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PLANNING STATEMENT:
Householder Planning Application

Re: Proposed addition to an existing first floor rear closet wing, new glazing, new rooflights and alterations to a rear window, with associated reconfiguration works.

Prepared for: Anthony Chemla
Site Address: 108 Torriano Avenue, NW5 2SD
Date: September 2024

Planning Statement

Application Details

Applicant: Anthony Chemla

Agent: William Tozer Associates Ltd.

Local Planning Authority: London Borough of Camden

Project: Proposed addition to an existing first floor rear closet wing, with alterations to a rear window, with associated reconfiguration works.

Site Address: 108 Torriano Avenue, NW5 2SD.

Conservation Area: None

1.0 Preface:

This document sets out the proposed development at the above address, which entails the alteration and addition to an existing first floor rear closet wing to provide additional accommodation. The works are to an existing Victorian terraced property in the London Borough of Camden. The property is not statutorily listed [acknowledge that it is locally listed], and is not within a Conservation area.

2.0 Neighbouring Area:

The satellite image marks no.108 Torriano Avenue in relation to its immediate context and neighbouring properties. The property has undergone development over the years (please see PA 2018/3750/P), which entailed the replacement of an existing double-height ground floor extension, as well as replacement of an existing first floor closet wing which included a reduction in its width.



Fig.01 (above) showing a satellite view of street. The application site (no. 108 Torriano Avenue) is shown in context of neighbouring properties. It can be seen that other neighbouring and nearby properties have undergone development.

The rear elevation street view is varied in its appearance, massing and scaling, with different types of housing including large scale mixed residential apartment on the corner, a 2-storey full width extension with varying depths (no.104), an existing ground floor extension and roof terrace (no.106), and extensions / closet wings of differing styles to both no.108 and no.112 Torriano avenue. The host property (no.108) has an existing roof terrace (as per PA 2018/3750/P). To both sides of the host property, there will be minimal visual impact that would be created by the proposed works, and they will not have an adverse impact to the adjacent properties through loss of light, enclosure or overlooking.

3.0 Design, Scale, Character and Appearance

The design maintains the overall integrity of the host property, whilst altering the existing first floor closet wing in a subtle, contemporary way to afford the occupants improved amenity. The development complies with the broad requirement for high quality design that enhances the appearance of the existing house and preserves the character of the wider terrace along with the surrounding area. The design draws upon previous works that William Tozer Associates have completed to this type of building and the urban environment and upon a considered assessment of the existing building and streetscape. It is noted that several properties on Torriano Avenue have substantial existing extensions (single and multiple stories) with roof terraces to the rear of the property, which the proposal continues to mirror in terms of its features. It should be noted that the new proposals also comply with previous comments made by Camden council – that there is no direct overlooking to no.110 or no.112. The project also maintains or lessens intervisibility. Heights at the boundary have not been proposed to be changed – a c.1.7m privacy screen to prevent intrusive views between no.106 Torriano Avenue has also been retained. The resulting angles of vision are not impaired and the height of the new proposal adjacent to the boundary on the side is deliberately minimised by being both set back from the boundary and lower in height.



Fig.02 (above) showing a satellite view of street. The application site (no. 108 Torriano Avenue) is shown in context of neighbouring properties. It can be seen that other neighbouring and nearby properties have undergone development.

3.1 Front Elevation:

No works are proposed to the existing front elevation.

3.2 Rear Elevation:

The property has undergone recent alterations before in which the original ground floor double-height conservatory, and closet wing were demolished, to be replaced with a more sustainable ground floor extension, first floor roof terrace and smaller first floor closet wing, built to modern standards. The current iteration of the rear elevation was granted planning consent in December 2018.

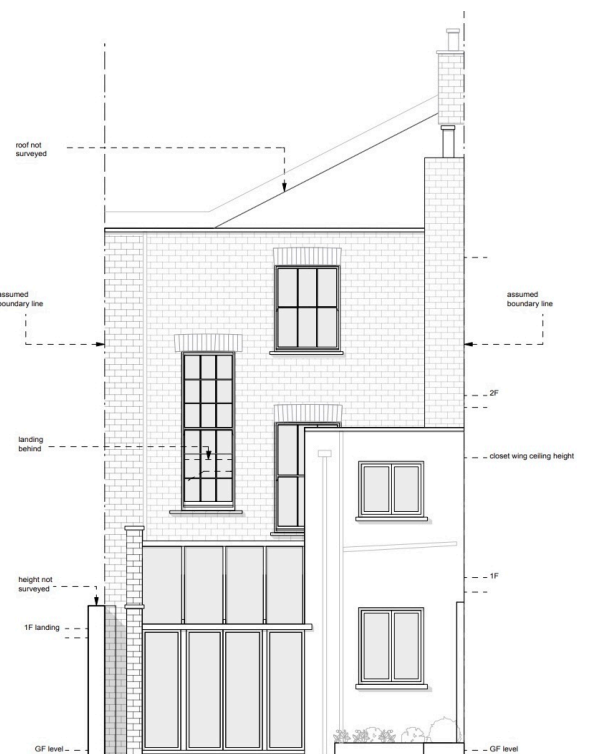


Fig.03 (above) The previous rear elevation and current rear elevation of no.108 Torriano Avenue. The new proposals sensitively retain the existing balustrade and general scale and massing of the existing elevation. The previous rear elevation had a wider closet wing that sat partially over the existing sash window at first floor level.

