four (4), five (5), six (6), nine (9), ten (10) & eleven (11), as set out in the original decision notice following Camden Council's decision to Grant Householder Planning Permission **Ref: 2022/3963/P** for **'Erection of part two storey part first floor side and rear extension, excavation of a new basement level and front lightwell, alterations to front boundary wall and front forecourt area, including new bicycle and bin store all in connect with the existing single family dwellinghouse (Class C3 use).'**



**Fig. 1: Map of the local area**

## 2.0 The Site and surrounding area

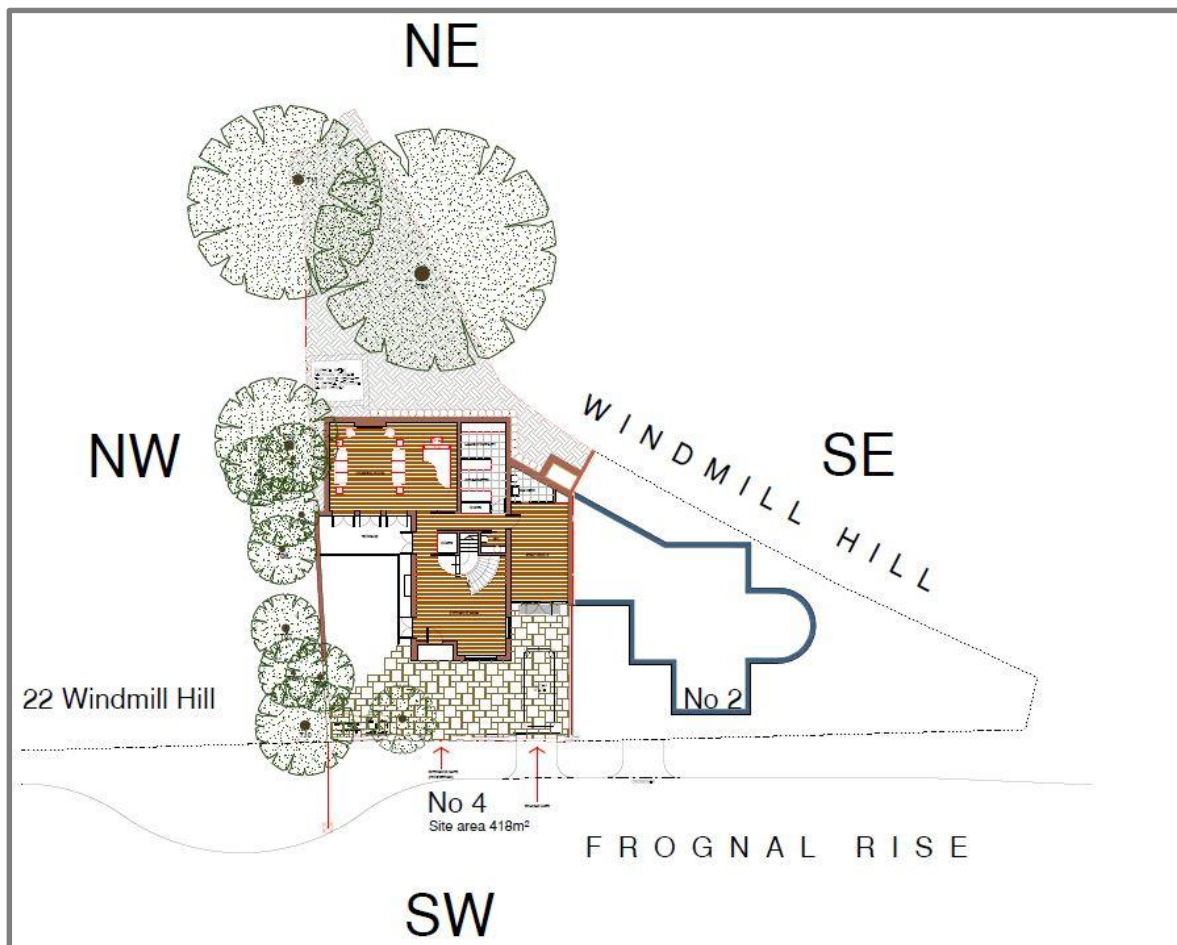
The application site is located on the eastern side of Frognal Rise, close to the junction with Windmill Hill. The existing property, presents as a two-storey single family dwellinghouse with a pitched roof, attached on the north eastern boundary to 2 Frognal Rise & was formerly the stable block to Frognal Rise House, dating from late 19C, converted & largely reconstructed in 1937.

