

# Design & Access Statement

49 Patshull Road, London, NW5 2JX

Date: 25 November 2024



This Design & Access Statement is submitted in support of the full Planning Application for the replacement of front boundary wall, removal of redundant door and replacement with a window on front elevation, and associated hard and soft landscaping changes, at 49 Patshull Road, London, NW5 2JX.

This document should be read in conjunction with the other documents submitted in support of the Application.

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## 1. Introduction

### 1.1. The Proposal

This Submission is part of the Planning Application for the above property at 49 Patshull Road London NW1 2JX.

The proposed works involve replacing the existing low-rise brick front boundary wall to match the neighbouring property, removing the redundant ground floor door on the right-hand side and installing a timber sash window, along with associated hard landscaping improvements, including the addition of Victorian-style mosaic tiling at the entrance.

The proposed development includes:

- **Replacement of the existing low-rise brick front boundary wall** with a new wall that replicates the design and materials of the neighbouring property, ensuring uniformity with the character of the surrounding streetscape.
- **Removal of the redundant ground floor door on the right-hand side** of the façade, to be replaced by a timber sash window. This alteration will be consistent with the architectural style of the property and sympathetic to the historical context of the Bartholomew Estate Conservation Area.
- **Associated hard landscaping improvements**, including the installation of new Victorian-style mosaic tiling at the entrance, enhancing the aesthetic appeal and maintaining the period character of the property.

### 1.2. Use/Amount

The building remains as a single dwelling house use (Use Class C3)

The existing Net Internal Area is 171 sqm. This remains unchanged. No changes to any floor areas are proposed.

## 2. Site Analysis

### 2.1. Conservation Area

The site is in the London Borough of Camden and sits within the Bartholomew Estate Conservation Area. Patshull Road sits within Sub-Area 2 – Dartmouth Family Estate.



