



PROPOSED PRINCIPLES OF REMEDIAL WORKS TO UNIT:

1. EXISTING STAIRS CLEANED BUT LEFT AS TIMBER FINISH / UNDERSIDE SOFFIT REPAIRED + PAINTED WHITE.
 2. WALLS GENERALLY, ANY LOOSE FINISHES OR REDUNDANT FIXTURES AND SIMILAR TO BE REMOVED, WALLS TO BE MADE GOOD AND REPAINTED.
 3. GLAZED BRICKS – CLEAN. WHERE REMAINS OF PREVIOUS FINISHES ARE EVIDENT CAREFULLY REMOVE THESE FINISHES BACK TO THE GLAZED BRICK UNDERNEATH. GLAZED BRICKS PREVIOUSLY PAINTED WHITE ARE TO BE REPAINTED.
 4. CEILING GENERALLY – TO BE CLEANED BACK ANY LOOSE OR FLAKING PAINT TO BE REMOVED AND MADE GOOD, SOME LIMITED LOCALISED AREAS REQUIRE NEW BOARDING. REPAIR LOCALISED HOLES, CEILINGS AND BEAMS TO BE PAINTED WHITE.
 5. FLOORS – EXISTING SCREEDED FINISH – TO BE CLEANED DOWN.
 6. SECURITY BARS TO BE REMOVED FROM INTERNAL WINDOWS.
 7. WHERE VENTS OR SIMILAR HAVE BEEN INSTALLED INTO THESE WINDOWS, THESE ARE TO BE REMOVED AND NEW GLAZED PANES TO MATCH EXISTING ARE TO BE INSTALLED.
 8. WINDOW FRAMES TO BE CLEANED DOWN AND REPAINTED.
 9. EXPOSED MASONARY BRICKWORK PAINTED WHITE.
 10. REMOVE REDUNDANT SERVICE TRAYS AND SERVICES FROM WALLS AND CEILINGS – CONFIRM WITH M&E STATUS PRIOR TO COMMENCING ANY WORKS.
 11. SAFE DOOR TO REMAIN IN SITU – TO BE CLEANED.
 12. LIGHT WELL EXTERNAL AREA – BUILDERS CLEAN.
 13. REPAIR LOCALISED CEILINGS AND BEAMS.
 14. ASSUMED MANHOLE COVER – EXPLORATORY WORKS REQUIRED AND ADVICE REQUIRED FROM HTS TO ASSESS IF THIS CAN BE REMOVED / CURRENT USE.
- NOTE : Fire protection/ firestopping will require review and consideration of any fixings back to heritage areas (including fixings of any new services to existing substrates).

2001 - Proposed Plan - Basement Level B2 (South) - Former Bank

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GENERAL NOTES:

PLEASE REFER TO INDIVIDUAL CONSULTANTS' INFORMATION FOR SPECIFIC TECHNICAL SPECIFICATIONS, SIZES AND ALL OTHER SPECIFIC INFORMATION.

DO NOT SCALE DRAWING, USE FIGURED DIMENSIONS ONLY.

Rev	Description	Date	Draw	Chk
P-00	FOR PLANNING	25/09/2024	TJ	MS

Client:
Oxford Victoria House Ltd.

Project:
Victoria House

Drawing Title:
Proposed Plan - Basement Level B2 (South) - Former Bank

Drawing Status:
PLANNING

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Drawn	Checked	Paper Size	Scale	Date	Revision
TJ	MS	A1	1 : 50	09/12/24	P-00

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