The site slopes steeply from Windmill Hill down to Frognal Rise with an overall change in level of nearly 6m. The house is set into the slope so that the ground floor, being raised above the road level of Frognal Rise, is below ground at the rear, and the first floor is at garden level to the rear.

The front garden area is largely laid to sandstone paving to provide off street parking.

The rear garden is landscaped, with a high retaining wall to Windmill Hill, but is little used as it has no connection to the living areas of the house.

On the north western side of the site is a freestanding garage (dated late 1950s) set back and raised up at intermediate level between ground and first floors, with steps between the house and the garage leading up to the rear garden.



**Fig. 2:** Proposed Site Plan - 4 Frognal Rise, London, NW3 6RD

### 3.0 Discharge of Conditions

This statement accompanies a detailed application for the Discharge of Conditions four (4), five (5), six (6), nine (9), ten (10) & eleven (11), as set out in the original decision notice following Camden Council's decision to Grant Householder Planning Permission **Ref: 2022/3963/P** for **'Erection of part two storey part first floor side and rear extension, excavation of a new basement level and front lightwell, alterations to front boundary wall and front forecourt area, including new bicycle and bin store all in connect with the existing single family dwellinghouse (Class C3 use).'**

This application will therefore provide the additional drawings and statements required to discharge these conditions as requested.

#### **Discharge of Condition Four (4): Tree Protection**

**Condition 4:** *Prior to the commencement of any works on site, details demonstrating how trees to be retained shall be protected during construction work shall be submitted to and approved by the local planning authority in writing. Such details shall follow guidelines and standards set out in BS5837:2012 "Trees in Relation to Construction". All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details.*

**Reason:** *To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017 and NE2 of the Hampstead Neighbourhood Plan 2018.*

Condition Four of this approval requires details of Tree Protection, to be submitted to and approved by the local planning authority.

To address this condition, please refer to the attached Drawing, Ref: FRLRS-TP001 - Proposed Tree Protection Plan, and the attached Landscape Management Plan - 4 Froggnal Rise, addressing this requirement.

Section 7, Method Statement, within the attached Landscape Implementation, Maintenance and Management Plan, addresses the requirements of Tree Protection and has been provided to show the location and style of tree protection, to be implemented as part of this proposal. This plan, identifies the location and style of protection fencing for trees on site. Tree protection will comprise of 2m tall fencing installed in the positions shown on the attached Tree Protection Plan.

**This statement therefore looks to confirm that the attached Proposed Tree Protection Plan, and Landscape Management Plan detailing the protection measures to be employed, are suitable and appropriate for this development. All elements and specification proposed within this report will be implemented in their entirety before the works commence on site. As such, it is felt that these details should be considered sufficient to summarily discharge this condition.**

#####

**Discharge of Condition Five (5): Stage 1 - Written Scheme of Investigation (WSI)**

**Condition 5:** *‘No demolition or development shall take place until a stage 1 written scheme of investigation (WSI) has been submitted to and approved by the local planning authority in writing. For land that is included within the WSI, no demolition or development shall take place other than in accordance with the agreed WSI, and the programme and methodology of site evaluation and the nomination of a competent person(s) or organisation to undertake the agreed works.*

*If heritage assets of archaeological interest are identified by stage 1 then for those parts of the site which has archaeological interest a stage 2 WSI shall be submitted to and approved by the local planning authority in writing. For land that is included within the stage 2 WSI, no demolition/development shall take place other than in accordance with the agreed stage 2 WSI which shall include:*

- A. The statement of significance and research objectives, the programme and methodology of site investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works*
- B. The programme for post-investigation assessment and subsequent analysis, publication & dissemination and deposition of resulting material. This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the stage 2 WSI.*

**Reason:** *In order to minimise damage to the important archaeological remains which exist on this site, in accordance with the requirements of policy D2 of the Camden Local Plan 2017.’*

Condition five of this approval requires a written scheme of investigation (WSI) to have been submitted to and approved in writing by the local planning authority before any works on site are begun. Please refer to the attached Written Scheme of Investigation for An Archaeological Evaluation - July 2024, prepared by MOLA (Museum of London Archaeology), for the development works proposed at 4 Frognal Rise, London, alongside the Watching Brief - Sep 2024, issued following the completion of two test pits.