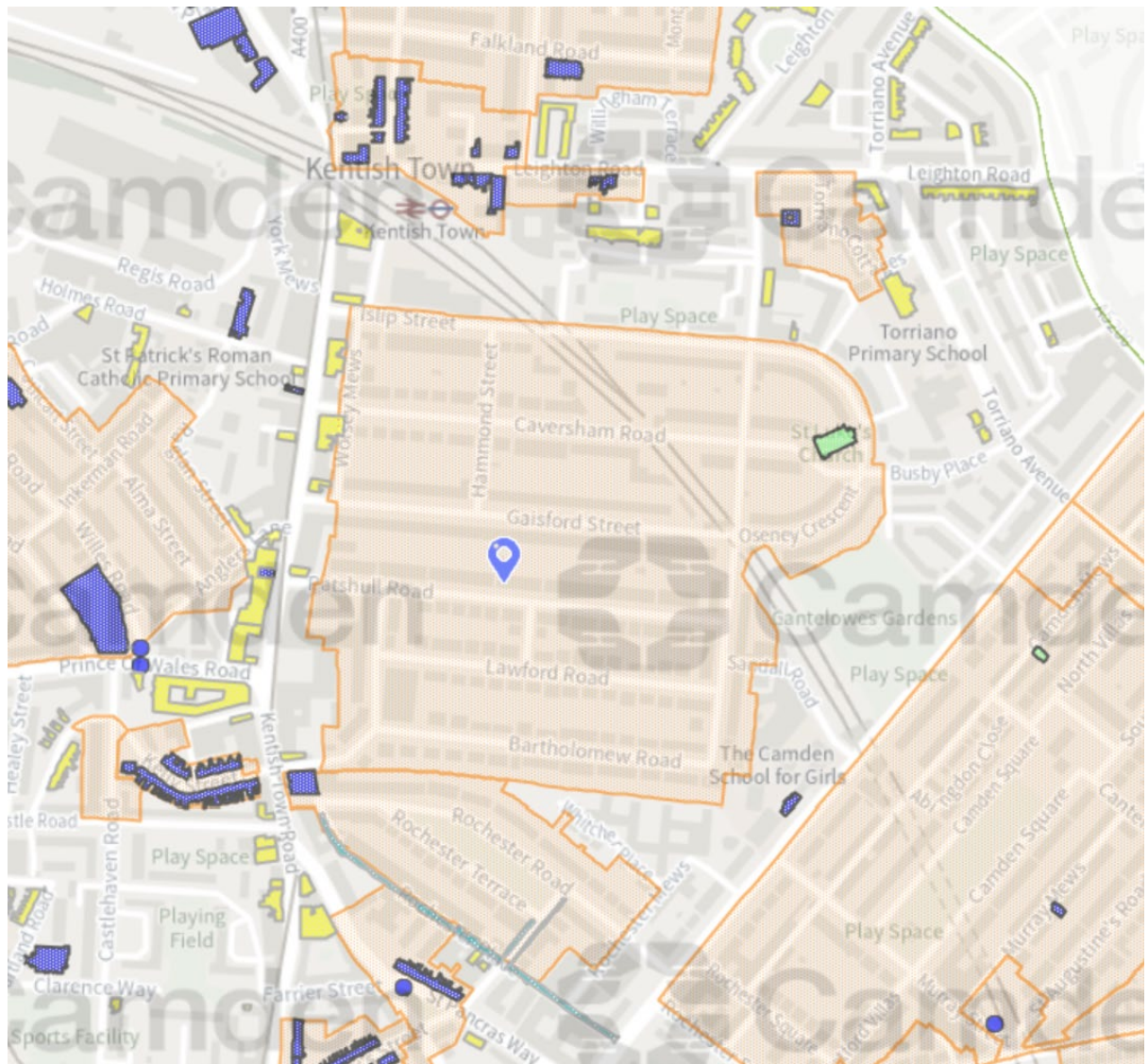


Figure 1 - Location of 49 Patshull Road in the Bartholomew Estate Conservation Area

The Conservation Area Statement notes:

The Bartholomew Estate Conservation Area is a compact and well preserved Victorian residential development, which has changed remarkably little over the last 150 years. Built over a twenty year period with a clearly defined boundary and homogeneous townscape the area is clearly identified from the surrounding urban context.

The land is relatively flat in topography, gently sloping uphill in a north east direction and has a distinctive urban grain. The core of the Conservation Area is a regular grid pattern of continuous ribbon development along streets running perpendicular with Kentish Town Road and Camden Road. Less developed streets with a north/south orientation provide connections and view through to private gardens. Intrinsic to the Bartholomew Estate is the balance between built and unbuilt space, which has resulted in the formation of a superior set piece of Victorian townscape planning.

The Sub Area Two is characterised by a *“uniform stylistic group with three storey semi-detached villas and terraces with narrow plot widths and flush entrances without basement areas. Predominantly, elevations are flat fronted with only an isolated group at the west end of Patshull Road having bay windows.”* 49 Patshull Road is one of these properties with a bay window configuration.

*“Front gardens areas are very shallow compared to those in the Christ Church Estate but important in their contribution to the soft landscape of the area. These are typically enclosed by dwarf walls often with privet hedges behind... Some properties have however redefined the front garden by introducing decorative railings on a low plinth which makes a positive enhancement to the streets however there is no consistency in design approach.”*

Whilst improvements have been made to the area since the publication of the conservation area plan, it is noted that a homogenous design approach towards front garden walls and railings is not a core characteristic of the area. Our proposals seek to improve the character of the area by introducing some consistency in the design of the front walls.

49 Patshull Road is one half of a pair of semi-detached houses. 47 and 49 Patshull Road read as a pair and the current mis-match design of the front wall is dissonant to this design principle.