Consent has been granted (please see 2024/3291/P) for a new, wider first floor extension to the property. This proposal keeps the design of this approved scheme intact, and adds a very modest, lower portion to the side, to provide more daylight and storage in to the bedroom space, and to bring the floor area above the minimum threshold recommended by the London Plan for double bedroom accommodation.

The new proposals sensitively retains the existing proportions and massing of the current elevation – the existing height of the closet wing will be retained, as will the timber fin balustrade from which the altered closet wing is set back from. The new additions, with minimal glazing and simple white rendering will remain subordinate to the host property in its detail, while maintaining a distinctly contemporary remodelling that continues to reference the traditional elevations being remaining subordinate to the house. The detailing to the proposed closet wing openings will be carried out in a subtle and sympathetic manner, with minimal frames in black, similar to the existing. The proportion of glazing to the elevations ensures that it remains lightly on the site, allowing the host property to retain its dominance. The new openings will continue to enhance the connection between the new accommodation and the spaces within. It is clear from the planning history of the street and accompanying rear elevation drawings showing the neighbouring properties that there is not a consistent pattern of development to the rear of these houses, in terms of height, depth or material. The proposed works to No. 108 reference existing additions on neighbouring properties in relation to massing, height and materials, whilst providing a thoughtful, contemporary design that is in keeping with its immediate area. It should be noted that the property has previously received consent for reducing the length of the rear sash window (please see 2018/3570/P). The proposed windows have been revised to align with the windows above.

4.0 Side Elevation

The side elevation to one side of the property will not be affected by the proposed works. On the side of no.106 Torriano Avenue, the proposals have deliberately been set back (more than 2 metres from the boundary*) and drop in height to c.2m from terrace level, while also remaining set back (c.0.7m from the boundary*).

* *the boundary line is tapered with an approximate difference of c.100mm from the rear to the front, as indicated on the drawings.*

5.0 Materials

The materials proposed are intended to tie in with the existing materials on site. This includes black painted metal frame windows and doors, and rooflights. These will be minimally framed so as not to contrast with the existing host property. The exterior walls are proposed in white render to match the existing closet wing and ground floor extension. The proposed works intend to unify the existing and the proposed, to provide a uniform external appearance. The render also ties in generally with materials used on the terrace, and the existing timber balustrade and timber deck to the terrace will be retained elsewhere. The roof will remain a flat roof that is concealed behind parapets but not exceeding the currently proposed height.

6.0 Access

This proposed works will not impact any existing affect pedestrian access or reduce disabled access. Existing transport links remain unchanged.

7.0 Sustainability

In line with planning policies adopted by Camden Borough council, the construction of the project will be carefully considered so that the proposals are mindful of the environment. New walls will be insulated, and all new glazing will be double-glazed and thermally broken. Additionally, energy efficient materials and construction will be employed to improve the green credentials of the property.

8.0 Adherence to Policy Documents

Full consideration has been given to the relevant policies and as such the proposals are in accordance with the National Planning Policy Framework; Residential Design Guidance (SPD) 2018, A1 and D1 of the London Borough of Camden Local Plan 2017. The proposed development also accords with the London Plan 2021.

The guidance for these policies support alterations to properties but require that such alterations respect the existing character and appearance of the building. The amenities, appeal and character of the residential area are not impacted by the development. The proposals adhere to the broad requirement of many of these policies to introduce a piece of high-quality architecture, with good levels of light, privacy, coherency, and positive visual impact. Adequate access amenity is retained to the residents as well as the neighbouring properties. The materials proposed are of high quality and will respectfully complement the existing building fabric. As such the proposal contributes positively to the local area.

The NPPF requires a positive and proactive approach to development proposals focusing on solutions, and it is hoped that the council engages with the applicant / agent negotiating with the applicant / agent where necessary, during the application process.

9.0 Conclusion

We believe that the consideration of size, position, design and appearance of the proposed alterations in relation to the above referenced documents, along with minimal impact of the works and to the existing property and surrounding area in general, shows that the proposal confirms to the relevant policies and will have a positive impact on the area. For these reasons we strongly feel the proposal should be granted consent.