

Date
24 09 2024

Houseowner Planning &
Listed Building Application

26 Medburn Street
London, NW1 1RH

Following the refusal of planning application and listed building consent (planning reference 2024/1213/P) Atelier Como have been appointed to resubmit the application for proposed internal alterations to 26 Medburn Street, London NW1 1RH.

This statement should be read in conjunction with the supporting planning information. It gives an appraisal of the design and planning issues, taking into consideration policies, guidance and material considerations.



Fig. 1: External view of the property

26 Medburn Street, London, NW1 1RH

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1. PROPERTY, SITE & SURROUNDINGS

26 Medburn Street, located at the junction of Medburn Street and Penryn Street. It is located within the Kings Cross St Pancras Conservation Area, Sub Area 1: St Pancras Gardens.

The property is a Grade II listed, three-storey end-of-terrace house. It is part of a terrace of 4 houses (26-29), constructed 1849 - 52, and restored circa 1972 by London Borough of Camden as a rehabilitation scheme. Both 26 & 29 - the end of terrace houses have single storey extensions which partially infill the rear garden area.

The property was first listed on 13-May-1974

The full-width rear element was extended in 1982 with a partial width extension. The property is constructed from London stock brick with rusticated stucco at ground floor level. The ground floor street-side elevation is set behind a rusticated stucco wall.

National Heritage List for England description of the listing details are as follows:

Terrace of 4 houses. 1849-52, restored c1972 by LB Camden as a rehabilitation scheme. Yellow stock brick (with later patching) and rusticated stucco ground floors. No.26 slightly taller. 3 storeys and cellars. 2 windows each, No.26 with 1 window return to Penryn Street. Round-arched doorways with pilaster-jambs carrying cornice-heads; fanlights and panelled doors. No.26 with prostyle portico on return. Gauged brick flat arches to recessed sashes except No.26 with architraved sashes. All with continuous cast-iron balconies to 1st floor windows. Parapets. INTERIORS: not inspected. (Survey of London: Vol. XXIV, King's Cross Neighbourhood (St Pancras part IV): London: -1952: 126).

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2. RELEVANT PLANNING HISTORY

The ground floor single storey extension was granted permission on 04/11/1982.

Application ref. 2024/1213/P was refused on 4th July 2024.

The reasons for refusal as follows:

The proposed infill rear extension, by reason of its siting, form and scale would be harmful to the special architectural and historic significance of the Grade II listed host building and its setting, the significance of the adjacent Grade II listed terrace through its setting and the character and appearance of the King's Cross Conservation Area, contrary to Policies D1 (Design) and D2 (Heritage) of the Camden Local Plan 2017.

3. PROPOSALS

To address the planning and conservation officers' comments on the previous application (2024/1213/P), the proposed infill single storey extension has been removed. The following alterations are proposed within the existing building footprint:

Replacement of existing rooflight with smaller rooflight;

Reconfiguration of existing extension layout, new sanitaryware to ground floor WC, new flooring, and works to first floor bathroom

Removal of non-historic brick storage to provide bike storage

Partial demolition of existing brick garden wall and replacement with lower brick wall to match existing.

The proposal improves the property's amenity and will not have a negative impact on the amenity of the surrounding properties, the vitality, character, viability of the area as a whole.

4. PLANNING POLICY FRAMEWORK

In accordance with S.38 of the Planning and Compulsory Purchase Act 2004 and section 70(2) of the Town and Country Planning Act 1990, this application should be determined in accordance with the relevant Development Plan policies, which comprise:

National Planning Policy Framework 2021

The London Plan, March 2021

Camden Local Plan 2017

Policy A1 Managing the impact of development

Policy D1 Design

Policy D2 Heritage

Supplementary Planning Documents:

Camden Planning Guidance (CPG) -Design, January 2021

Camden Planning Guidance (CPG) -Amenity, January 2021

Camden Planning Guidance (CPG) -Home Improvements, January 2021

Conservation Area Appraisal and Management Strategy: King's Cross St. Pancras (2003)

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6. HERITAGE

An Heritage Statement has been prepared by Revive and Taylor Heritage Consultants. It notes the historical significance of the property and the impact of the proposals on the listed property.

The Conservation Area guidelines highlight that the key feature of the group of listed properties on Medburn Street is the view of unaltered rear elevations and butterfly roof lines along these terraces. As the alterations are within the existing footprint it will not affect this sight-line.

It conserves the appearance and character of the Conservation Area and is therefore in accordance with policies D1 and D2 of the Camden Local Plan, the London Plan, and the King's Cross Conservation Area guidelines.

7. WASTE AND RECYCLING

There is currently no external bin storage area for the property. Camden Council had previously rejected all applications to use the exterior areas as bin storage as they were deemed unaccessible. They do not meet current space standards for the storage of waste for a 240L wheeled bin.

The applicant currently uses waste sacks and recycling boxes rather than a wheeled bin; placing them on the kerbside for collection on the Council's scheduled dates. This arrangement will continue. Therefore there are no changes in operation for collection crews.

Internal storage is secure and minimises the visual impact of waste storage on the listed building and the conservation area.

Waste and recycling will continue to be located within the kitchen area, which will be well ventilated, well-lit and fully accessible. Therefore the property has adequate storage spaces available to meet the required volumes of waste required by Section 8 of CPG - Design.

The proposal removes the existing 1982 external brick storage-enclosures, which currently occupy the small rear external space of the property. They are in a poor state of condition, are not fit for waste and/or storage purposes and decreases accessibility to the rear of the property from the communal path.



Fig.3: Photo of existing external store



Fig.4: Side elevation view of extension an external store.

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8. AMENITY

Property's Amenity

The rear exterior space is very narrow and does not provide adequate amenity space for the property. The removal of the storage enables the applicant to store their bikes and plant flowers and plants in the small area, modestly increasing the enjoyment and practicability of the small space, in line with the London Plan.

The property adjoins private communal gardens, which is a large, pleasant and relaxing amenity space. The use of such shared outside spaces is encouraged in the London Plan.

Neighbour's Amenity

The neighbour's amenity will not be impacted by the proposal. The new window adjoins the existing sash window and is set behind the existing extension, which obscures any view back to the neighbouring property. It presents no loss of privacy, outlook, or light.



Figure 5: Photograph of rear view of existing external space and store.

9. CONCLUSION

In summary, the proposal will greatly improve the existing building by carefully reviving a worn-down interior in keeping with its listed status. The interiors will be high quality and respectful of the original-historic fabric.

The proposal does not affect the exterior facades and therefore would not harm or impact neither the neighbouring properties, the street scene nor the character of the Conservation Area.

The proposal is acceptable in relation to the provision of facilities for the storage of waste and recycling.

Should Camden Council have any comments or queries, we respectfully ask that we are contacted at the earliest opportunity in order to address any concerns, in line with the NPPF 2021.