*The sporadic removal of boundary walls to create cross-overs has a detrimental impact particularly at the West end of Patshull Road. Throughout there is a variety of boundary wall treatments using different materials which introduced clutter and inconsistency into the town scape.*

*The conservation area is a good example of mid 19th century suburban development which largely retains that homogeneous architectural character.*

*Boundaries in the conservation area are inconsistent but predominantly formed by walls, either with railings or hedges set behind. Reinstatement proposals should respect the original style of boundary and particular care should be taken to preserve the green character of the conservation area by keeping hedges. Alterations to the front boundary between the pavement and houses can dramatically affect and harm the character of the conservation area. The low walls alongside the road and within properties add to the attractive appearance of the front gardens and architectural setting of these traditional 19th century buildings.*

The proposals seek to restore the homogenous architectural character of the front wall and reinstate the boundary wall where it is missing in a manner that respects the original style and character of the area. The proposals also seek to repave the entrance pathway to recreate the Victorian style black and white mosaic tiles similar to other houses on the street.

## 2.2. Planning History

The site was previously granted planning consent under planning reference 34824 on the 19<sup>th</sup> October 1982 for the erection of a side extension at first floor level to provide a bathroom.

There are no current live planning applications for the property.

## 2.3. Existing House

49 Patshull Road is a classic example of Victorian-era architecture, typical of the residential streets found in Kentish Town, London. The property is part of a terrace, characterized by its traditional brick façade, which is common in the mid to late 19th century homes in the area.





*Figure 2 - Front Elevation of 49 Patshull Road*

### 3. Design Proposals

The proposed development includes:

- **Replacement of the existing low-rise brick front boundary wall** with a new wall that replicates the design and materials of the neighbouring property, ensuring uniformity with the character of the surrounding streetscape.
- **Removal of the redundant ground floor door on the right-hand side** of the façade, to be replaced by a timber sash window. This alteration will be consistent with the architectural style of the property and sympathetic to the historical context of the Bartholomew Estate Conservation Area.
- **Associated hard landscaping improvements**, including the installation of new Victorian-style mosaic tiling at the entrance, enhancing the aesthetic appeal and maintaining the period character of the property.

#### 3.1. Front Wall

##### 3.1.1. Setting & Context

As highlighted in the Bartholomew Estate Conservation Area Statement under the heading “Negative Features”, this property is an example of a front boundary wall that deviates from the homogeneity of the street. The height of the brick wall is lower than the adjacent properties. The colour of the brick is a darker reddish hue which is inconsistent with the brick of the house and

the neighbouring boundary walls. A section of the front wall on the right hand side was removed at some point and an open section of hard standing created. The proposals seek to restore the articulation of the boundary wall to what it was intended to be.



*Figure 2 -Existing (left) and Proposed (right) Elevation*

The proposals to the boundary wall include:

- Demolition and removal of existing brickwork wall and metal fence
- Installation of new brick wall in Flemish bond using reclaimed Plain Gault bricks to match main house brick colour and matching 47 Patshull Road with pillars marking the entrance and the end of brick wall run.
- Installation of new metal fence on top of low height brick wall and new metal security gate

The style being proposed here is consistent with a number of existing properties on the street. The following mark ups of 15 properties on the street highlight the pattern along the street of having the longer run at a low level wall and a shorter run on the other side of the entrance being significantly higher, creating a private defensible space behind it. This is marked up in the images in the following two colours