The attached Watching Brief (Sep 2024) concludes that *‘natural sand was uncovered in test pit 1, located at the upper terrace of the garden. A 19th-20th century deposit of sandy silt was recorded in test pit 2, outside of the garage door. No archaeological features or finds were found during the evaluation’.*

**This statement therefore looks to confirm that the attached Written Scheme of Investigation for an Archaeological Evaluation – July 2024 and the attached Watching Brief - Sep 2024, are appropriate for this development. All elements & specification proposed within these reports will be implemented in their entirety before the site works are first commenced. As such, it is felt that the submitted Written Scheme of Investigation for an Archaeological Evaluation (WSI) should be considered sufficient to summarily discharge this condition.**

#####

### **Discharge of Condition Six (6): Qualified Chartered Engineer Appointment Details**

**Condition 6:** *'The development hereby approved shall not commence until such time as a suitably qualified chartered engineer with membership of the appropriate professional body has been appointed to inspect, check for compliance with the design (as approved by the local planning authority and building control body) and monitor the critical elements of both permanent and temporary basement construction works throughout their duration. Details of the appointment and the appointee's responsibilities shall be submitted to and approved in writing by the local planning authority prior to the commencement of development. Any subsequent change or reappointment shall be confirmed forthwith for the duration of the construction works.'*

**Reason:** *To ensure proper consideration of the structural stability of neighbouring buildings and to safeguard the appearance and character of the immediate area in accordance with the requirements of policies D1, D2 and A5 of the London Borough of Camden Local Plan 2017 and BA1 of the Hampstead Neighbourhood Plan 2018.'*

Condition Six of this approval requires details of the appointment of a suitably qualified chartered engineer with membership of the appropriate professional body, have been submitted to and approved by the Local Planning Authority.

Please refer to the attached letter, provided by Halstead Associates, detailing the appointment of their role as structural design engineers for the permanent works at 4 Frognal Rise, London NW3 6RD, to include the inspection, reviewing and monitoring of the critical elements of both the permanent and temporary basement works throughout their duration to ensure compliance with the design, as to be checked and approved by an appropriate Building Control body.

**This statement therefore looks to confirm that the attached Halstead Associates appointment letter, is suitable and appropriate for this development. All elements & specification will be carried out in accordance with the methodologies, recommendations and requirements of the Structural Engineering Report and Subterranean Construction Method Statement produced by Elliott Wood Partnership dated June 2015; Ground Investigation Report produced by K F Geotechnical dated 12 March 2015; Site Investigation and Basement Impact Assessment produced by GEA Ltd dated June 2015; Ground Movement Assessment Report dated May 2016, as outlined in the wording on Condition 7. As such, it is felt that these details should be considered sufficient to summarily discharge this condition.**

#####

**Discharge of Condition Nine (9): Bicycle and Bin Store Details**

**Condition 9:** *'Full details in respect of the bicycle and bin store structure in the area indicated on the approved ground floor plan shall be submitted to and approved by the local planning authority before the relevant part of the development commences. The structure shall be permanently retained and maintained thereafter.'*

**Reason:** *To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies A1, D1, D2, CC5 and T1 of the Camden Local Plan 2017 and policies DH1, DH2 and TT4 of the Hampstead Neighbourhood Plan 2018.'*

Condition Nine of this approval requires details in respect of the bicycle and bin store structures, to be submitted to and approved by the Local Planning Authority.

As shown on the attached Proposed Bin Storage Plan (Ref: FRLRS-BS001) and the Proposed Cycle Storage Plan (Ref: FRLRS-CS001), this proposal looks to provide full details and plans of these areas, to include their location in relation to the entrance to the site, their method of enclosure, materials, height and purpose. For the refuse storage enclosure, a timber 360L wheelie bin storage unit by Wayfair, has been designed, to house the refuse and recycle bins as proposed. Height at 1.52m, depth at 1.1m and supporting a width of 1.83m as proposed.