Low rise front wall – usually the longer run

Higher brick wall – usually the shorter run





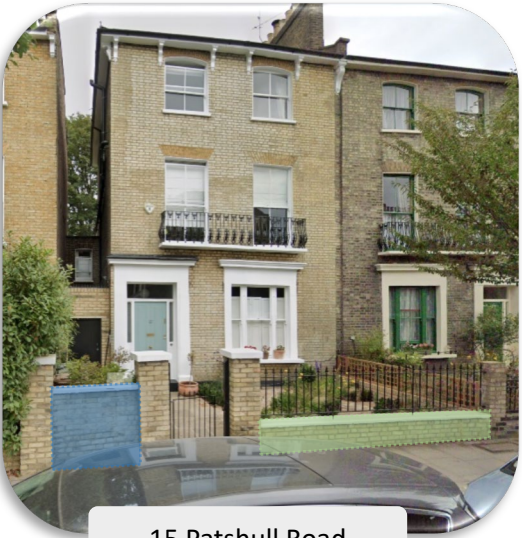
Tall wall

Short wall

47 Patshull Road



29 Patshull Road



15 Patshull Road



30 Patshull Road



53 Patshull Road



59 Patshull Road





79 Patshull Road



60 Patshull Road



32 & 34 Patshull Road



28 Patshull Road



20 & 18 Patshull Road



24 Patshull Road



15 Patshull Road

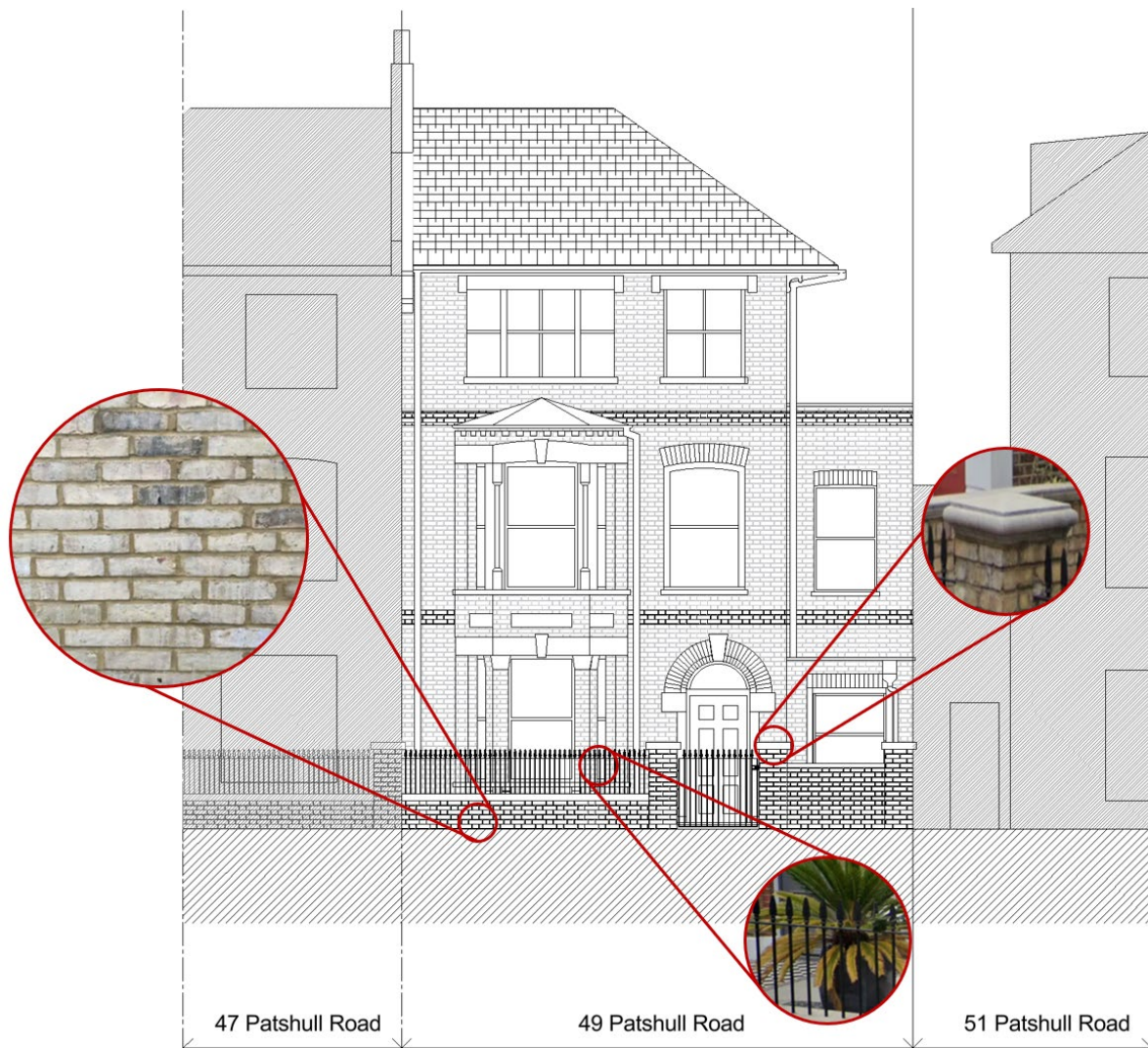
All of these example properties feature an entrance gate framed by twin brick pillars with square coping stone. Ironwork is black and roughly all in a spear shape design and include a side hung gate. The brick walls along the long run is low rise with ironwork on top, however the brick wall on the short run is higher but roughly 3 brick courses shorter than the entry gate pillars. There are subtle variations but the theme is overall consistent.

The Bartholomew Estate Conservation Area Statement, in its review of Sub Area Two notes that front gardens are very shallow but important to the soft landscape of the area. These are typically enclosed by dwarf walls often with privet hedges behind. Some properties have redefined the front garden by introducing decorative railings on a low plinth which makes a positive enhancement to the street, however there is no consistency in design approach.

Our proposal seeks to improve the existing low plinth with decorative railings and to provide some additional consistency which the conservation area notes is lacking.



### 3.1.2. Materiality



The wall will use reclaimed bricks, in a Plain Gault finish, set in a Flemish bond. The Plain Gault brick is a hard textured smooth faced brick. Colours vary from creamy white to yellow.

The coping stone will be a precast concrete finish in the shape and style shown in the image.

The fencing will be a black painted metal in a similar shape to the adjacent properties with a long circular shaft and spear shape top.

### 3.1.3. Dimensions

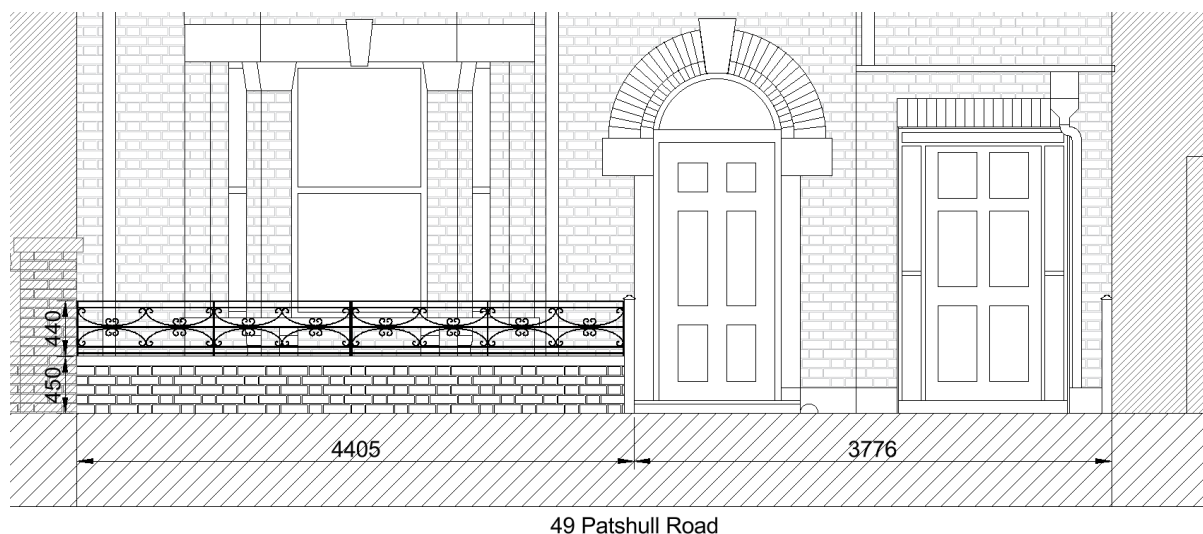


Figure 3 – Existing wall with dimensions



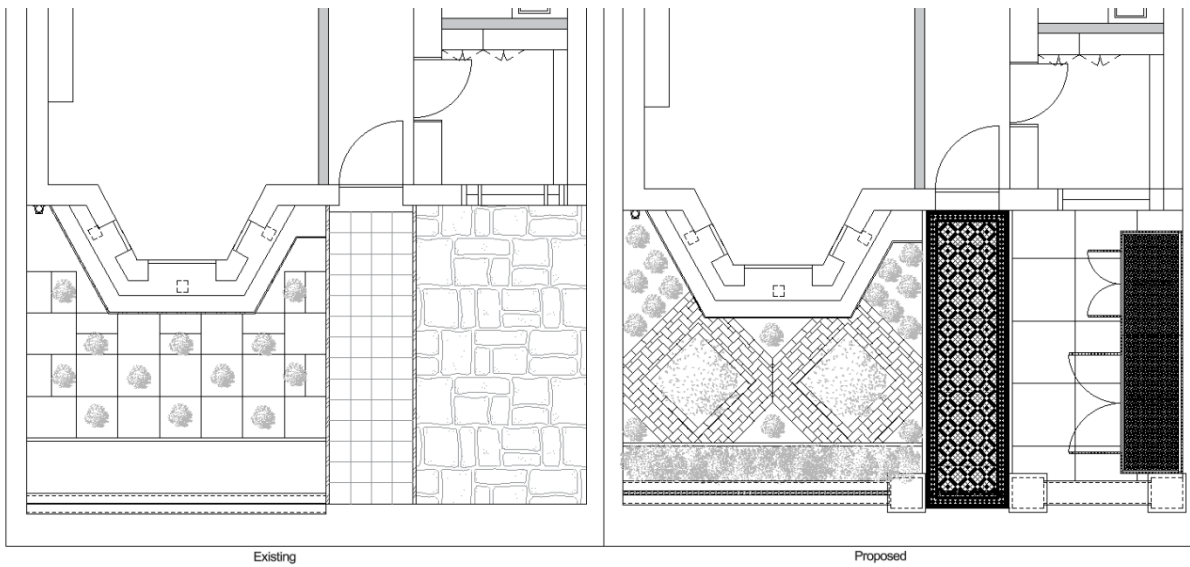
Figure 4 – Proposed wall with dimensions

### 3.2. Paving / Landscaping Changes

The proposals include replacing the existing concrete tiles and recreating a design feature consistent with the Victorian age of the house. The side by side comparison of the existing and proposed plans shows the extent of the changes.

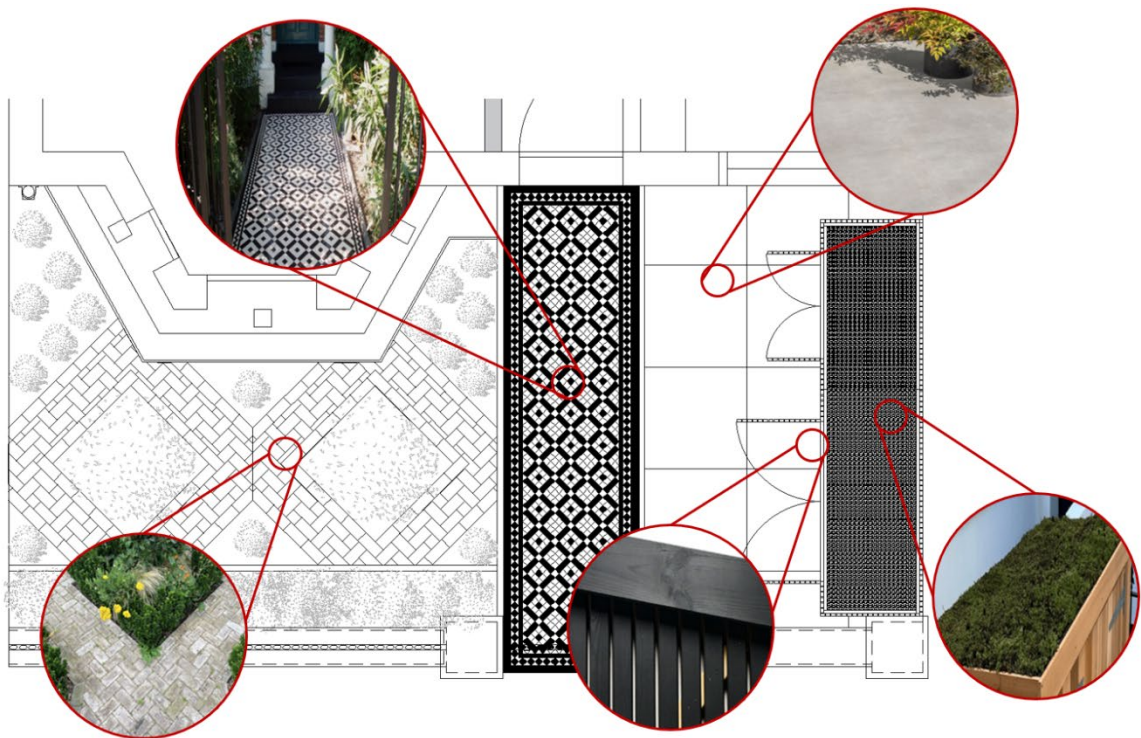
- Introduce black and white mosaic tiled entrance walkway in “Colliford” black and white pattern, a traditional pattern with 50mm diamond border and two lines. Composed predominantly of 50mm squares.
- Replace broken and patched pavers to the right of the entrance path with 900mm square concrete effect porcelain tiles. A timber bike and bin store to be installed here.
- New landscaping design on the left of the entrance pathway featuring reclaimed brick in a diamond herringbone pattern with two medium decorative trees (olive or similar)