For the secure cycle store enclosure, a similar timber storage unit is proposed (Mercia Bike Store) also by Wayfair, to complete this element of the proposal. The secure cycle store, would house two cycles as proposed, supporting a height at 1.52m, a depth at 1.1m and a width of 1.83m.

**This statement therefore looks to confirm that the attached Proposed Bin Storage Plan and the Proposed Cycle Storage Plan, would be suitable and appropriate for this development. All elements & specification proposed within this report will be implemented in their entirety before the dwelling is first occupied/the use commences. As such, it is felt that these details should be considered sufficient to summarily discharge this condition.**

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### **Discharge of Condition Ten (10): Soft Landscaping Planting Details**

**Condition 10:** *'Prior to the end of the next available planting season, replacement tree planting shall be carried out in accordance with details of replanting species, position, date and size, where applicable, that have first been submitted to and approved by the local planning authority in writing.'*

**Reason:** *To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area, in accordance with the requirements of policies A2, A3, D1 and D2 of the London Borough of Camden Local Plan 2017 and policies DH1, DH2 and TT4 of the Hampstead Neighbourhood Plan 2018.'*

Condition Ten of this approval requires details of the replacement tree planting, to be submitted to and approved by the Council, prior to the end of the next available planting season.

Please refer to the attached Proposed Landscape Details Plan (Ref: FRLRS-LD001 - Proposed Landscape Details) submitted as part of this application, which shows the details of the proposed replacement tree planting (Tree No. T13, Species: Birch).

Proposed Tree Schedule				
Tree No.	Species	Trunk Diameter (mm)	Height (m)	Height of crown clearance (m)
T13	Birch	90	2	1.2000

**This statement therefore looks to confirm that the details of the Proposed Replacement Tree planting, are appropriate for this development. All elements & specification proposed within this plan will be implemented in their entirety as stipulated. As such, it is felt that these details should be considered sufficient to summarily discharge this condition.**

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### **Discharge of Condition Eleven (11): Hard and Soft Landscaping & Means of Enclosure**

**Condition 11:** *'No development shall take place until full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the Council. Such details shall include:*

- 1. scaled plans showing all existing and proposed vegetation and landscape features*
- 2. a schedule detailing species, sizes, and planting densities*
- 3. location, type and materials to be used for hard landscaping and boundary treatments*
- 4. specifications for replacement trees (and tree pits where applicable), taking into account the standards set out in BS8545:2014.*
- 5. details of any proposed earthworks including grading, mounding and other changes in ground levels.*
- 6. a management plan including an initial scheme of maintenance*

*The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.*

**Reason:** *To enable the Council to ensure a reasonable standard of visual amenity in the scheme in accordance with the requirements of policies A1 and A3 of the Camden Local Plan 2017.'*

Condition Eleven of this approval requires details of the hard and soft landscaping and means of enclosure, to be submitted to and approved by the Council before the development commences.

Please refer to the following Plans and documents, submitted to address this condition:

- FRLRS-LD001 - Proposed Landscape Detail
- FRLRS-BT001 - Proposed Boundary Treatment
- Landscape Management Plan - 4 Frognal Rise

**This statement therefore looks to confirm that the attached Proposed Landscape Detail, Proposed Boundary Treatment and the Landscape Management Plan, prepared for the site at 4 Frognal Rise, are appropriate for this development. All elements & specification proposed within these plans/reports will be implemented in their entirety as stipulated. As such, it is felt that the proposed details should be considered sufficient to summarily discharge this condition.**

#####

## **4.0 Conclusion**

This statement accompanies a detailed application for the Discharge of Conditions four (4), five (5), six (6), nine (9), ten (10) & eleven (11), as set out in the original decision notice following Camden Council's decision to Grant Householder Planning Permission **Ref: 2022/3963/P** for **'Erection of part two storey part first floor side and rear extension, excavation of a new basement level and front lightwell, alterations to front boundary wall and front forecourt area, including new bicycle and bin store all in connect with the existing single family dwellinghouse (Class C3 use).'**

Based on the information provided, we therefore trust that you will be able to support this application for the Discharge of these Conditions and recommend this application for approval.