The style of small format black and white patterned tiled walkways is seen numerous times along the road, including at 47, 29 and 30 Patshull Road which are pictured above in section 3.1.1.

### 3.2.1. Materiality



### 3.3. Window Works

49 Patshull Road currently has two external front doors for the same dwelling. This creates a confused street presence and discontinuity in the street scape. This was built as part of the 1982 consent and was previously used as a garage entrance for a motorcycle. At some point this has been boarded up from the inside with plasterboard. The use of a wooden door replicating the style of the main front door is confusing as it implies there are two dwellings on the property.

The proposal is to remove this entrance door and install a wooden sash window within the existing width. The introduction of natural daylight into an otherwise artificially lit room will positively contribute to the quality of the residential home.

The materiality of the window is to remain consistent with the existing windows which are all wooden sash, however this will be double glazed instead of single glazed to achieve better heat and noise insulation. A technical drawing provided by a North London based supplier is included as part of the application.



49 Patshull Road

*Figure 5 - Existing ground floor elevation (without front wall)*



49 Patshull Road

*Figure 6 - Proposed ground floor elevation (without front wall)*





*Figure 7 - Proposed ground floor elevation with bike and bin store*

### 3.3.1.Materiality

Timber Type: Scandinavian Redwood (Pine) K.D

Timber Type: Sapele

24mm Double glazed units

### 3.3.2.Dimensions



*Figure 3 - Dimensions of proposed window*

## 4. Access

### 4.1. Site Access

Access into the property remains through the same existing front door. The proposed works seek to improve the walkway connecting the public footpath to the front entrance door.

No access impact associated from replacing redundant door with window as the door is not functional and plasterboarded behind.

The addition of a secure bike and bin store promotes the use of active travel and reduces visible clutter from the street frontage by not having the bins on display.

#### 4.2. Emergency Access

No changes to emergency services access into the property which remains via the front footpath.

#### 4.3. Refuse

The installation of bin stores provide a visual improvement and helps keep the rubbish safe from animals and/or vandalism. The refuse strategy remains unchanged as bins are taken out on collection day and presented kerb side for pick up.

### 5. Conclusion

The three main proposals are:

1. Replacement of boundary wall and railings to match predominant style of the street and repair the lost homogeneity of the original design.
2. New hard and soft landscaping including re-introduction of Victorian black and white mosaic tiling similar to other houses on the street
3. Removal of redundant and confusing second door and replacement with a new double glazed wooden sash window.

The proposals are sympathetic to the existing character and heritage of the street and conservation area resulting in an improved overall streetscape.